

Addendum D2

re: **City of Berne**
New Municipal Maintenance Building
335003.00

date: **February 16, 2024**

This Addendum forms a part of the Contract Documents for the above-referenced project and is issued in accordance with the Instructions to Bidders. Acknowledge receipt of this addendum by inserting its number in the space provided in the bid form.

ITEM	LOCATION	DESCRIPTION
A2.01	BIDDING REQUIREMENTS AND FORMS Notice to Bidders Page 1, line 10	<u>CLARIFICATION:</u> In Addendum D1, Notice to Bidders, Page 1, line 10 was CHANGED to the following: This project will be constructed with multiple Prime Contracts: (1) Site Construction (2) General Construction (3) Fire Protection Construction (4) Plumbing / Mechanical Construction (5) Electrical Construction See Notice to Bidders dated 02/08/24 (Reissued via Addendum D1) . Note: No changes to Notice to Bidders in this addendum.
A2.02	SPECIFICATIONS Section 011200 Multiple Contract Summary Page 4	<u>CLARIFICATION:</u> Per Specification Section 011200 - Multiple Contract Summary, General Construction: Bid 2 is responsible for all work associated with Divisions 2-14. All work includes material and labor.
A2.03	SPECIFICATIONS Section 012300 Alternates	<u>CLARIFICATION:</u> Alt. No. 1, Alt. No. 2, Alt. No 6 and Alt. No. 7 shall include all PEMB building components, materials and erection.



ITEM	LOCATION	DESCRIPTION
A2.04	SPECIFICATIONS Section 012300 Alternates & Section 133419 Metal Building Systems	<u>CLARIFICATION:</u> Specification Section 133419 – Metal Building Systems. The Basis of Design for the Pre-Engineered Metal Building System (PEMB) is Butler Manufacturing. It is understood by the Owner / Architect / Engineers that there are certain aspects of Pre-Engineered Metal Building Systems (PEMB) that are proprietary. Therefore, it is also understood that the approved Alternative PEMBs (Alt. No. 2, Alt. No 6 and Alt. No 7) will not be truly equal to the Basis of Design. When bidding Alt. No. 2, Alt. No. 6 and Alt. No. 7, the Contractor shall assume the standard components of those approved manufacturers shall be acceptable with the exception of downsizing a structural / building component based upon the Basis of Design – Butler Manufacturing. Furthermore, the design intent of the building in general will not be compromised in order to accommodate one of the alternative PEMB systems. The Design Team shall not be responsible for evaluating individual building components between the already approved PEMBs and the Basis of Design – Butler Manufacturing. Plans and Sections have been designed around the Basis of Design – Butler Manufacturing. Upon submission of their bid, the Project Coordinator (defined in Specification Section 011200 – Multiple Contract Summary) acknowledges they have incorporated into their bid any deviations between the accepted PEMB system and the Basis of Design – Butler Manufacturing (if Alt. No. 1 is not accepted).
A2.05	SPECIFICATIONS Section 084113 Aluminum-Framed Entrances and Storefronts Page 5, Line 8	<u>CHANGE:</u> Per Specification Section 084113 – Aluminum-Framed Entrances and Storefronts on page 5, Line 8, CHANGE “Front” to “Center”.
A2.06	SPECIFICATIONS Section 133419 Metal Building Systems Page 7, 2.3H	<u>CLARIFICATION:</u> Primary and secondary collateral loads are considered 5.0 psf each.
A2.07	SPECIFICATIONS Section 133419 Metal Building Systems Page 9, Line 33	<u>CLARIFICATION:</u> Final sizing of girts will be selected by the PEMB designer for strength demand.

ITEM	LOCATION	DESCRIPTION
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CIVIL ITEMS:

C2.01	GENERAL	
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ADD:

For Civil Addendum items, please see attached write-ups in "ADDENDUM NO. 2" from Jones Petrie Rafinski and **reissued** drawings C201, C301, C302, C401, C501, C502, C503, C601, and SD104

Submitted by:
The Moake Park Group, Inc.



Kevin L. Runkel, AIA
Principal

attachments: Jones Petrie Rafinski write-ups in "ADDENDUM NO. 2"
(Reissued) Drawing C201
(Reissued) Drawing C301
(Reissued) Drawing C302
(Reissued) Drawing C401
(Reissued) Drawing C501
(Reissued) Drawing C502
(Reissued) Drawing C503
(Reissued) Drawing C601
(Reissued) Drawing SD104

copies: All Plan Holders
335003/670

ADDENDUM NO. 2
To the Contract Document for the

City of Berne New Municipal Maintenance Building
City of Berne
Berne, Indiana
February 16, 2024

To: All holders of the contract documents for the above project.

The items in this addendum are to become a part of the original documents as if included therein. The remainder of the original contract document is to remain in its entirety.

This Addendum modifies the Contract Documents as follows:

Part 1 – Construction Drawings/Details

Part 2 - Questions

PART 1 – CONSTRUCTION DRAWING / DETAILS

1. Plan Sheet C201:
 - A. **REVISE** southern fence limits and gravel pad area.
2. Plan Sheet C301:
 - A. **REVISE** grades on the south side of the site.
 - B. **REVISE** grades on the eastern drive along Berne Street.
 - C. **REVISE** basin contours to add additional volume
 - D. **REVISE** tables to reflect grade and surface type changes
 - E. **REPLACE** Professional Landscape stamp with Professional Engineer stamp
3. Plan Sheet C302:
 - A. **REPLACE** Professional Landscape stamp with Professional Engineer stamp
4. Plan Sheet C401:
 - A. **REVISE** 3" water line size to 4" water line
5. Plan Sheet C501
 - A. **ADD** a check dam south of the grinder station.
6. Plan Sheet C502
 - A. **REVISE** grades.
7. Plan Sheet C503
 - A. **ADD** Detail 11 for check dam.
8. Plan Sheet C601
 - A. **REVISE** seeding limits on the south end of the site.
9. Plan Sheet SD104:
 - A. **REVISE** Detail 4 to include a finish of bronze anodized.

PART 2– QUESTIONS

1. This project has a 30' and 40' flag pole and the only place we can find this referenced is the civil plan directs you to detail 4/SD104. This provides the model of each, but there are several different finishes for each model. Can you clarify the finishes for the flag poles please.

RESPONSE: Plan sheet SD104 Detail 4 has been updated to include the finish of bronze anodized for the flag poles.

A signed copy of this addendum shall be submitted with the proposal.

Acknowledged by: _____ Signature of Bidder	_____ Date
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J:\Projects\2021 Projects\2021-0136\Bidding\Addendum #2 - New Site\2024-02-15 Addendum #2.doc

PROPERTY LINE
 CONSTRUCTION LIMITS
 SETBACK LINE

- DETAIL 2 / SD101
-
- DETAIL 2 / SD101
- DETAIL 1 / SD101
- BY OWNER
- DETAIL 3 / SD101
- DETAIL 4 / SD101
- SEE ENLARGEMENT ON
SHEET C202.
- DETAIL 2 / SD104
- DETAIL 1 / SD104
- DETAIL 3 / SD104
- BY OTHERS
- REFER TO MANUFACTURERS
SPECIFICATIONS
- DETAIL 1 / S302
SHEET A6.60
- DETAIL 4 / SD104
- DETAIL 7 / SD101
- SIGN INSTALLATION BY
OTHERS. CONTRACTOR SHALL
INSTALL FOUNDATION (DESIGN
PROVIDED BY OWNER) AND
CONDUIT
- DETAIL 9 / SD101

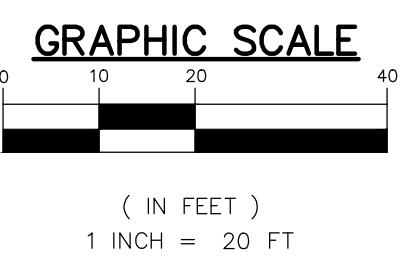
- 30 LINE, THERMOPLASTIC, SOLID, WHITE, 4 IN.
- 31 LINE, THERMOPLASTIC, SOLID, BLUE, 4 IN.
- 32 TRAVERSE MARKING, THERMOPLASTIC, BLUE, ADA CROSSHATCH LINE, 4 IN.
- 33 PAVEMENT MESSAGE MARKING, THERMOPLASTIC, HANDICAP SYMBOL, BLUE

ALL PAVEMENT MARKINGS SHALL BE PAINTED IN LIEU OF THERMOPLASTIC

(A) STOP SIGN	DETAIL 6 / SD101
(B) HANDICAP PARKING	DETAIL 6 / SD101
(C) ADA VAN ACCESSIBLE	DETAIL 6 / SD101

SIDE YARD	5'
REAR YARD	10'

5. SURFACE RUN-OFF AND DRAINAGE TO BE COLLECTED ON-SITE AND DISCHARGED IN PROVIDED DETENTION BASIN.

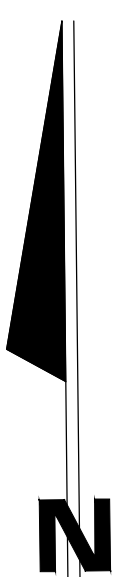
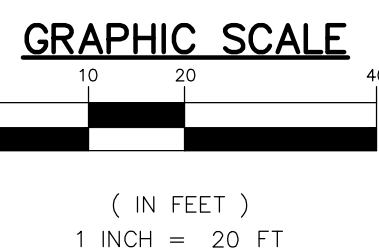


LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- EXISTING CATCH BASIN/STORM INLET
- EXISTING CATCH BASIN/STORM INLET
- EXISTING STORM MANHOLE
- PROPOSED TOP OF CURB
- PROPOSED FINISHED GRADE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED DRAINAGE FLOW ARROW
- PROPOSED CATCH BASIN/STORM INLET
- PROPOSED FIRE HYDRANT
- PROPOSED/EXISTING WATER VALVE

Berne - Proposed Detention Basin				
Detention Basin Stage Volume Calculations				
PROPOSED DETENTION BASIN #1				
Elevation	Distance	Area (Sq.Ft.)	Volume	Cumulative
827	0	3189.62	0	0
828	1	8302.77	5746	5,746
829	1	13210.18	10756	16,503
830	1	19135.5	16173	32,676
831	1	24668.72	21902	54,578
832	Freeboard	Total Volume CFT		54,578

City of Berne Proposed Stormwater Storage Calculation				
A (ac)	5.78			
Proposed Site Land Use Type	"c" Factor	Area (SFT)		
Building	0.90	19,453		
Asphalt/Concrete	0.90	81,850		
Open Space	0.30	143,373		
Gravel	0.90	7,147		
Total		251,823		
CN	0.55			
Maximum Allowable Release Rate				
10 year predeveloped rate		0.26 cfs		
Storage Requirements				
Storm Duration	100 - Year Intensity (in/hr)	100 - Year Inflow Rate (cfs)	Release Rate (cfs)	Storage Volume (cfs)
15 min	5.78	18.37	0.26	18.11
30 min	4.17	13.26	0.26	13.00
1 HR	2.79	8.87	0.26	8.61
2 HR	1.68	5.34	0.26	5.08
3 HR	1.21	3.85	0.26	3.59
6 HR	0.72	2.30	0.26	2.04
12 HR	0.41	1.30	0.26	1.04
24 HR	0.23	0.73	0.26	0.47
Maximum storage volume required				44,928
Additional 6% siltation factor				47,624



MATCHLINE SEE SHEET C302



A PROJECT FOR:



NEW MUNICIPAL MAINTENANCE BUILDING

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mark	date	description
1	02/08/24	PER ADDENDUM 1
2	02/16/24	PER ADDENDUM 2

GRADING
PLAN

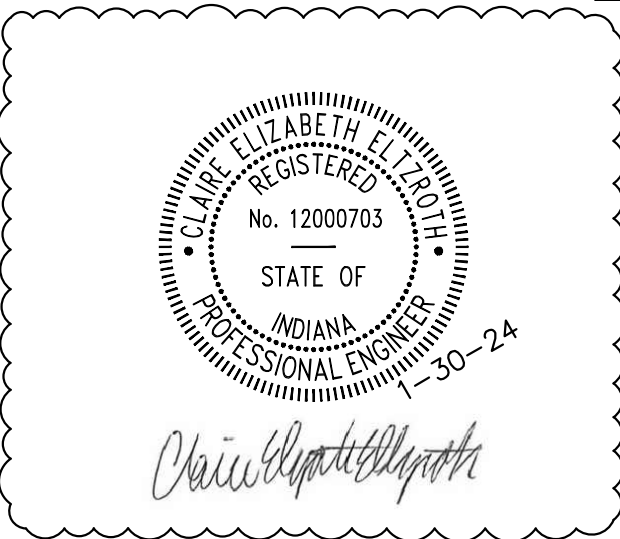
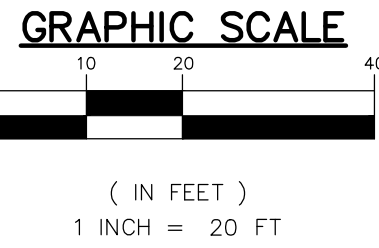
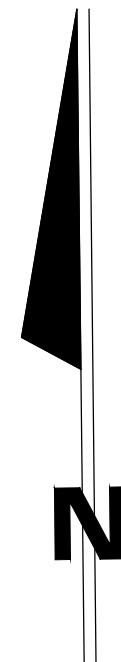
date: 1/30/2024
project: 2021-0136
coordinator: NGD
drawn: JUB / RRM
checked: NGD

C301

LEGEND



- EXISTING GRADE
PROPOSED GRADE
EXISTING CATCH BASIN/STORM INLET
EXISTING CATCH BASIN/STORM INLET
EXISTING STORM MANHOLE
PROPOSED TOP OF CURB
PROPOSED FINISHED GRADE
PROPOSED EDGE OF PAVEMENT
PROPOSED DRAINAGE FLOW ARROW
PROPOSED CATCH BASIN/STORM INLET
PROPOSED FIRE HYDRANT
PROPOSED/EXISTING WATER VALVE



A PROJECT FOR:



NEW MUNICIPAL MAINTENANCE BUILDING

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mark	date	description
2	02/16/24	PER ADDENDUM 2

GRADING
PLAN

date: 1/30/2024
project: 2021-0136
coordinator: NGD
drawn: JJB / RRM
checked: NGD

C302

UTILITY CROSSING NOTES:

- 1 STORM SEWER
TOP OF 8" PIPE - 833.79
8" PIPE INV - 833.12
- 2 STORM SEWER
TOP OF 8" PIPE - 833.72
8" PIPE INV - 833.05
- 3 SANITARY SEWER
TOP OF 6" PIPE - 830.28
6" PIPE INV - 829.78
- 4 SANITARY SEWER
TOP OF 6" PIPE - 830.48
6" PIPE INV - 829.98

NEW STORM STRUCTURE INFORMATION

- CB #1 - 48" CATCH BASIN
L1 0001045 GRADE
RIM 831.00
INV 826.34 - 12" HDPE NW
INV 826.24 - 12" HDPE SW
W/ ORIFICE PLATE
- CB #2 - 48" CATCH BASIN
L1 0001045 GRADE
RIM 832.00
INV 826.18 - 12" HDPE NE
INV 826.08 - 30" HDPE S
- CB #3 - 72" DOGHOUSE
MANHOLE
RIM 833.22
INV 825.08 - 30" HDPE N
INV 824.73 - 36" RCP W
INV 824.73 - 36" RCP E

NEW SANITARY STRUCTURE INFORMATION

- OIL/SAND STR. #101
RIM 836.22
INLET INV 829.94
OUTLET INV 829.69
- SAN MANHOLE #1
48" SANITARY MANHOLE
RIM 834.19
INV 829.45 - 6" SDR 35 PVC N
INV 829.35 - 6" SDR 35 PVC SW
- GRINDER STATION GS-C403-1
SEE SHEET C403
RIM 835.00
INV 828.80 - 6" SDR 35 PVC N
INV 829.00 - 2" DR 11 HDPE SW

EXISTING SANITARY STRUCTURE INFORMATION

- EXIST. STR.
RIM 830.59
INV 828.29 - 18" RCP N
- EXIST. STR.
RIM 830.58
INV 829.63 - 12" HDPE N
INV 827.00 - 12" RCP W
INV 827.00 - 12" RCP E

EXISTING STORM STRUCTURE INFORMATION

- EXIST. STR.
RIM 830.59
INV 828.29 - 18" RCP N
- EXIST. STR.
RIM 830.58
INV 829.63 - 12" HDPE N
INV 827.00 - 12" RCP W
INV 827.00 - 12" RCP E

LEGEND

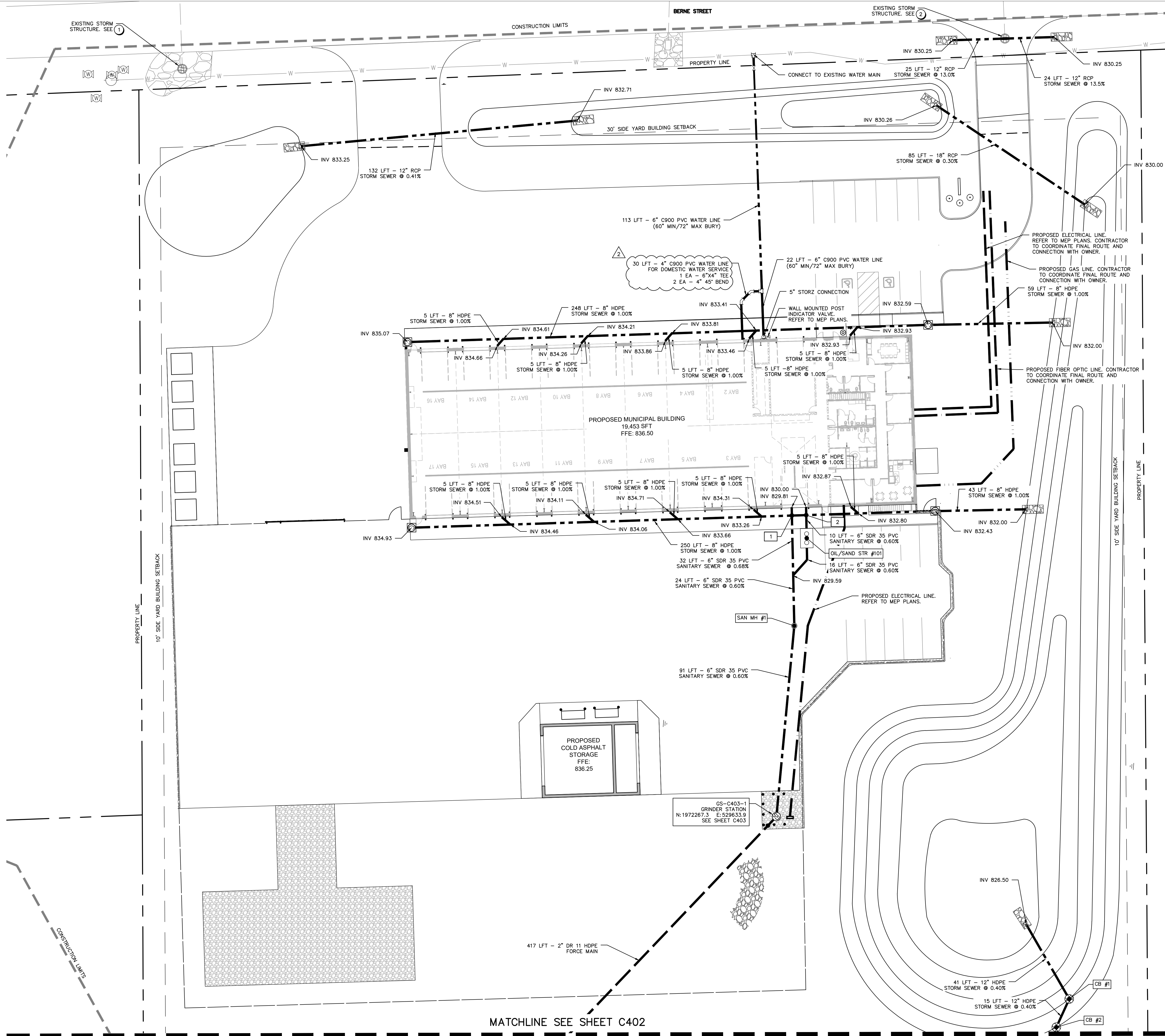
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED FIBER OPTIC LINE
- EXISTING ELECTRICAL CONDUIT
- EXISTING GAS LINE
- EXISTING TELEPHONE
- EXISTING OVERHEAD LINE
- EXISTING STORM SEWER
- EXISTING SANITARY LINE
- EXISTING FIBER OPTIC LINE
- EXISTING WATER LINE

NOTES:

1. CONTRACTOR SHALL MAINTAIN 18" MIN VERTICAL AND 10" MIN HORIZONTAL SEPARATION BETWEEN WATER MAIN AND STORM AND/OR SANITARY SEWER.
2. CONTRACTOR SHALL COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION OF DOWNSPOUT STORM SEWER CONNECTION.
3. CONTRACTOR SHALL COORDINATE WATER AND SANITARY SEWER SERVICE LOCATIONS WITH ARCHITECTURAL & PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
4. PROTECT ALL EXISTING SITE UTILITY LINES AND/OR SERVICES UNLESS OTHERWISE NOTED ON DEMOLITION PLANS.
5. CONTRACTOR SHALL TAKE CARE DURING INSTALLATION OF NEW SANITARY FORCE MAINS NOT TO INADVERTENTLY CREATE ANY ADDITIONAL HIGH POINTS IN THE FORCE MAINS. ANY HIGH POINTS CREATED SHALL BE ADDRESSED AT THE CONTRACTOR'S EXPENSE AND PURSUANT TO THE DIRECTION OF THE ENGINEER.
6. GRINDER STATION LOCATION SHOWN IN THE DRAWING MAY ONLY BE SHIFTED DURING CONSTRUCTION WITH PRIOR WRITTEN APPROVAL OF THE ENGINEER OF THEIR DULY AUTHORIZED REPRESENTATIVE.

ORIFICE SIZING CALCULATIONS - CB #1

- ALLOWABLE SITE DISCHARGE RATE = 0.26 CFS
- $Q = C \cdot A \cdot \sqrt{2GH}$
- ASSUMPTIONS
- Q = DISCHARGE RATE (CFS)
A = DISCHARGE ORIFICE AREA (SFT)
C = ORIFICE DISCHARGE COEFFICIENT (0.62)
G = GRAVITY CONSTANT (32.2 FT/SEC)
H = HEIGHT FROM ORIFICE TO TOP OF BASIN
- $0.26 \text{ CFS} = 0.62 \cdot A \cdot \sqrt{2 \cdot 32.2 \cdot 4.76}$
- $A = \frac{0.26}{0.62 \cdot \sqrt{2 \cdot 32.2 \cdot 4.76}}$
- A = 0.024 SFT
- DETERMINE ORIFICE PLATE SIZING
- $A = \pi \cdot R^2$
- $0.024 = \pi \cdot R^2$
- R = 0.09 FT = 1.08 IN.
- ORIFICE SIZE - 2.16" USE 2" Ø
- $Q = 0.62 \cdot \pi \cdot 0.083^2 \cdot \sqrt{2 \cdot 32.2 \cdot 4.76} = 0.24 \text{ CFS}$



A PROJECT FOR:



NEW MUNICIPAL MAINTENANCE BUILDING

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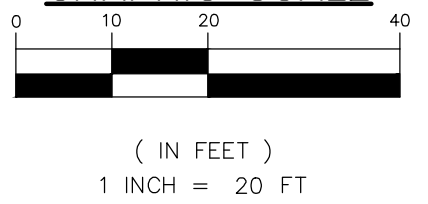
mark	date	description
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2	02/16/24	PER ADDENDUM 2

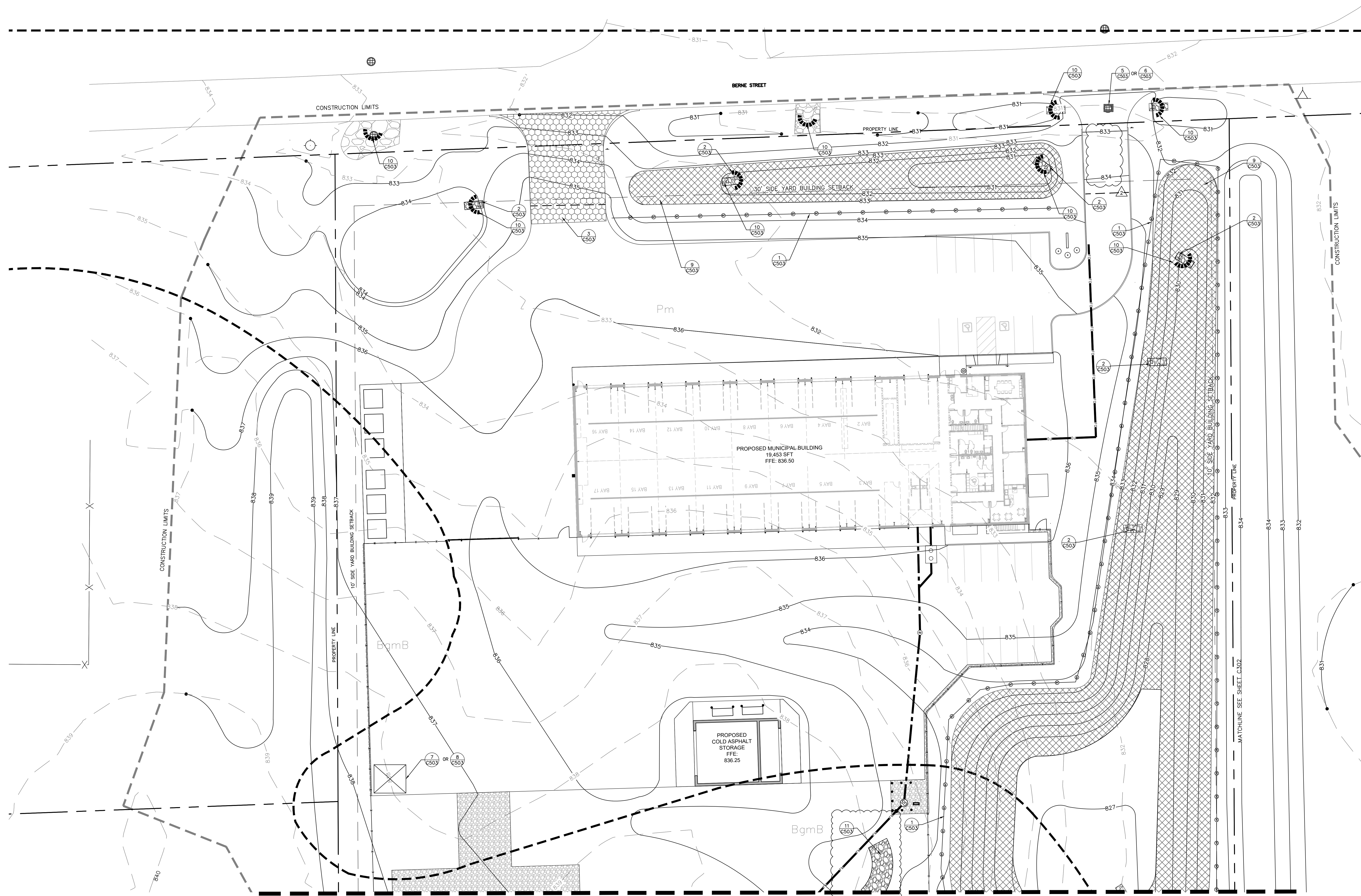
UTILITY PLAN

date:	1/30/2024
project:	2021-0136
coordinator:	NGD
drawn:	JUB / RRM
checked:	NGD

C401

GRAPHIC SCALE





EROSION CONTROL NOTES

1. THE CONCRETE WASHOUT MUST BE LOCATED MORE THAN 50' AWAY FROM ANY RETENTION AREA AND/OR STORM SYSTEM.
2. THE CONCRETE WASHOUT MUST BE INSPECTED DAILY.
3. ANY FUELING STATION LOCATED ON SITE SHALL BE LOCATED WITHIN A SECONDARY CONTAINMENT SYSTEM, AND MUST BE INSPECTED DAILY AND AFTER RAINFALL EVENTS.
4. THE CONTRACTOR SHALL SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING WITH THE ADAMS COUNTY SWCD AND THE CITY OF BERNE PRIOR TO LAND DISTURBING ACTIVITIES.

HAZ-MAT/CHEMICAL SPILL NOTIFICATION

State Fire Marshals Office: 1-800-669-7362
IDEM Environmental Emergencies: 1-888-233-7745

PETROLEUM PRODUCT SPILLS IN THE AMOUNT OF 55 GALLONS OR MORE MUST BE REPORTED TO IDEM REGARDLESS OF CLEANUP METHODS.

HYDROLOGIC UNIT CODE:

041000040402

LATITUDE / LONGITUDE:

40° 39' 12.6216" N / 84° 57' 0.2946" W

EROSION CONTROL LEGEND

- 1. SILT FENCE, PROPERLY ANCHORED (C503)
- 2. TEMPORARY EROSION CONTROL INLET PROTECTION (C503)
- 3. PERMANENT OUTLET PROTECTION (C503)
- 4. TEMPORARY EROSION CONTROL BLANKET (C503)
- 5. TEMPORARY GRAVEL ACCESS PAD (C503)
- 6. TOPSOIL STOCKPILE AREA (C503)
- 7. HORSHOE ROCK SEDIMENT CONTROL (C503)
- 8. CONCRETE WASHOUT (C503)
- 9. CHECK DAM (C503)

SOILS LEGEND

- BgmB BLOUNT SILT LOAM, GROUND MORANE, 2 TO 4 PERCENT SLOPES
- Pm PEWAMO SILTY CLAY, 0 TO 2 PERCENT SLOPES

MATCHLINE SEE SHEET C502



GRAPHIC SCALE

(IN FEET)
1 INCH = 20 FT



Nathan Deig

A PROJECT FOR:



NEW MUNICIPAL MAINTENANCE BUILDING

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mark	date	description
2	02/16/24	PER ADDENDUM 2

EROSION CONTROL PLAN

date: 1/30/2024

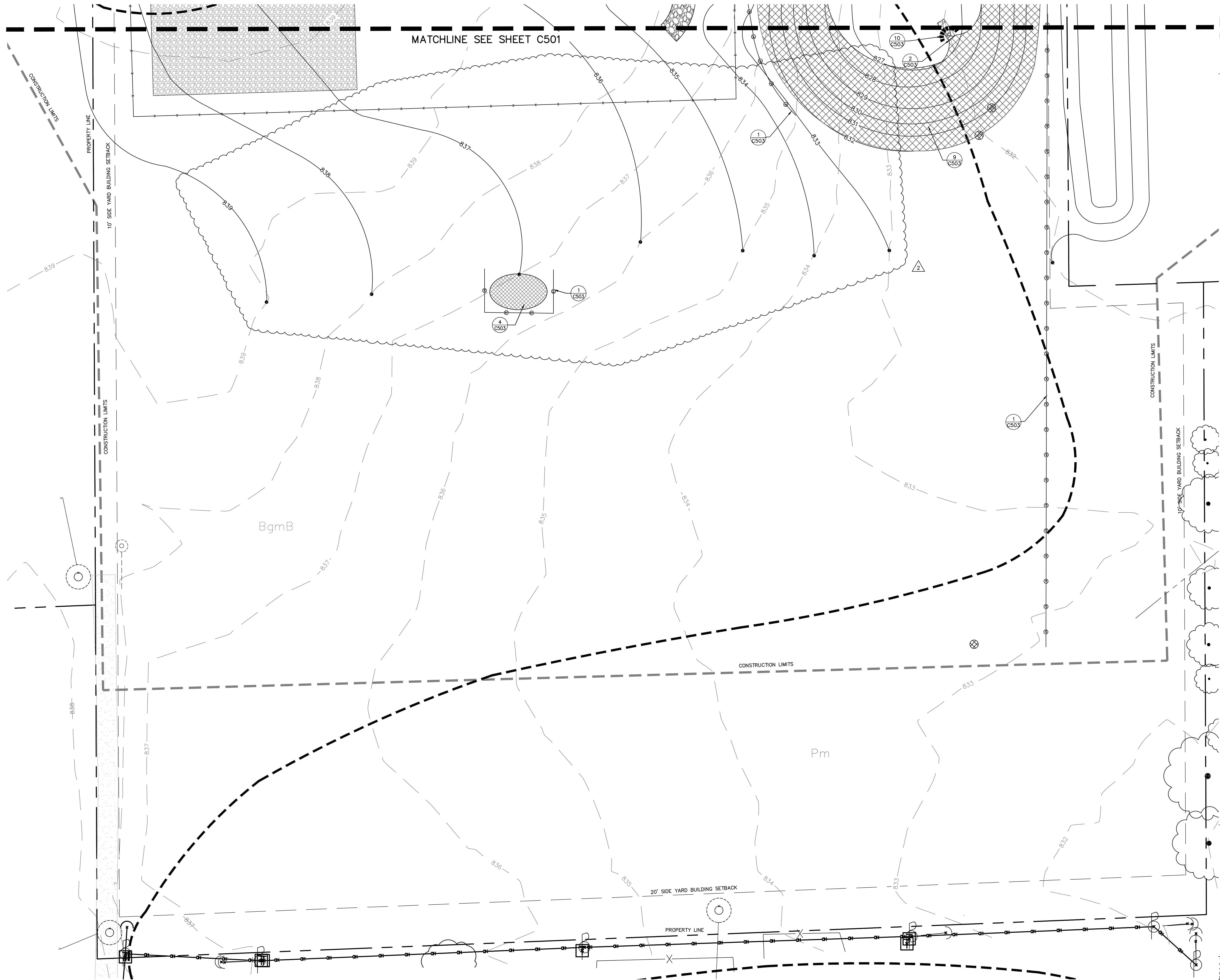
project: 2021-0136

coordinator: NGD

drawn: JJB / RRM

checked: NGD

C501



EROSION CONTROL NOTES

1. THE CONCRETE WASHOUT MUST BE LOCATED MORE THAN 50' AWAY FROM ANY RETENTION AREA AND/OR STORM SYSTEM.
2. THE CONCRETE WASHOUT MUST BE INSPECTED DAILY.
3. ANY FUELING STATION LOCATED ON SITE SHALL BE LOCATED WITHIN A SECONDARY CONTAINMENT SYSTEM, AND MUST BE INSPECTED DAILY AND AFTER RAINFALL EVENTS.
4. THE CONTRACTOR SHALL SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING WITH THE ADAMS COUNTY SWCD AND THE CITY OF BERNIE PRIOR TO LAND DISTURBING ACTIVITIES.

HAZ-MAT/CHEMICAL SPILL NOTIFICATION

State Fire Marshals Office: 1-800-669-7362

IDEM Environmental Emergencies: 1-888-233-7745

PETROLEUM PRODUCT SPILLS IN THE AMOUNT OF 55 GALLONS OR MORE MUST BE REPORTED TO IDEM REGARDLESS OF CLEANUP METHODS.

HYDROLOGIC UNIT CODE:

041000040402

LATITUDE / LONGITUDE:

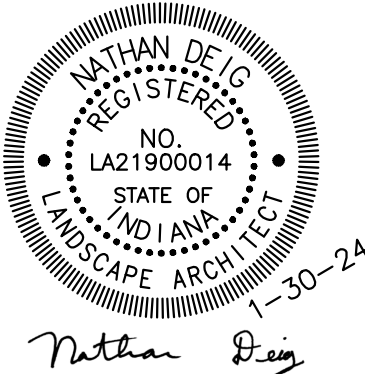
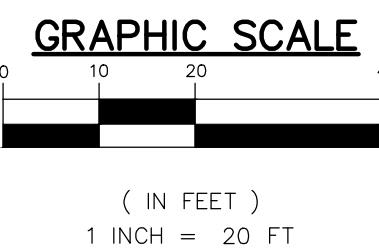
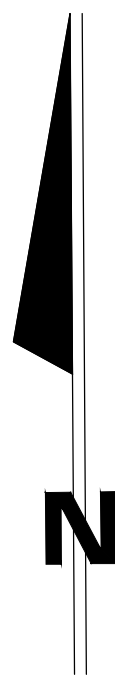
40° 39' 12.6216" N / 84° 57' 0.2946" W

EROSION CONTROL LEGEND

- 1. SILT FENCE, PROPERLY ANCHORED (C503)
- 2. TEMPORARY EROSION CONTROL INLET PROTECTION (C503) OR (C503)
- 3. PERMANENT OUTLET PROTECTION (C503)
- 4. TEMPORARY EROSION CONTROL BLANKET (C503)
- 5. TEMPORARY GRAVEL ACCESS PAD (C503)
- 6. TOPSOIL STOCKPILE AREA (C503)
- 7. HORSHOE ROCK SEDIMENT CONTROL (C503)
- 8. CONCRETE WASHOUT (C503) OR (C503)
- 9. CHECK DAM (C503)

SOILS LEGEND

- BgmB BLOUNT SILT LOAM, GROUND MORANE, 2 TO 4 PERCENT SLOPES
- Pm PEWAMO SILTY CLAY, 0 TO 2 PERCENT SLOPES



A PROJECT FOR:



NEW MUNICIPAL MAINTENANCE BUILDING

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mark	date	description
2	02/16/24	PER ADDENDUM 2

EROSION CONTROL PLAN

date: 1/30/2024

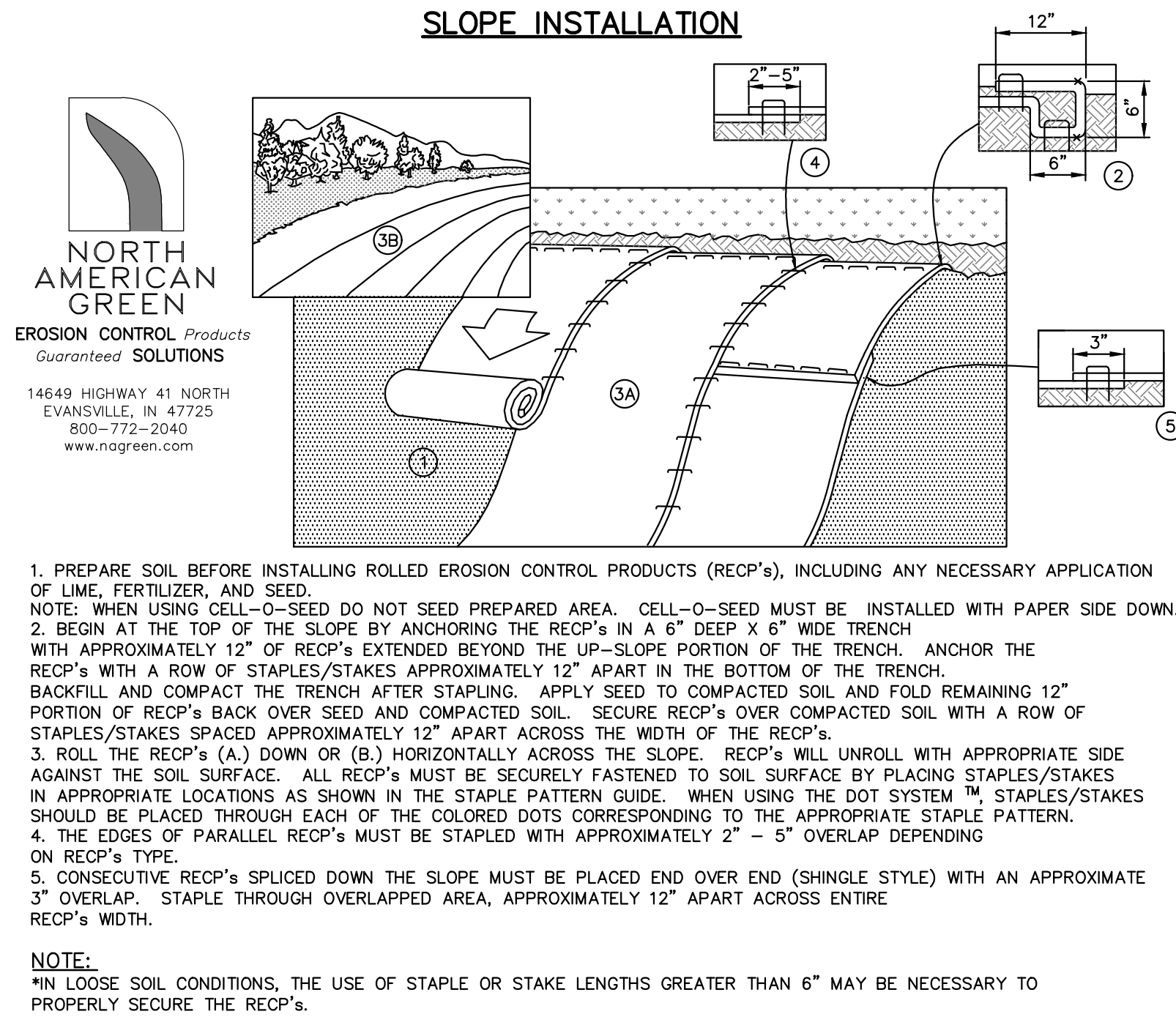
project: 2021-0136

coordinator: NGD

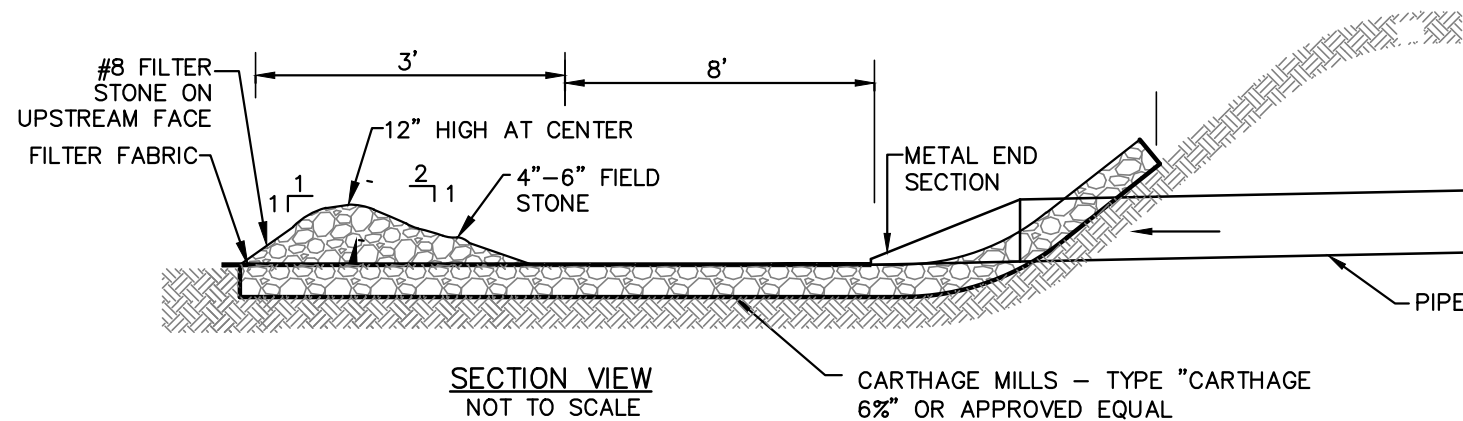
drawn: JJB / RRM

checked: NGD

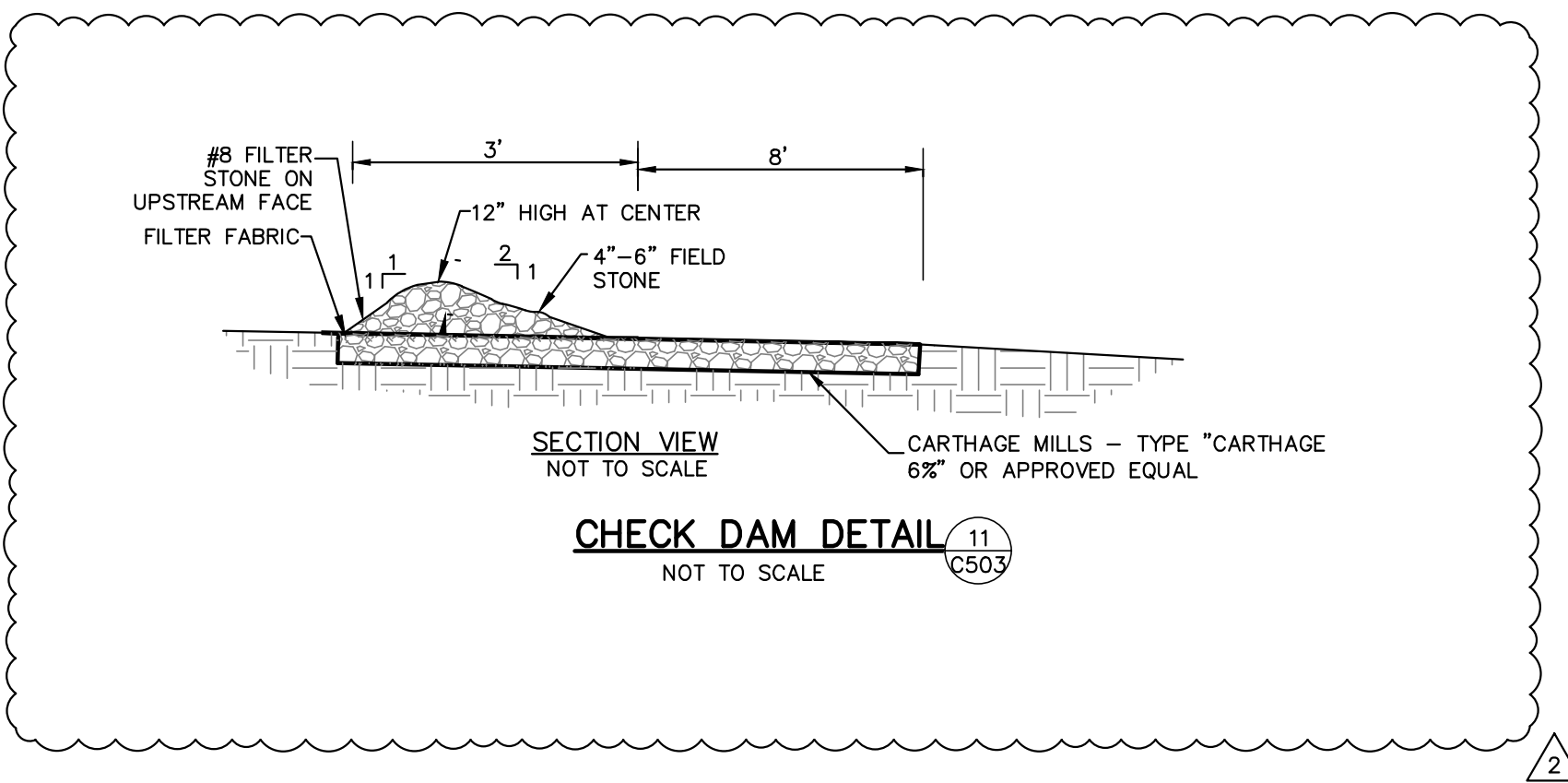
C502



EROSION CONTROL BLANKET DETAIL 9 C503
NOT TO SCALE

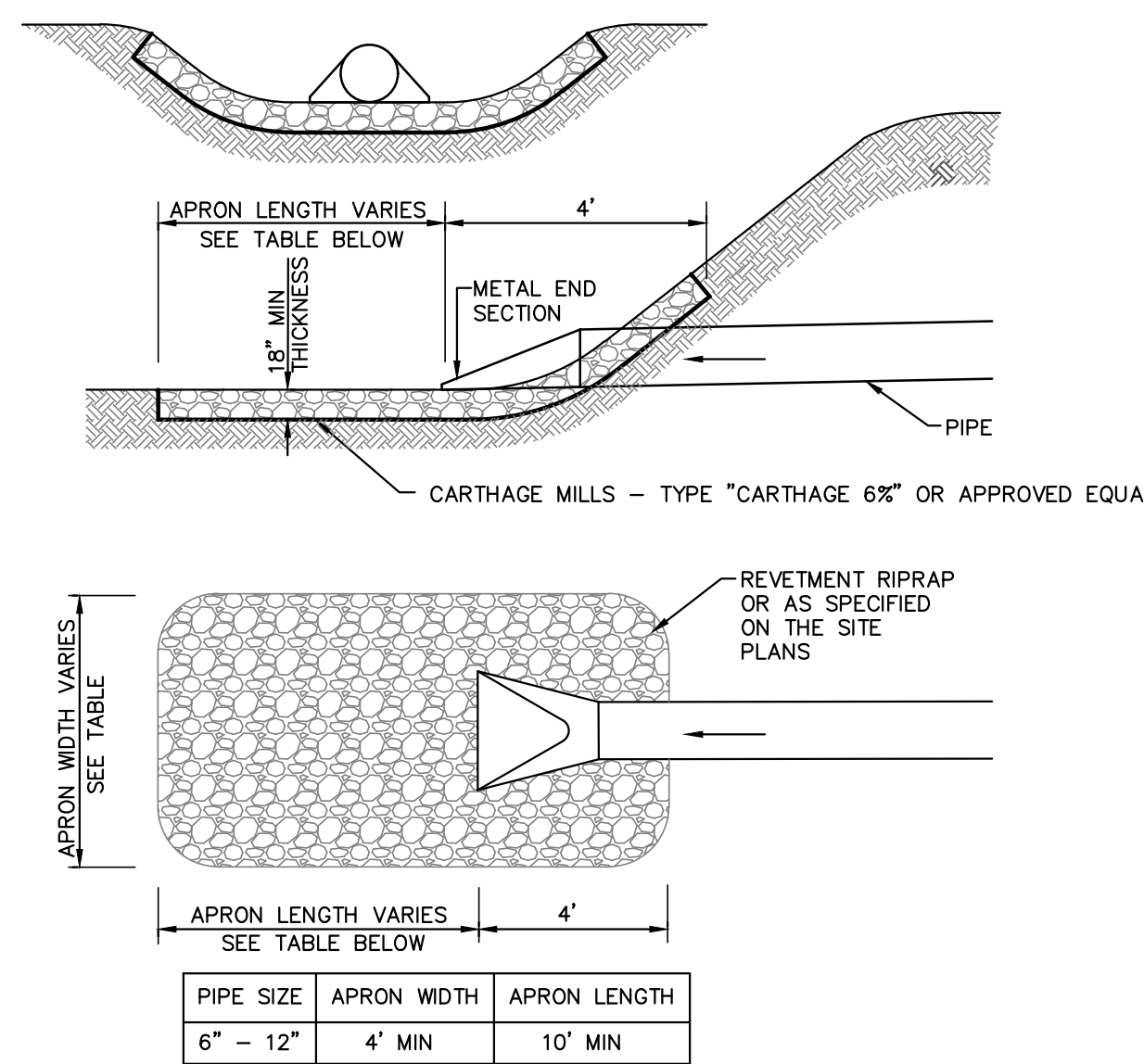
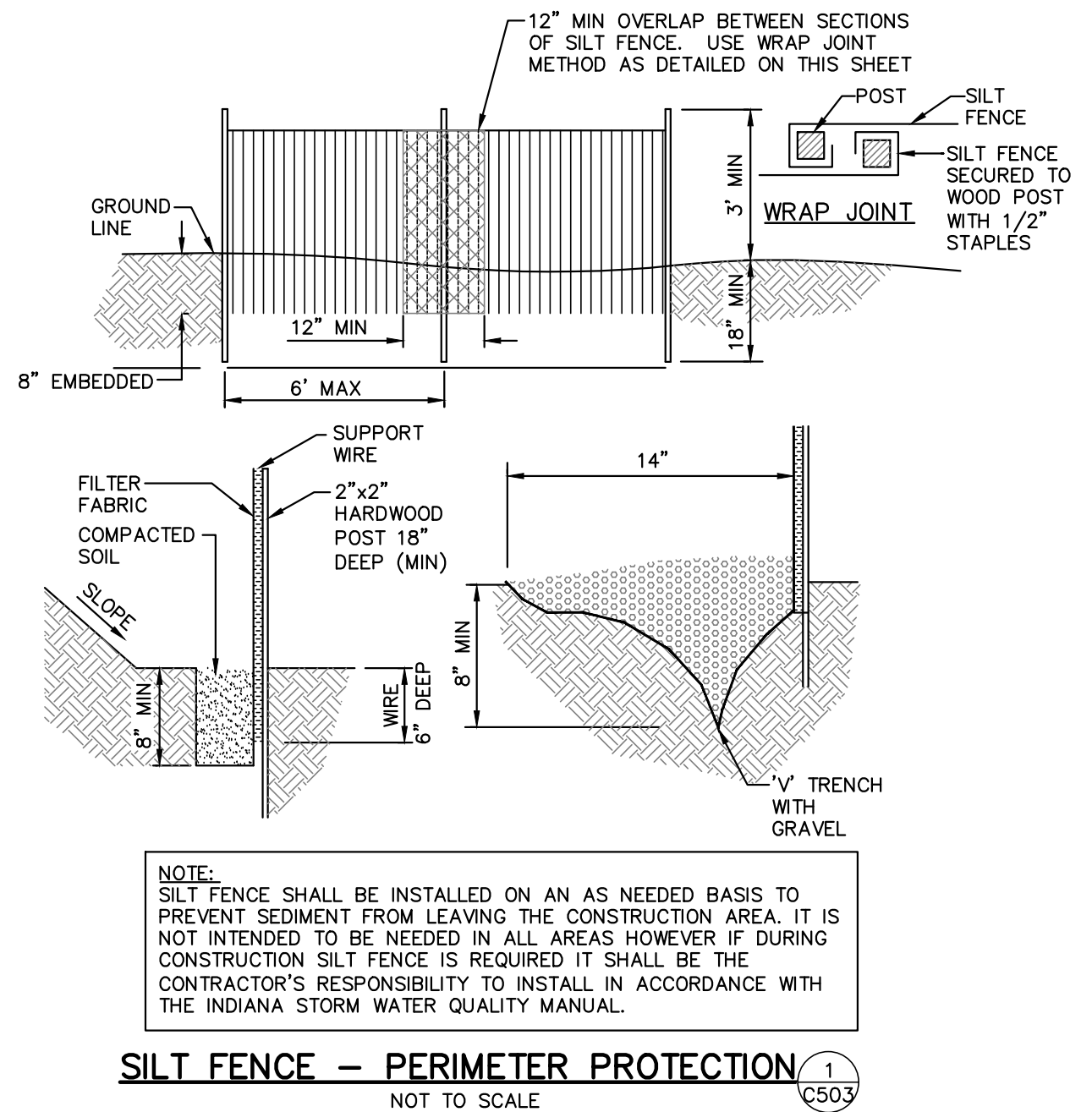
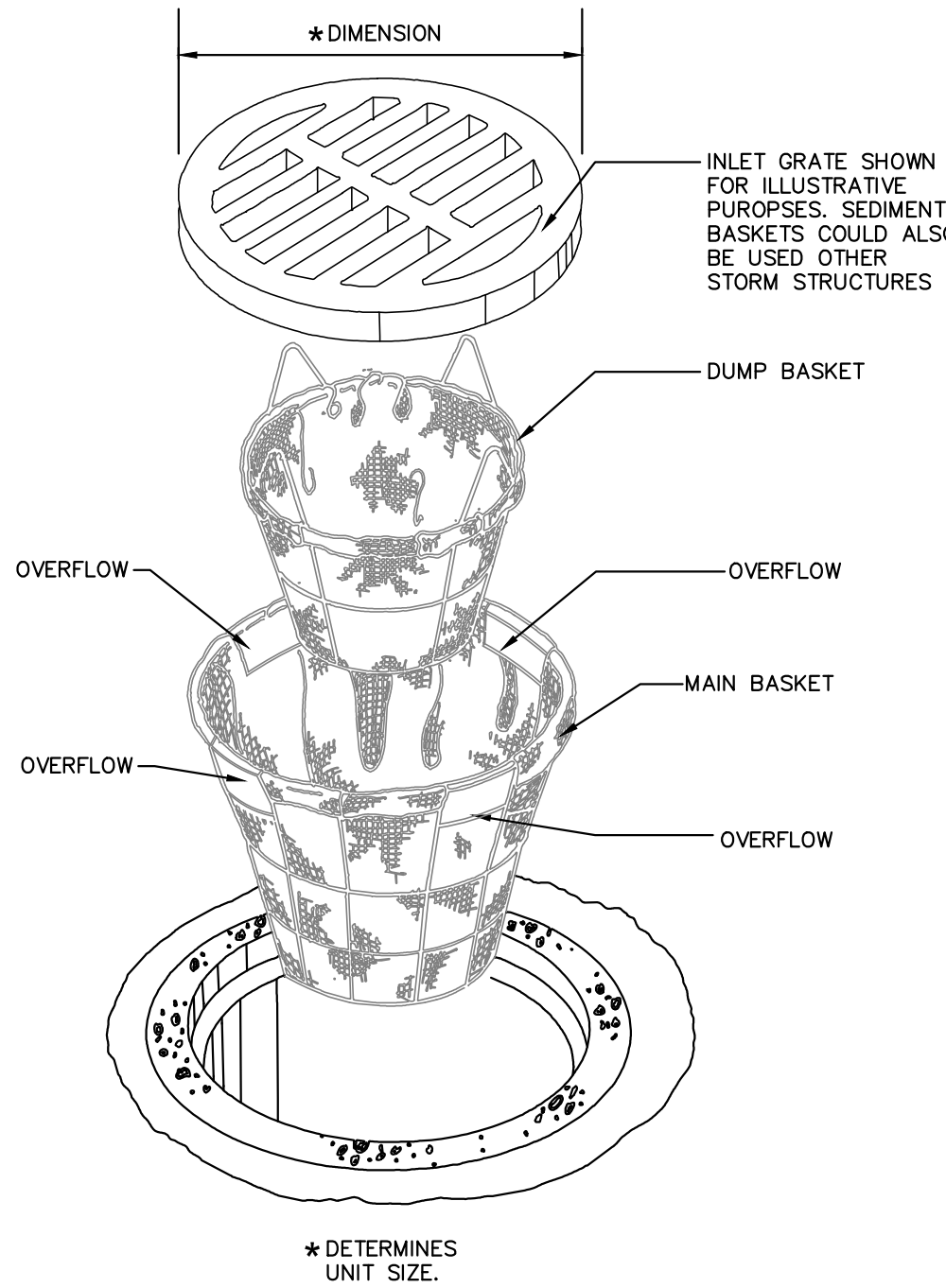
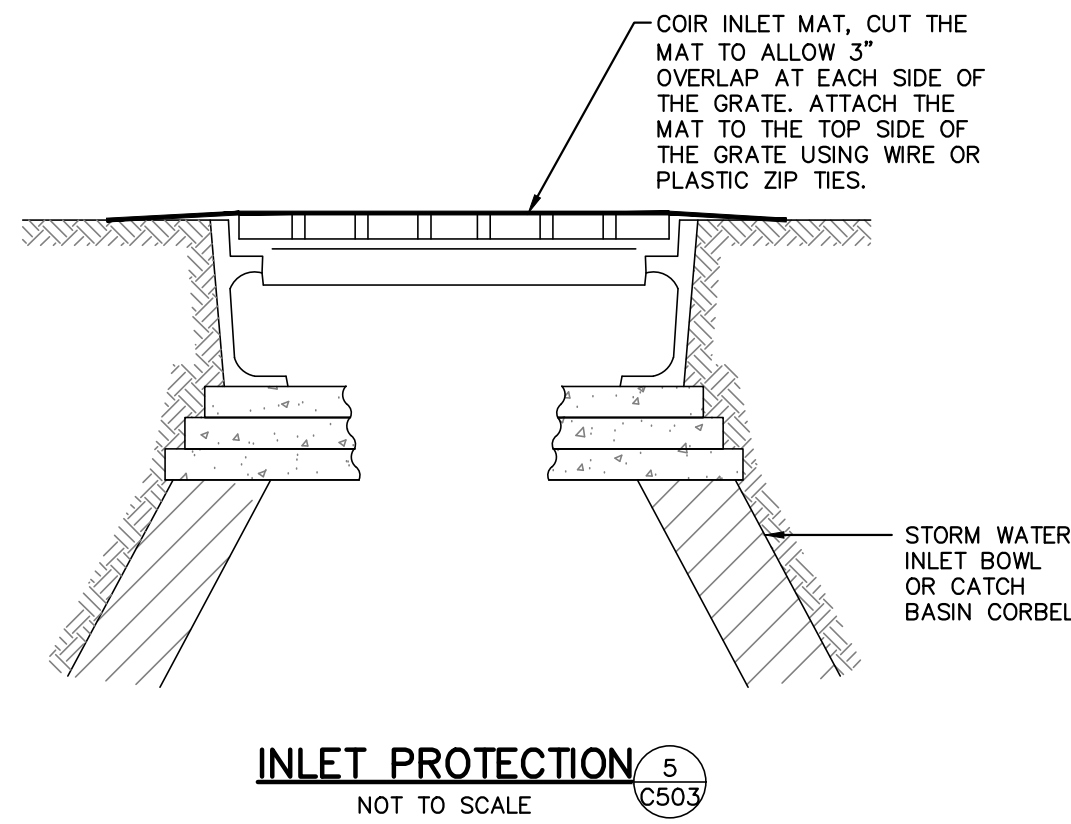
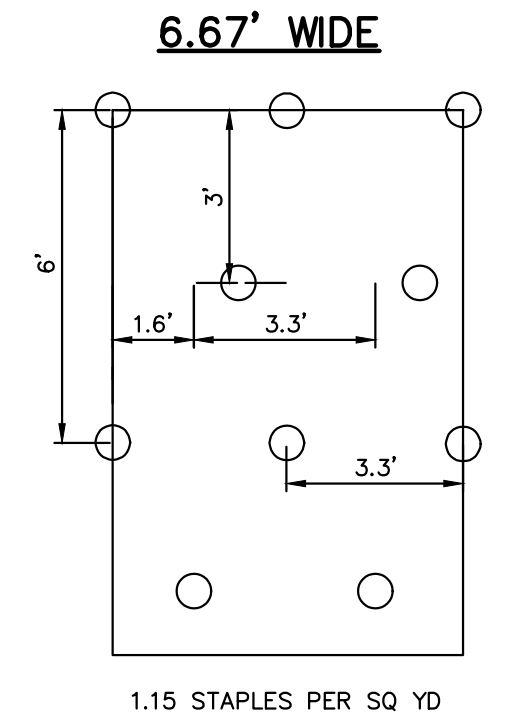


HORSESHOE ROCK SEDIMENT CONTROL 10 C503
NOT TO SCALE



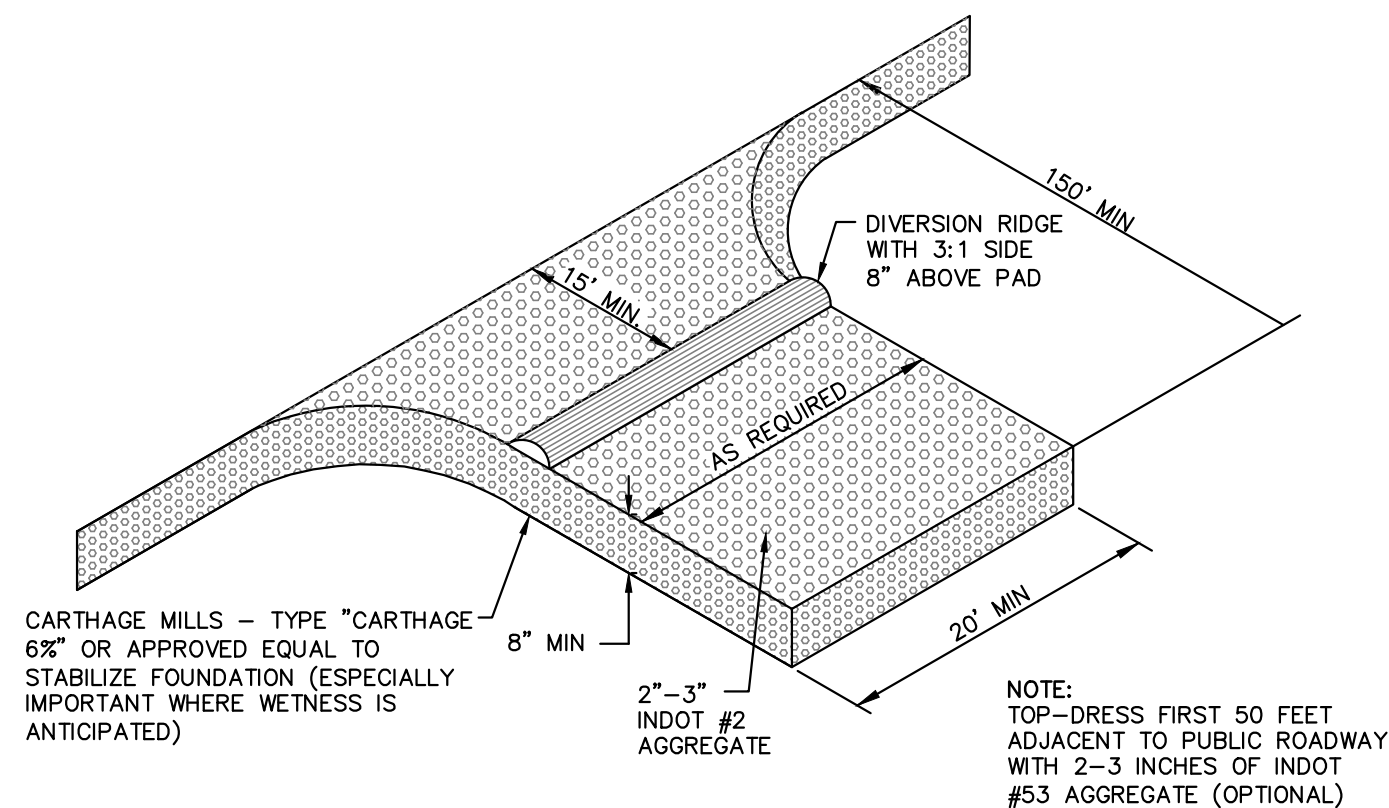
CHECK DAM DETAIL 11 C503
NOT TO SCALE

STAPLE PATTERN GUIDE

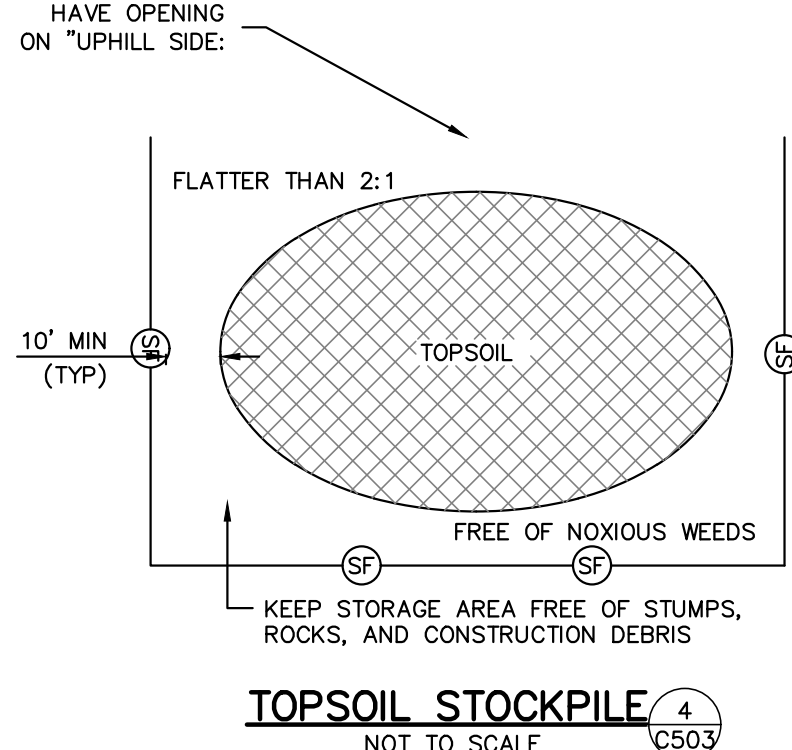


NOTES:
1. MINIMUM DIMENSIONS PROVIDED ABOVE.
SEE PLAN SHEET C501 FOR AREAS WITH ADDITIONAL LENGTH OF OUTLET PROTECTION.

STORM SEWER OUTLET PROTECTION 2 C503
NOT TO SCALE

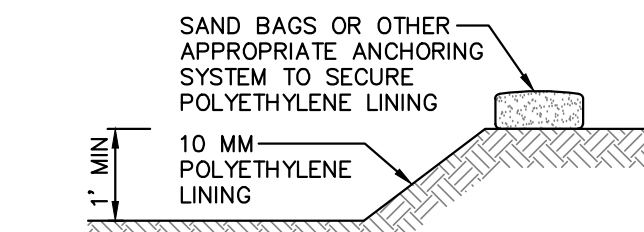


TEMPORARY GRAVEL ACCESS PAD 3 C503
NOT TO SCALE

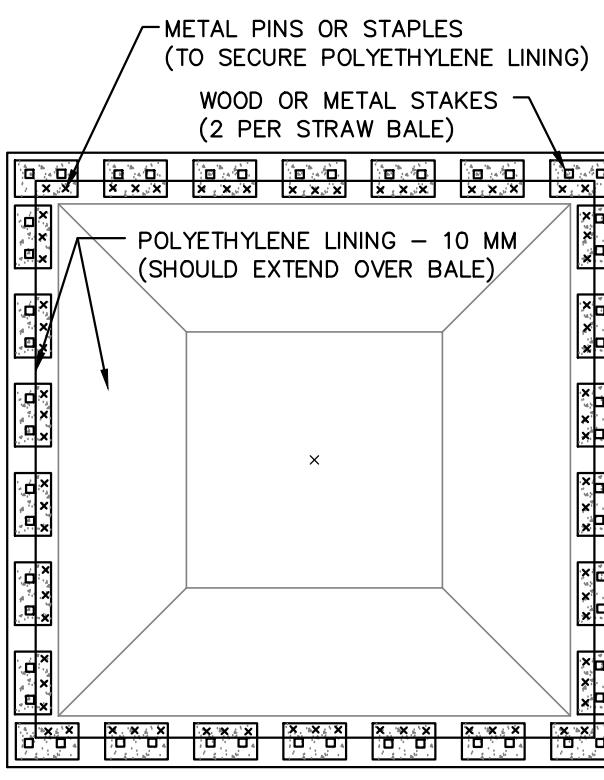


NOTES:
1. TOPSOIL STOCKPILE LOCATION TO BE DETERMINED BY CONTRACTOR.
2. STOCKPILE SHALL BE SIZED TO CONTAIN ALL TOPSOIL THAT IS EXPECTED TO BE USED FOR SITE GRADING PURPOSES.
3. CONTRACTOR SHALL INSTALL SILT FENCE SURROUNDING THE STOCKPILE IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.

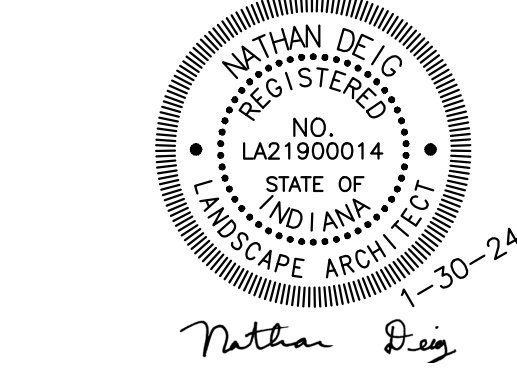
NOTE:
1. CONCRETE WASHOUT LOCATION TO BE DETERMINED BY CONTRACTOR. CONTRACTOR TO SELECT EITHER AN ABOVE OR BELOW GRADE SYSTEM AS DETAILED OR A PREFABRICATED WASHOUT SYSTEM/CONTAINER. ALL OTHER METHODS SHALL BE APPROVED BY THE SOIL AND WATER CONSERVATION DISTRICT PRIOR TO USE.
2. ABOVE AND BELOW GRADE SYSTEMS SHALL BE A MINIMUM OF 10 FEET X 10 FEET AND INCLUDE A MINIMUM OF 12" OF FREE BOARD IS REQUIRED FOR BELOW GRADE AND 4" MINIMUM FOR ABOVE GRADE SYSTEMS TO ENSURE THE AREA WILL NOT OVERFLOW DURING A RAINFALL EVENT.
3. SYSTEM SHALL BE SIZED TO CONTAIN ALL LIQUID AND WASTE THAT IS EXPECTED TO BE GENERATED BETWEEN CLEANOUT PERIODS.
4. CONTRACTOR SHALL INSTALL THE SELECTED SYSTEM IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.



CONCRETE WASHOUT BELOW GRADE SYSTEM 7 C503
NOT TO SCALE



CONCRETE WASHOUT ABOVE GRADE SYSTEM 8 C503
NOT TO SCALE



A PROJECT FOR:



NEW MUNICIPAL MAINTENANCE BUILDING

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mark	date	description
2	02/16/24	PER ADDENDUM 2

EROSION CONTROL DETAILS

date: 1/30/2024
project: 2021-0136
coordinator: NGD
drawn: JJB / RRM
checked: NGD

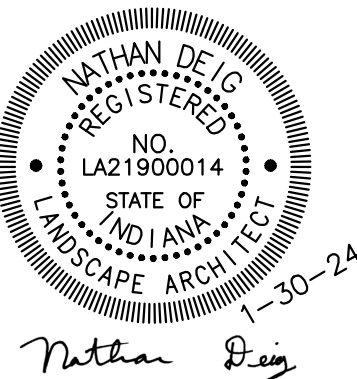
C503

CONTRACTOR TO
COORDINATE WITH OWNER
ON FINAL SEEDING LIMITS
OF ALL DISTURBED AREAS
IN REGARDS TO TIMING OF
CROP PLANTING SEASON
AND RETURNING SOME ARE
TO FARM FIELD CONDITIONS

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COORDINATE WITH OWNER
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A PROJECT FOR:



NEW MUNICIPAL MAINTENANCE BUILDING

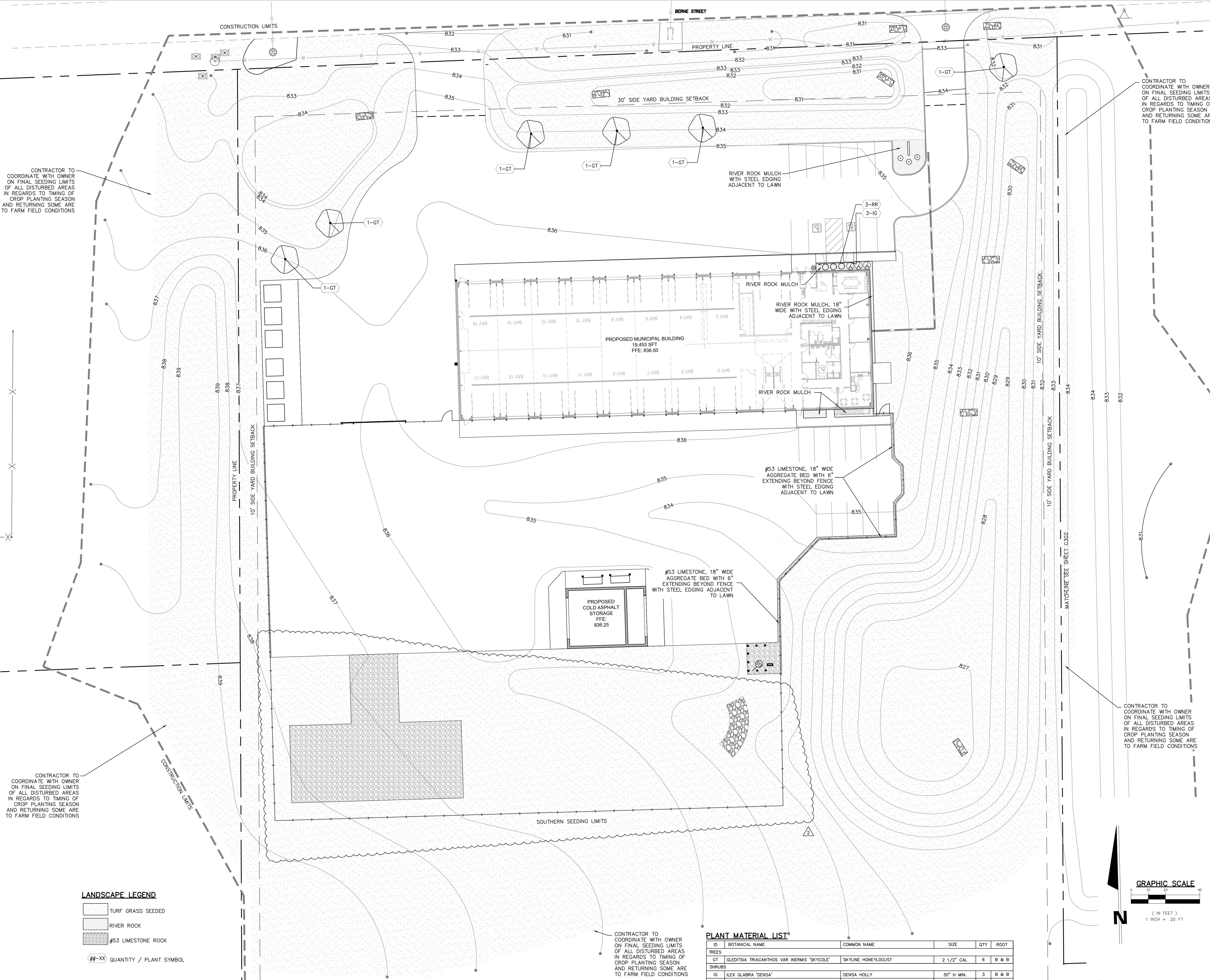
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mark	date	description
2	02/16/24	PER ADDENDUM 2

LANDSCAPE PLAN

date: 1/30/2024
project: 2021-0136
coordinator: NGD
drawn: JJB / RRM
checked: NGD

C601



LANDSCAPE LEGEND

- TURF GRASS SEEDED
- RIVER ROCK
- #53 LIMESTONE ROCK

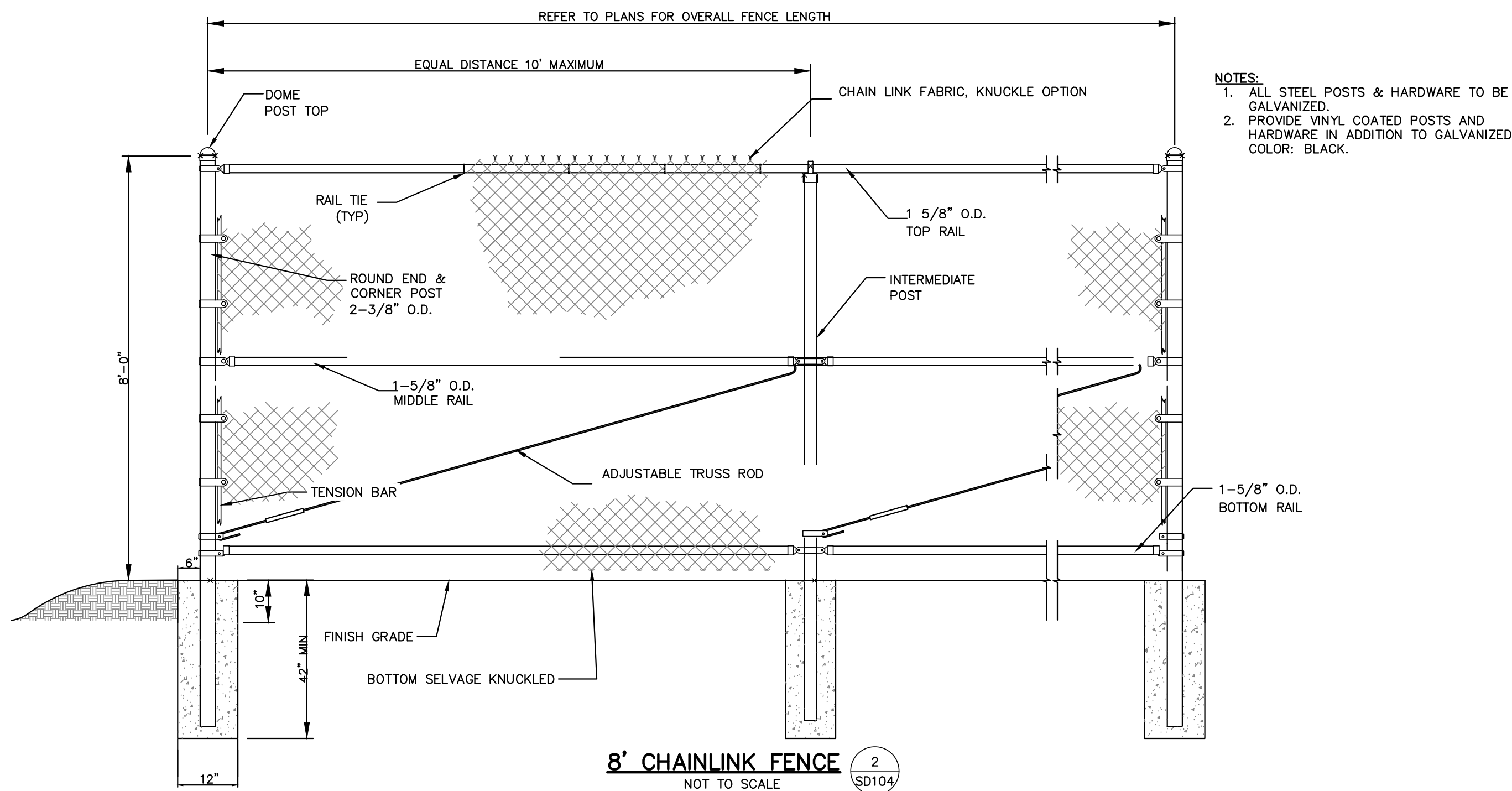
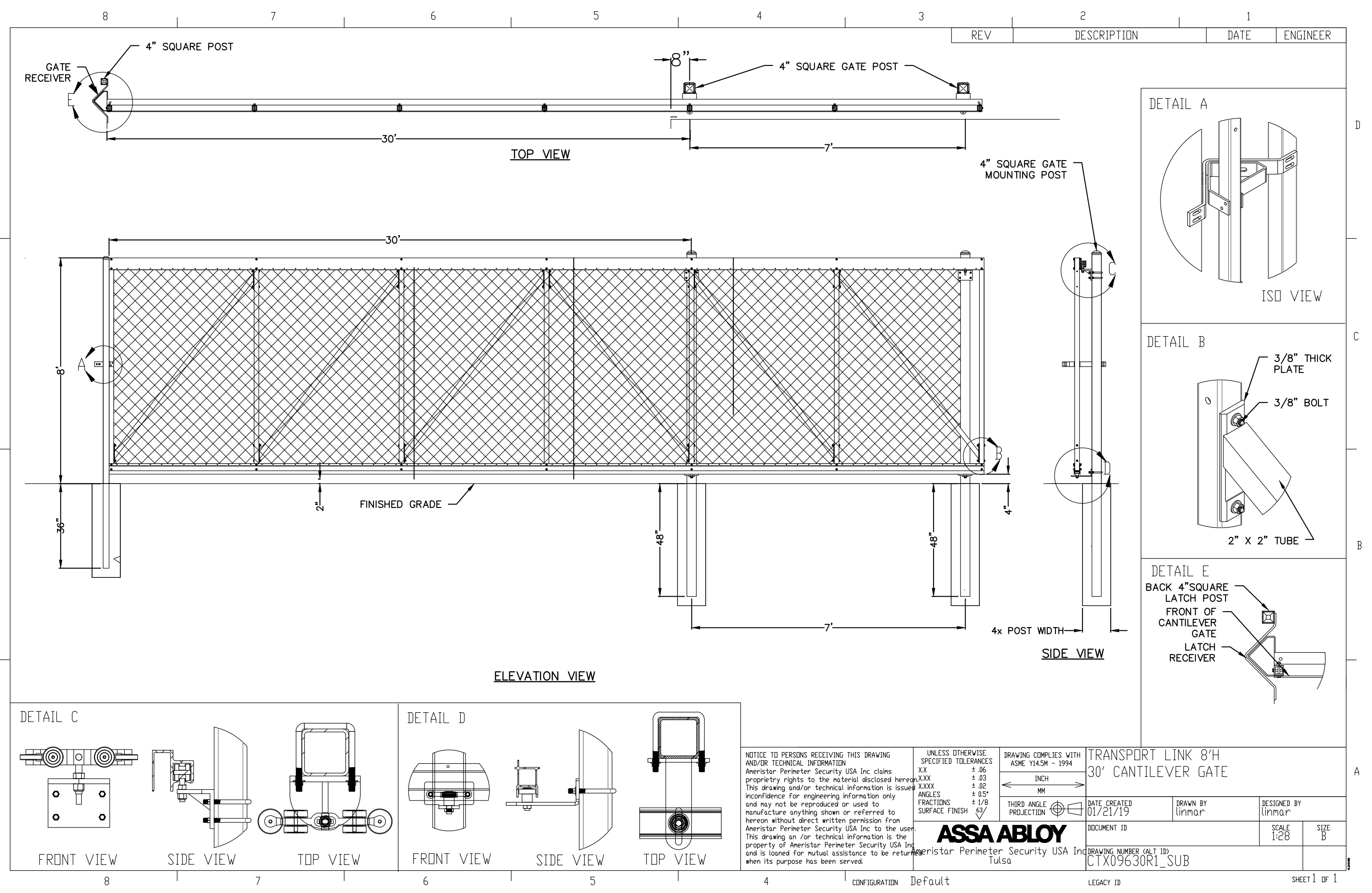
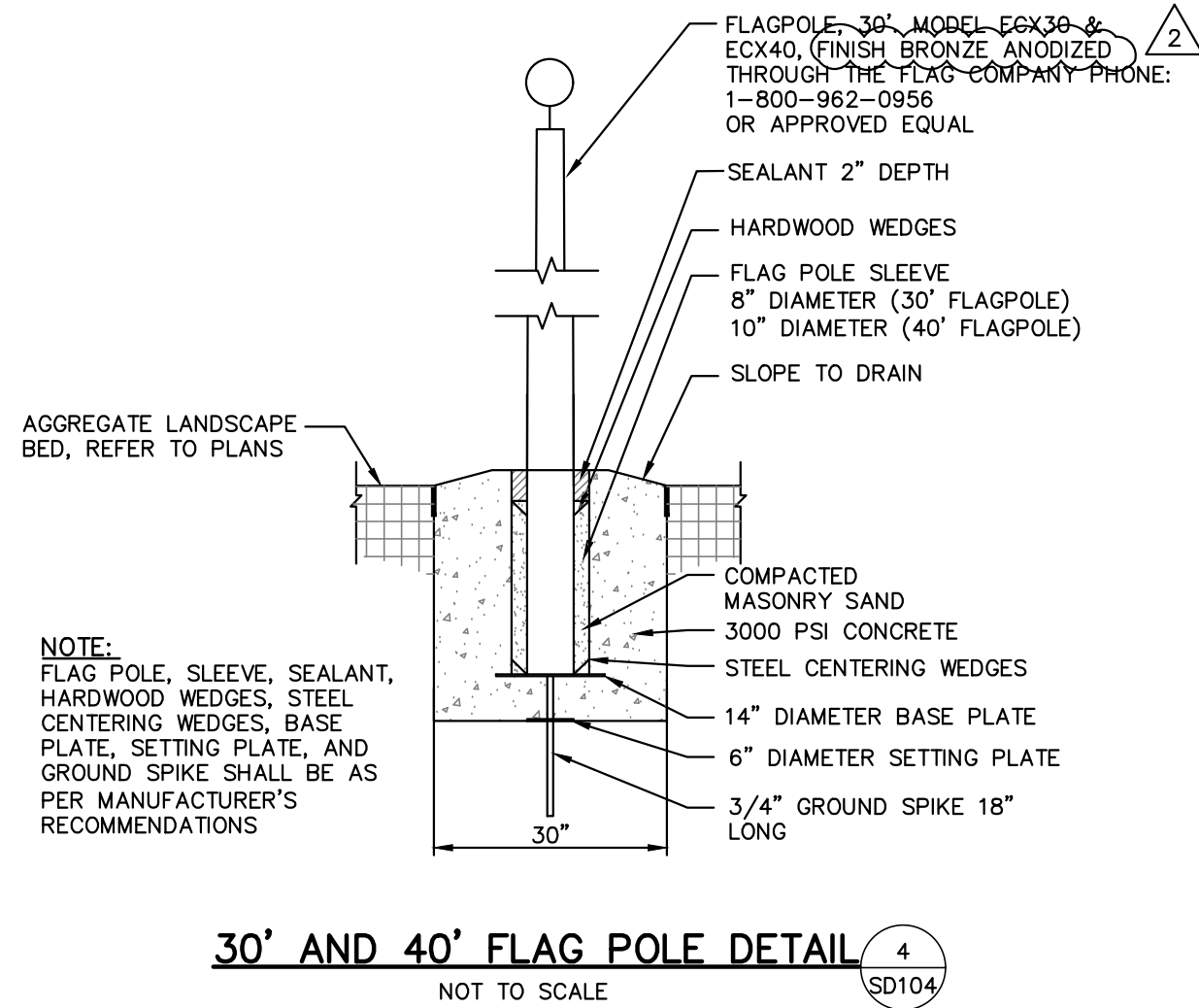
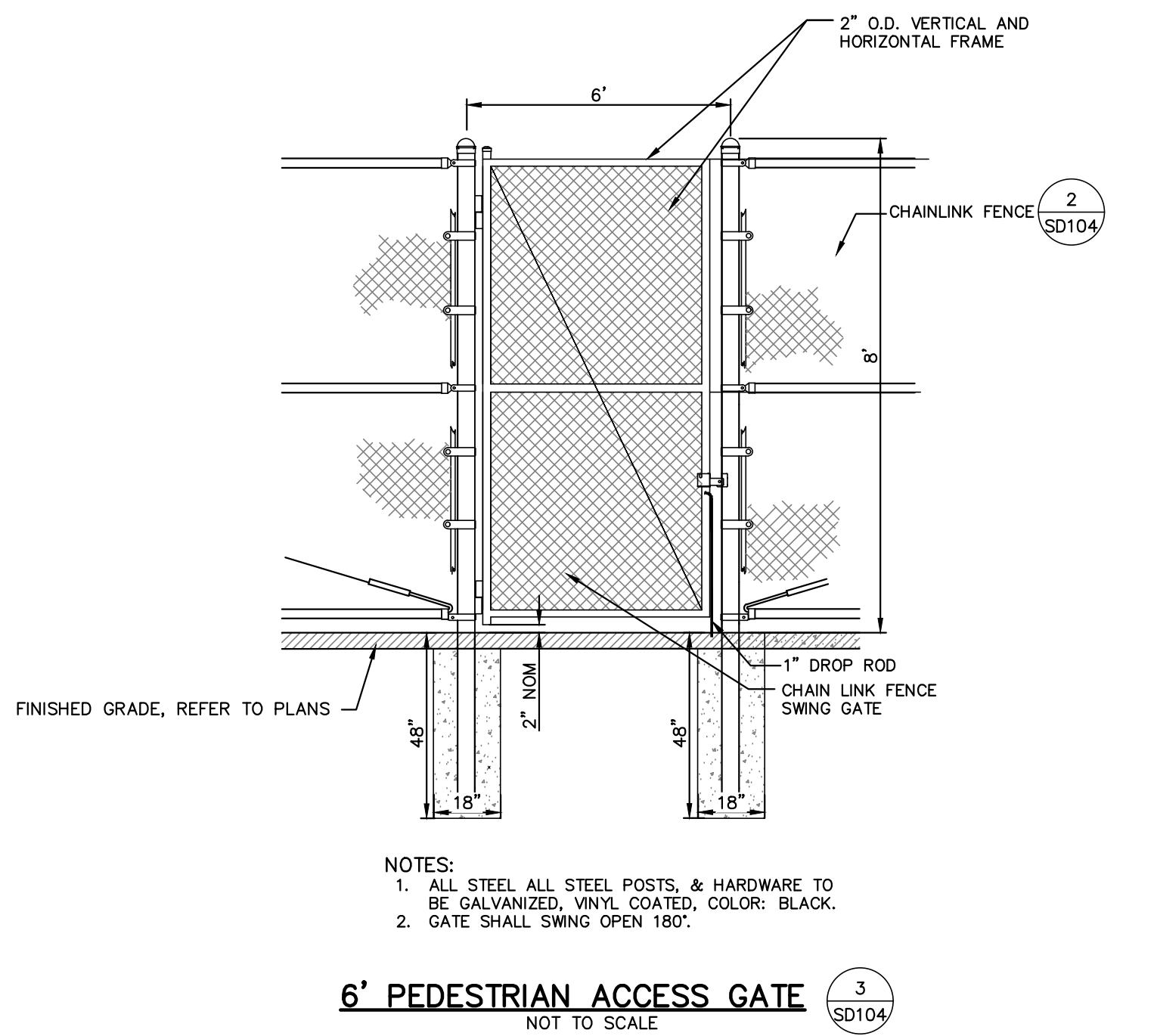
##-XX QUANTITY / PLANT SYMBOL

PLANT MATERIAL LIST*

ID	BOTANICAL NAME	COMMON NAME	SIZE	QTY	ROOT
TREES					
GT	GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2 1/2" CAL	6	B & B
SHRUBS					
IG	ILEX GLABRA 'DENSE'	DENSE HOLLY	30" H MIN.	3	B & B
RR	ROSA 'RADTKO'	HYBRID ROSE	NO. 5, 24" H MIN.	3	CONT.

GRAPHIC SCALE

(IN FEET)
1 INCH = 20 FT



A PROJECT FOR:



NEW MUNICIPAL MAINTENANCE BUILDING

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mark	date	description
2	02/16/24	PER ADDENDUM 2

DETAILS-FURNISHINGS

date: 1/30/2024

project: 2021-0136

coordinator: NGD

drawn: JJB / RRM

checked: NGD

SD104