

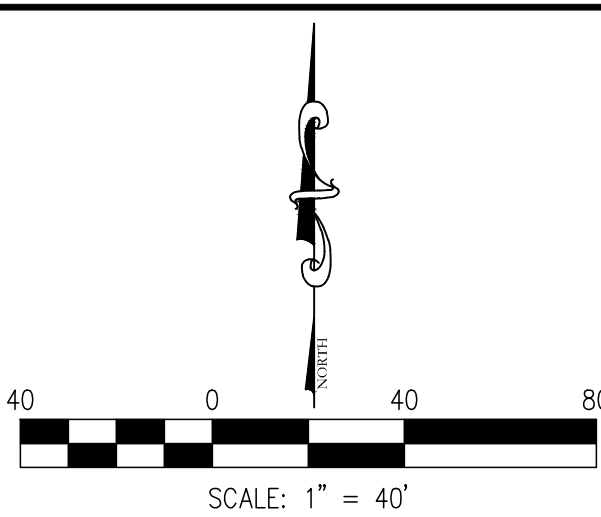
**ECHS ADDENDUM #1 DRAWINGS**  
**10/11/24**



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UTILITY CONTACTS				
Note: Listed below are the Indiana Underground Plant Protection Services Contacts. Others not listed may exist. The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities comprise all such utilities in this area, either in-depth or otherwise. The surveyor further does not warrant that the underground utilities shown are in this exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.				
UTILITY	COMPANY	CONTACT	PHONE	EMAIL
COMMUNICATIONS	Southeastern IN REMC		(812) 689-4111	contact_us@seiremc.com
ELECTRIC	Southeastern IN REMC		(812) 689-4111	contact_us@seiremc.com
SANITARY	St. Leon Wastewater Utility		(812) 637-2150	
WATER	North Dearborn Water Corp.	Gary Gaynor	(812) 576-2177	ndw@northdearbornwater.com
GAS	Ohio Valley Gas Corp.		(765) 825-1148	
FIRE DEPARTMENT	IVFA District 19	Ben Sieverding	(812) 621-1150	district19@ivfa.org



EXISTING LEGEND		
	POWERPOLE	CONTOURS
	POWERPOLE W/ RISER	PROPERTY LINE
	POWERPOLE W/ LIGHT	SECTION LINE
	LIGHT POLE	RIGHT-OF-WAY
	ELECTRIC METER	EASEMENT
	ELECTRIC BOX	ADJOINER LINE
	YARD LIGHT	PAVEMENT LINE
	GUY WIRE	FIELD LINE
	TELEPHONE MANHOLE	PRIVACY FENCE
	TELEPHONE RISER	CHAINLINK FENCE
	WATER VALVE	SPLIT RAIL FENCE
	FIRE HYDRANT	WIRE FENCE
	WELL	DITCH
	WATER MANHOLE	GAS LINE
	WATER METER	TELEPHONE LINE
	GAS METER	CABLE TV LINE
	CABLE TV RISER	ELECTRIC LINE
	CLEANOUT	OVERHEAD UTILITY LINE
	SIGN	TREE LINE
	MAILBOX	SANITARY SEWER
	STORM ROUND INLET	W/ MANHOLE
	STORM CURB INLET	STORM SEWER W/ MANHOLE & END SECTION
	TREE, BUSH & STUMP	(D) DEED (M) MEASURE (PS) PLAT SURVEY
	TEMP. BENCHMARK	ASPHALT
	MONUMENT FOUND	GRAVEL
		BUILDING
		REMOVAL/DEMOLISH

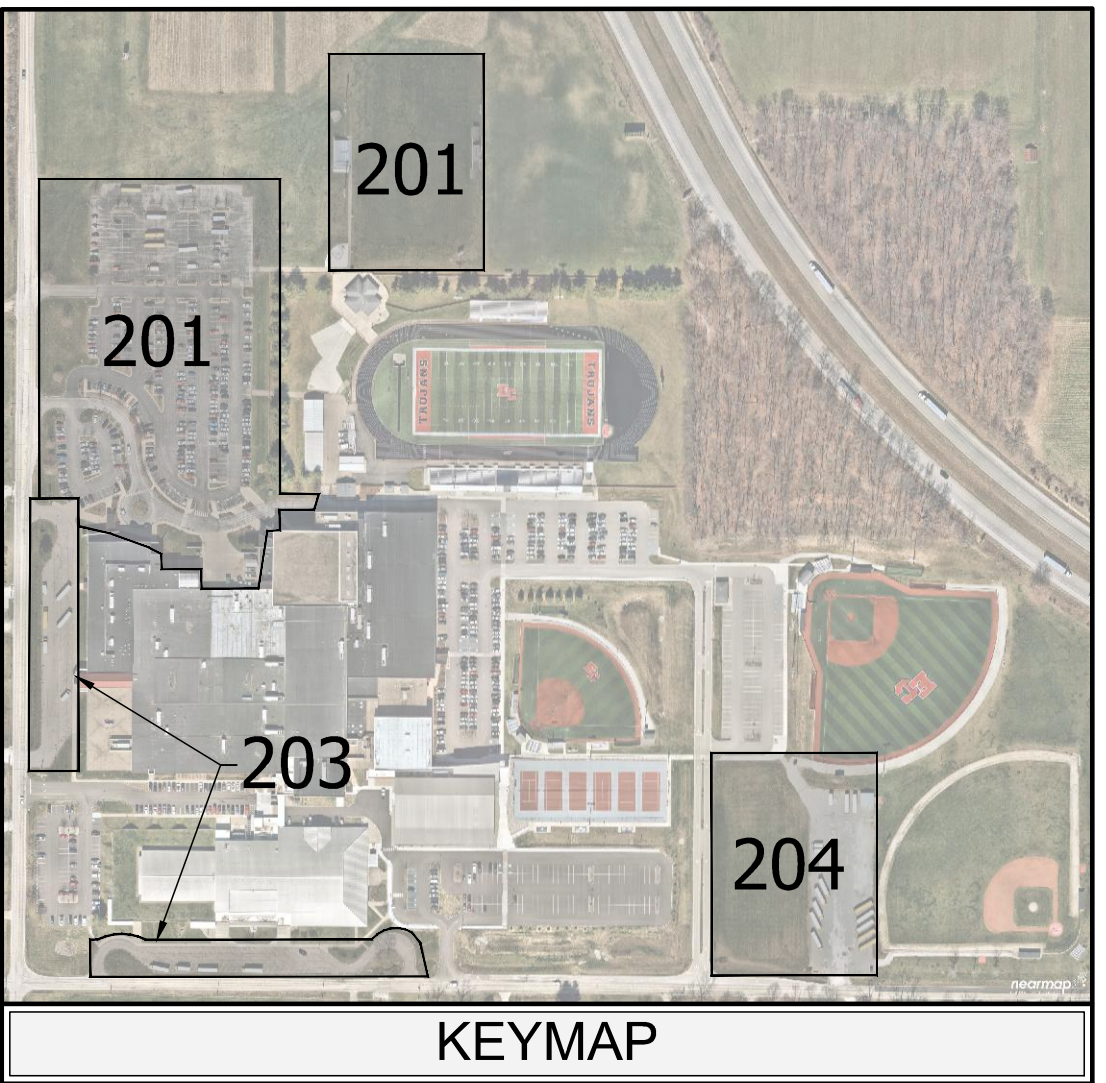
TOPOGRAPHICAL NOTES	
1.	CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
2.	UTILITIES ARE GRAPHICAL REPRESENTATION PER SURVEY AND MAPPING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
3.	CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR SERVICE DIS-CONNECTIONS.

FLOODPLAIN INFORMATION	
BY GRAPHIC PLOTTING ONLY, THIS TRACT OF LAND DESCRIBED HEREON LIES WITHIN ZONE "X" (AREAS OUTSIDE THE 500-YEAR FLOODPLAIN) AND IS NOT IN A SPECIAL FLOOD HAZARD AREA AS PLOTTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR DEARBORN & RIPLEY COUNTIES, INDIANA, COMMUNITY PANEL NO. 180038, 180596, & 180600, WHICH BEARS AN EFFECTIVE DATE OF APRIL 16, 2014.	

NOTE:  
SECTION LINES, PROPERTY LINES, AND RIGHT-OF-WAY LINES ARE BASED ON GIS IMAGERY. CONTRACTOR WILL NEED TO FIELD VERIFY BEFORE CONSTRUCTION BEGINS.

BENCHMARK INFORMATION	
TBM #400	NORTH/NORTHEAST BONNET BOLT OF FIRE HYDRANT LOCATED ±40' EAST OF THE CENTERLINE OF "TROJAN ROAD" & ±67' NORTH OF THE CENTERLINE OF "SCHUMAN ROAD", UNABLE TO FIND EXISTING CUT "X" AT TIME OF SURVEY. ELEV. = 1006.75
TBM #401	CUT "X" ON THE EAST SIDE OF A CONCRETE LIGHTPOLE BASE LOCATED ±70' EAST OF THE CENTER LINE OF "TROJAN ROAD" & ±65' WEST/NORTHWEST OF THE NORTHWEST CORNER OF THE HIGH SCHOOL BUILDING. ELEV. = 1007.63

EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL, PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.



CROSSROADS ENGINEERS, PC  
115 N. 10th Street, Suite 200  
Indianapolis, IN 46204  
Phone: (317) 634-1111  
Fax: (317) 634-1112  
Email: info@crossroadsengineers.com

# EAST CENTRAL HS TOPOGRAPHIC DEMOLITION PLAN

## SUNMAN-DEARBORN COMMUNITY SCHOOLS

JOB NO.	DRAWN	CHECKED	DATE	DESIGNED	BY	APPR.
			SEPTEMBER 24, 2024			

NO.	1	2	3	4	5	6	7	8	9
REVISIONS FOR ADDENDUM #1									
DATE	10.10.2024								

REVISIONS FOR ADDENDUM #1

DATE

BY

BY

CA

CA

APPR.

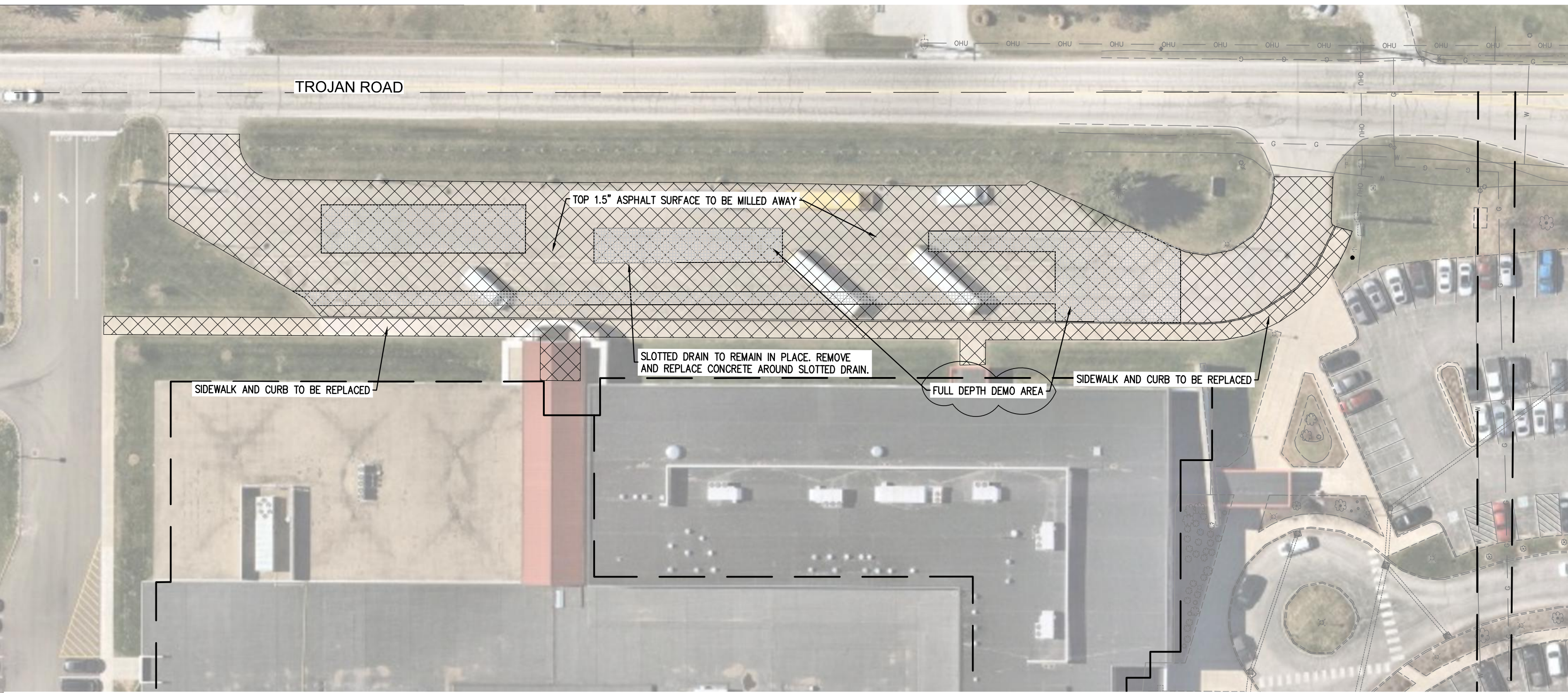
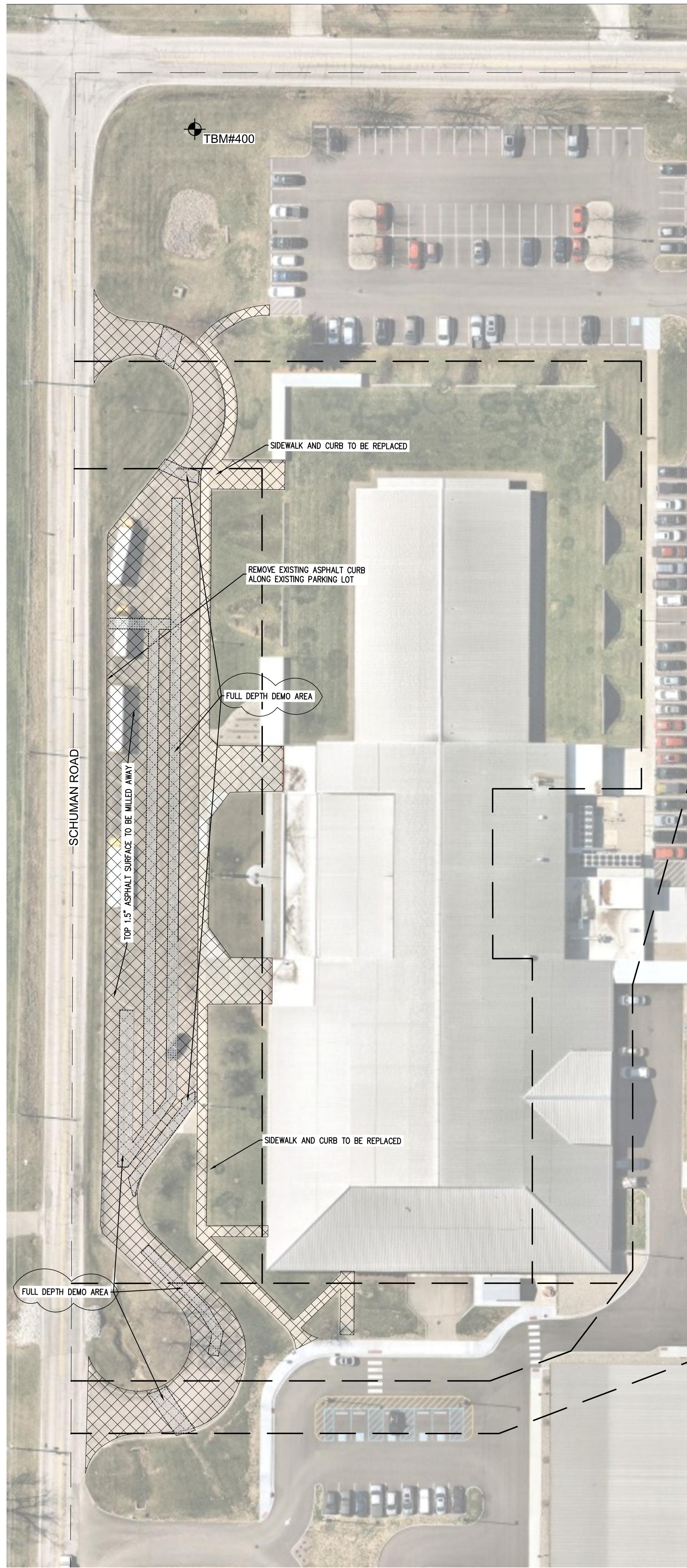
APPR.

SHEET

EC 202



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TOPOGRAPHICAL NOTES

1. CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.

2. UTILITIES ARE GRAPHICAL REPRESENTATION PER SURVEY AND MAPPING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

3. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR SERVICE DIS-CONNECTIONS.

FLOODPLAIN INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS TRACT OF LAND DESCRIBED HEREON LIES WITHIN ZONE "X" (AREAS OUTSIDE THE 500-YEAR FLOODPLAIN) AND IS NOT IN A SPECIAL FLOOD HAZARD AREA AS PLOTTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR DEARBORN & RIPLEY COUNTIES, INDIANA, COMMUNITY PANEL NO. 180038, 180596, & 180600, WHICH BEARS AN EFFECTIVE DATE OF APRIL 16, 2014.

BENCHMARK INFORMATION

**TBM #400**  
NORTH/NORTHEAST BONNET BOLT OF FIRE HYDRANT LOCATED ±40' EAST OF THE CENTERLINE OF "TROJAN ROAD" & ±67' NORTH OF THE CENTERLINE OF "SCHUMAN ROAD", UNABLE TO FIND EXISTING CUT "X" AT TIME OF SURVEY.  
ELEV. = 1006.75

**TBM #401**  
CUT "X" ON THE EAST SIDE OF A CONCRETE LIGHTPOLE BASE LOCATED ±70' EAST OF THE CENTER LINE OF "TROJAN ROAD" & ±65' WEST/NORTHWEST OF THE NORTHWEST CORNER OF THE HIGH SCHOOL BUILDING.  
ELEV. = 1007.63

EXISTING LEGEND

POWERPOLE

POWERPOLE W/RISER

POWERPOLE W/LIGHT

LIGHT POLE

ELECTRIC METER

ELECTRIC BOX

YARD LIGHT

GUY WIRE

TELEPHONE MANHOLE

TELEPHONE RISER

WATER VALVE

FIRE HYDRANT

WELL

WATER MANHOLE

WATER METER

GAS VALVE

GAS METER

CABLE TV RISER

CLEANOUT

SIGN

MAILBOX

STORM ROUND INLET

STORM CURB INLET

RIGHT-OF-WAY MARKER

TREE, BUSH & STUMP

TEMP. BENCHMARK

MONUMENT FOUND

800'

PROPERTY LINE

SECTION LINE

RIGHT-OF-WAY

EASEMENT

ADJOINER LINE

PAVEMENT LINE

FIELD LINE

PRIVACY FENCE

CHAINLINK FENCE

SPLIT RAIL FENCE

WIRE FENCE

DITCH

GAS LINE

TELEPHONE LINE

WATER LINE

CABLE TV LINE

ELECTRIC LINE

OVERHEAD UTILITY LINE

TREE LINE

SANITARY SEWER W/MANHOLE

STORM SEWER W/MANHOLE & END SECTION

(D) DEED (M) MEASURE (PS) PLAT SURVEY

ASPHALT

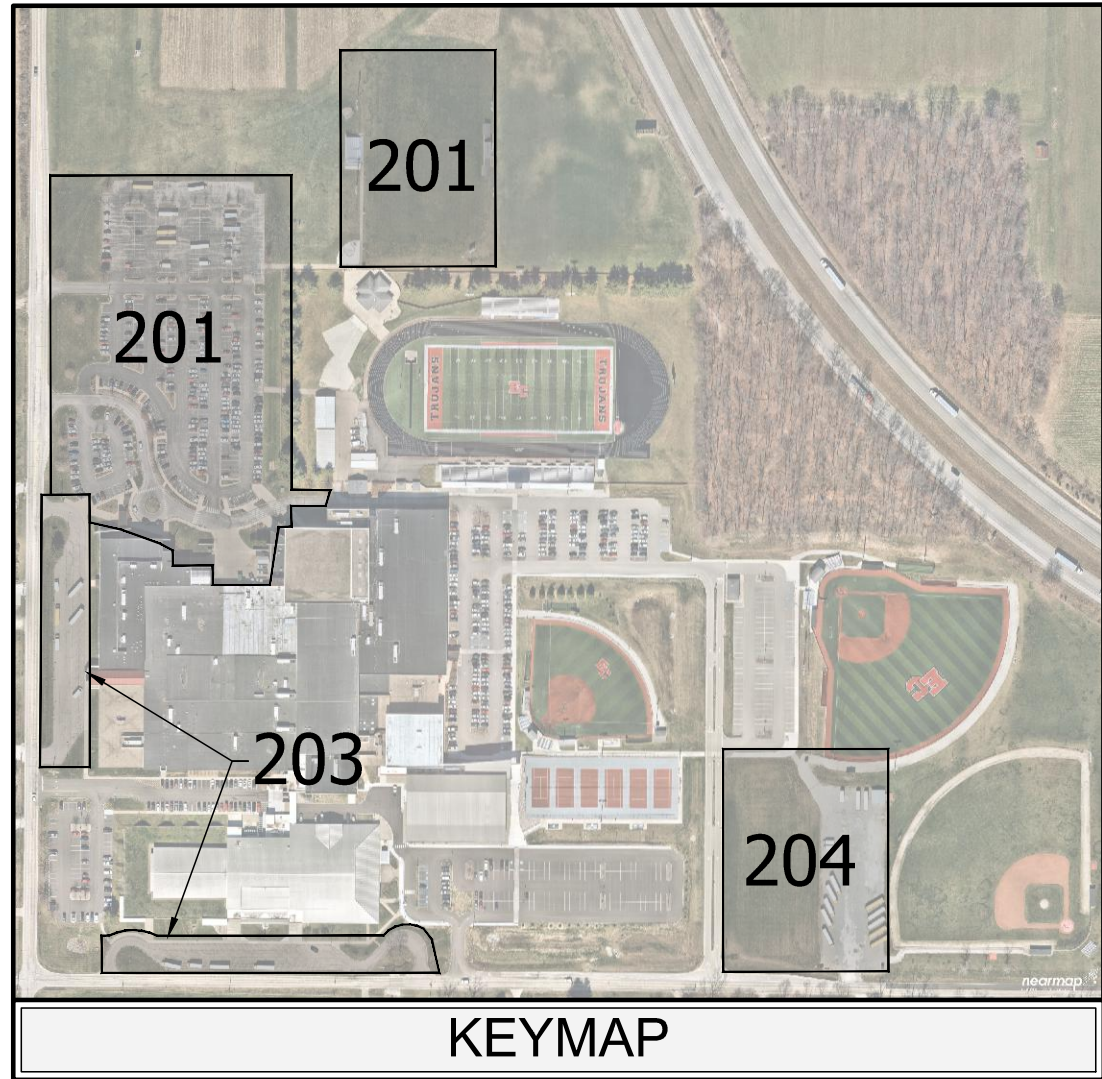
BUILDING

CONCRETE

GRAVEL

REMOVAL/DEMOLISH

UTILITY CONTACTS					
Note: Listed below are the Indiana Underground Plant Protection Services Contacts. Others not listed may exist. The underground utilities shown have been located from field survey information and existing drawings. The engineer makes no guarantee that the underground utilities depicted are accurate as the area, either in-service or abandoned. The engineer further does not warrant that the underground utilities shown are in the exact location indicated although the engineer does certify that they are located as accurately as possible from information available. The engineer has not physically located the underground utilities.					
UTILITY	COMPANY	CONTACT	PHONE	EMAIL	
COMMUNICATIONS	Southeastern IN REMC		(812) 689-4111	contact_us@seiremc.com	
ELECTRIC	Southeastern IN REMC		(812) 689-4111	contact_us@seiremc.com	
SANITARY	St. Leon Wastewater Utility		(812) 637-2150		
WATER	North Dearborn Water Corp.	Gary Gaynor	(812) 576-2177	ndw@northdearbornwater.com	
GAS	Ohio Valley Gas Corp.		(765) 825-1148		
FIRE DEPARTMENT	IVFA District 19	Ben Sieverding	(812) 621-1150	district19@ivfa.org	



NOTE:  
SECTION LINES, PROPERTY LINES, AND RIGHT-OF-WAY LINES ARE BASED ON GIS IMAGERY. CONTRACTOR WILL NEED TO FIELD VERIFY BEFORE CONSTRUCTION BEGINS.

EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL, PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.



EC 203

EAST CENTRAL HS TOPOGRAPHIC SURVEY & DEMO PLAN

SUNMAN-DEARBORN COMMUNITY SCHOOLS

JOB No.

DATE

CHECKED

DESIGNED

APPR.

GAJ

GAJ

REVISIONS FOR ADDENDUM #1

REVISIONS

DATE

NO.

9

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1

10/10/2024

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BYV

BY

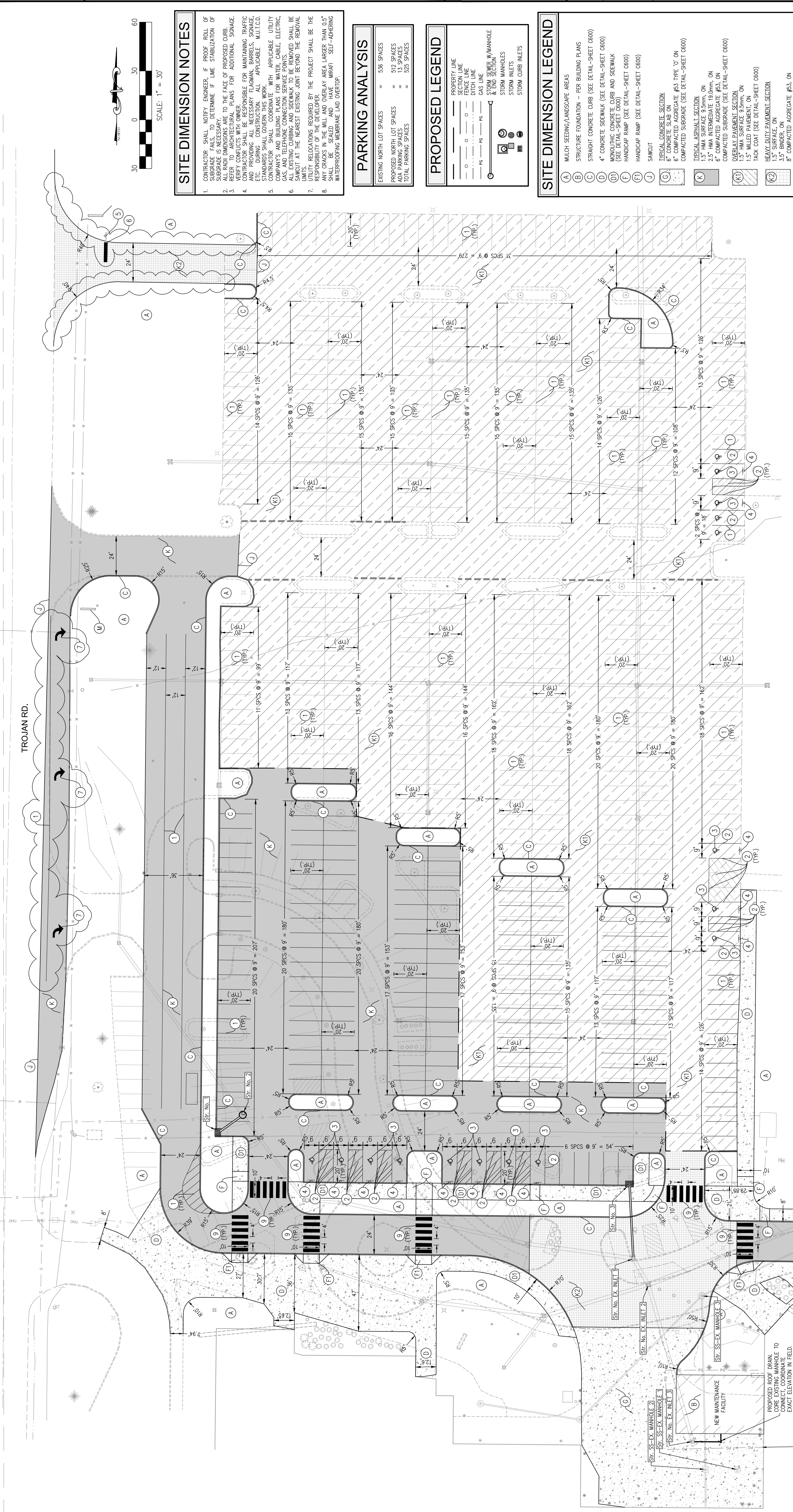
GAJ

APPR.

SHEET

EC 203



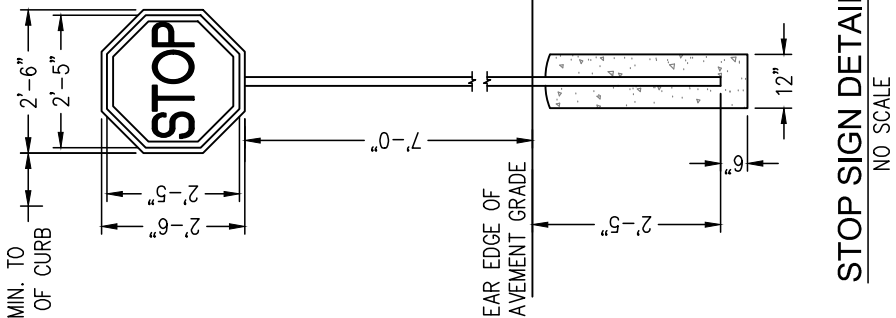


# UTILITIES NOTES

1. CONTRACTOR SHALL NOTIFY ENGINEER, IF PROPER ROLL OF SUBGRADE FAILS, TO DETERMINE IF LINE STABILIZATION OF SUBGRADE IS REQUIRED. THIS MAY INVOLVE TACKLING AND FITTINGS, INCLUDING 10 FT. OF 11 GAUGE CHANNEL SINK POST.
2. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL SIGNAGE. VERIFY CONFLICTS WITH ALL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND PROVIDING ALL NECESSARY FLAGMEN, BARRELS, SIGNAGE, ETC. DURING CONSTRUCTION. ALL APPLICABLE CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES AND BUILDING DEPARTMENT FOR WATER, CABLE, ELECTRIC, AND TELEPHONE CONNECTION SERVICE POINTS. ALL CONDUITS AND CABLES SHALL BE SET OVER AND ELECTRICAL SIDE POINT PREPARED BY OTHERS.
3. CONTRACTOR TO COORDINATE WITH SOUTHEASTERN INDIAN TRADING FOR NECESSARY PERMITS FOR CONDUITS AND RELOCATIONS, AND BUILDING PERMITS FOR ALL SERVICE POINTS AT EACH BUILDING.
4. ALL FIELD FILES DISBURSED DURING CONSTRUCTION MUST BE REPAIRED/CONNECTED TO ALL SERVICE POINTS.
5. EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISUAL INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IF CONFLICTS DO EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ADDITIONAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL PRIOR TO THE INSTALLATION OF ANY PROPOSED CONSTRUCTION, OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR TO COORDINATE WITH GAS COMPANY AND MGP PLANS FOR NEW GAS SERVICE CONNECTION DETAILS.

STORM SEWER STRUCTURE TABLE	STR. DATA	STORM SEWER STRUCTURE TABLE	STR. DATA
<b>STR. NO. 1</b>  INSTALL TYPE "V" INLET WITH NEEDLE R-3287-10" CASTING OR APPROVED EQUAL AND 19 LIFT (12'-12") @ 0.32% RM=1006.48 INV OUT (12'-12")=1003.28	<b>STR. NO. 1</b>  INSTALL TYPE "V" INLET WITH NEEDLE R-3287-10" CASTING OR APPROVED EQUAL AND 19 LIFT (12'-12") @ 0.32% RM=1006.48 INV OUT (12'-12")=1003.28	<b>STR. NO. EX. INLET 1</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE & CONNECT PROP. 12" RCP PIPE RM=1004.55 EX INV IN (12'-0")=1000.90 EX INV IN (24'-0")=999.90 S.A. INV IN (24'-0")=999.78	<b>STR. DATA</b>  <b>STR. NO. EX. INLET 1</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1004.18 EX INV IN (12'-0")=1000.90 EX INV IN (24'-0")=999.90 S.A. INV IN (24'-0")=999.78
		<b>STR. NO. EX. INLET 2</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1004.18 EX INV IN (12'-0")=1000.90 EX INV IN (24'-0")=999.90 S.A. INV IN (24'-0")=999.78	<b>STR. NO. EX. INLET 2</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1004.18 EX INV IN (12'-0")=1000.90 EX INV IN (24'-0")=999.90 S.A. INV IN (24'-0")=999.78
		<b>STR. NO. EX. INLET 3</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1005.00	<b>STR. NO. EX. INLET 3</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1005.00
		<b>STR. NO. EX. INLET 4</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1005.00	<b>STR. NO. EX. INLET 4</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1005.00
<b>STR. NO. 2</b>  INSTALL MODIFIED HY TYPE "C" DISCHARGE W/ NEEDLE R-1772-A CASTING OR APPROVED EQUAL AND 5 LIFT (12'-12") @ 0.15% RM=1006.62 INV IN (12'-5")=1003.11 INV IN 18'-0"=1002.57 INV OUT (10'-0")=1002.57	<b>STR. NO. 2</b>  INSTALL MODIFIED HY TYPE "C" DISCHARGE W/ NEEDLE R-1772-A CASTING OR APPROVED EQUAL AND 5 LIFT (12'-12") @ 0.15% RM=1006.62 INV IN (12'-5")=1003.11 INV IN 18'-0"=1002.57 INV OUT (10'-0")=1002.57	<b>STR. NO. EX. INLET 5</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1005.00	<b>STR. NO. EX. INLET 5</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1005.00
<b>STR. NO. 3</b>  INSTALL TYPE "V" INLET WITH NEEDLE R-3287-10" CASTING OR APPROVED EQUAL AND 46 LIFT OF 12" RCP @ 1.50% INV OUT (12'-0")=1001.59	<b>STR. NO. 3</b>  INSTALL TYPE "V" INLET WITH NEEDLE R-3287-10" CASTING OR APPROVED EQUAL AND 46 LIFT OF 12" RCP @ 1.50% INV OUT (12'-0")=1001.59	<b>STR. NO. EX. INLET 6</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1005.00	<b>STR. NO. EX. INLET 6</b>  ADJUST EX. INLET CASTING TO PROPOSED RM GRADE RM=1005.00

SANITARY SEWER STRUCTURE TABLE	
STR. DATA	
<b>STR. NO. SS-EX. MANHOLE 1</b>	ADJUST EX. MANHOLE CASTING TO PROPOSED RIM GRADE RIM=1005.12
<b>STR. NO. SS-EX. MANHOLE 2</b>	ADJUST EX. MANHOLE CASTING TO PROPOSED RIM GRADE RIM=1005.10
<b>STR. NO. SS-EX. MANHOLE 3</b>	ADJUST EX. MANHOLE CASTING TO PROPOSED RIM GRADE RIM=1004.44



NOTE:

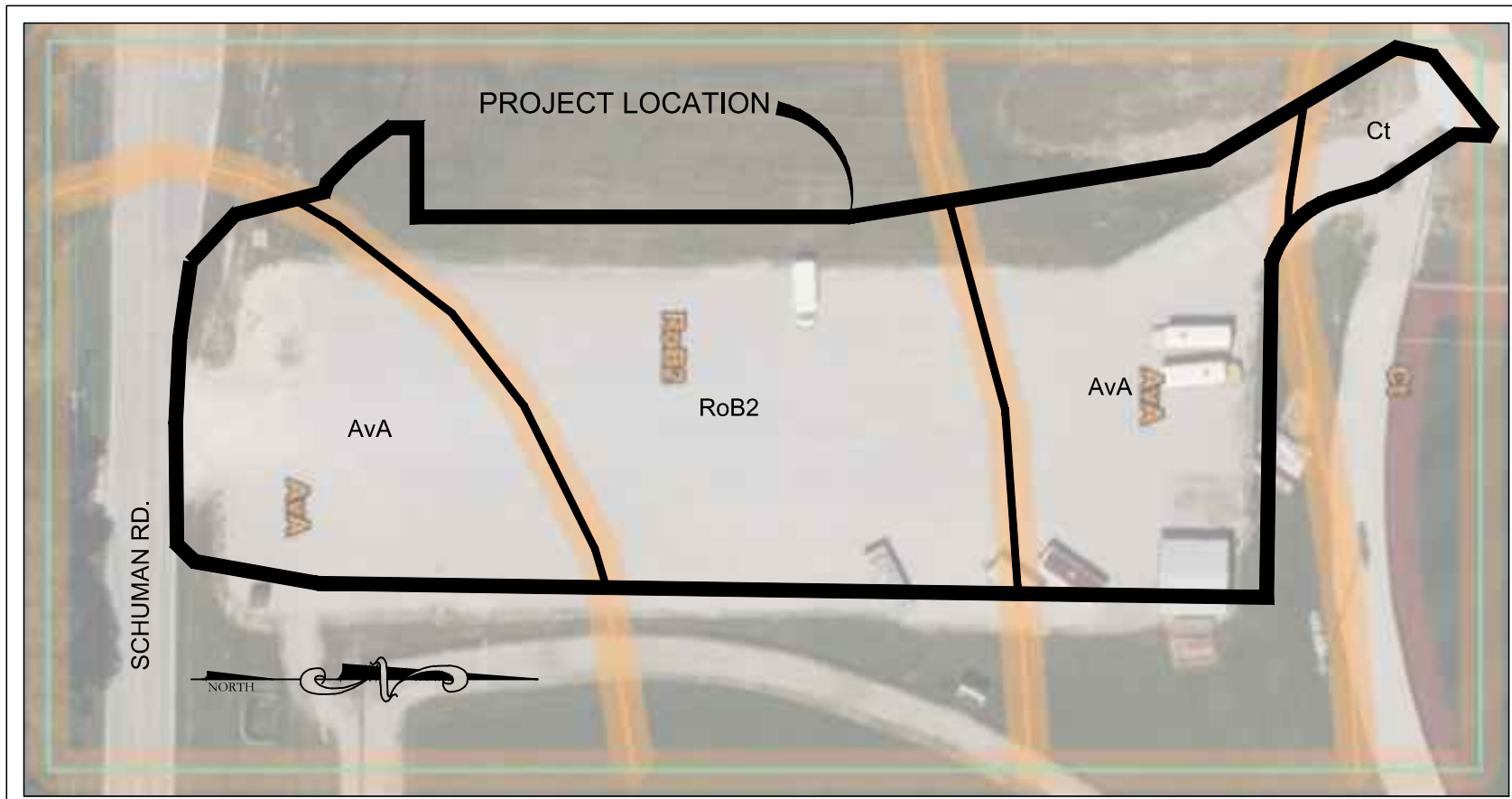
1. CONTRACTOR SHALL VERIFY ALL SIGN SIZE, FONT, AND FINISHES WITH OWNER AND TOWN OF BARGERSVILLE PRIOR TO ORDERING ANY MATERIALS.
2. ALL SIGNAGE POSTS SHALL BE BREAKAWAY TYPE.

PAVEMENT DETAILS ARE LOCATED ON SHEET C600

**NOTE:**  
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RIGHT-OF-WAY LINES ARE BASED ON GIS  
IMAGERY. CONTRACTOR WILL NEED TO FIELD  
VERIFY BEFORE CONSTRUCTION BEGINS.



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Dearborn County, Indiana (IN029)

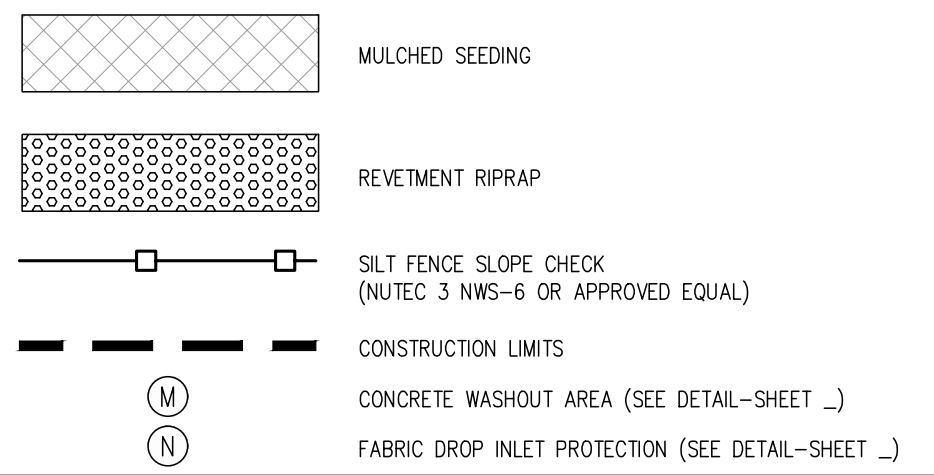
**AVONBURG SILT LOAM (AvA)**  
This heavy level soil is found on the summits of till plains. Slopes are 0 to 2 percent. Runoff is medium. Soils of this type are somewhat poorly drained but typically have no frequency of flooding or ponding.

**COBBSFORK SILT LOAM (Ct)**  
This soil is almost entirely level and is found on the flats of till plains. Slopes are 0 to 1 percent. Runoff is negligible. Soils of this type are usually poorly drained and are known to frequently pond, but have very little frequency of flooding.

**HABB SILT LOAM, eroded (RoB2)**  
This slightly sloping soil is found along the eroded summits of till plains. Slopes are 2 to 6 percent. Runoff is medium. Soils of this type are usually moderately well drained with no frequency of flooding or ponding.

SOIL MAP AND DESCRIPTION  
NOT TO SCALE

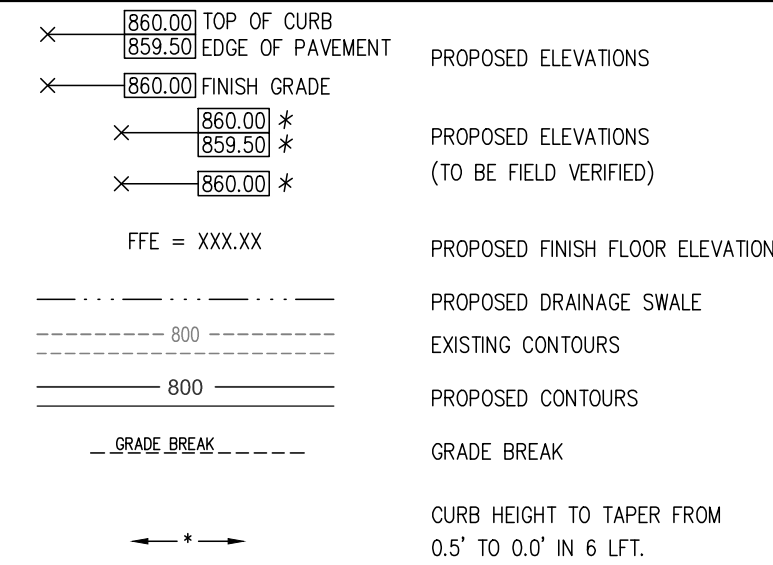
### EROSION CONTROL LEGEND



### EROSION CONTROL NOTES

1. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY STATE, COUNTY, OR LOCAL OFFICIALS.
2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
3. THERE SHALL BE NO DIRT, DEBRIS, OR STORAGE OF MATERIALS WITHIN PROPOSED PARKING AREAS.
4. CONSTRUCTION STAGING AREA (TO BE DETERMINED BY CONTRACTOR) SHALL INCLUDE THE NO. POSTING, PORT-O-LETS, TRASH CONTAINERS, AND FUELING TANKS. CONTRACTOR SHALL NOT LOCATE STAGING AREA WITHIN PROPOSED PARKING LOT.
5. A TRAINED INDIVIDUAL MUST PERFORM AN INSPECTION ONCE A WEEK AND AFTER EVERY 1/2" OR MORE RAIN EVENT. A LOG OF THE INSPECTION REPORTS MUST BE KEPT AND MADE AVAILABLE TO THE TOWN INSPECTOR UPON REQUEST.

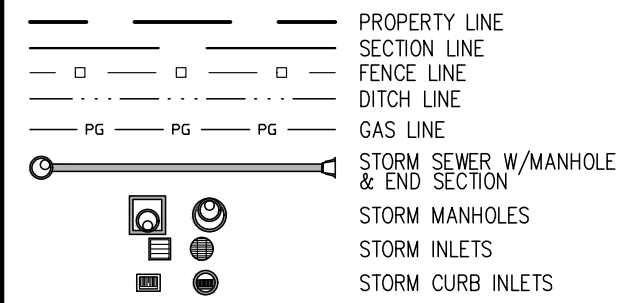
### GRADING LEGEND



### GRADING NOTES

1. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS IN FINAL GRADING OF SITE. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT TO DETERMINE PROPER FOUNDATION EXPOSURE FOR EACH BUILDING TYPE. HOWEVER, IN NO INSTANCE SHALL DRAINAGE TOWARDS THE BUILDING FOUNDATION BE ALLOWED.
2. CONTRACTOR SHALL NOT ALLOW DRAINAGE FROM PROJECT SITE TO DISCHARGE ONTO ADJACENT PROPERTIES IN FINAL GRADING OF SITE. CONTRACTOR SHALL PLACE A BERM WHERE NECESSARY. SEE REAR DITCH DETAIL.

### PROPOSED LEGEND

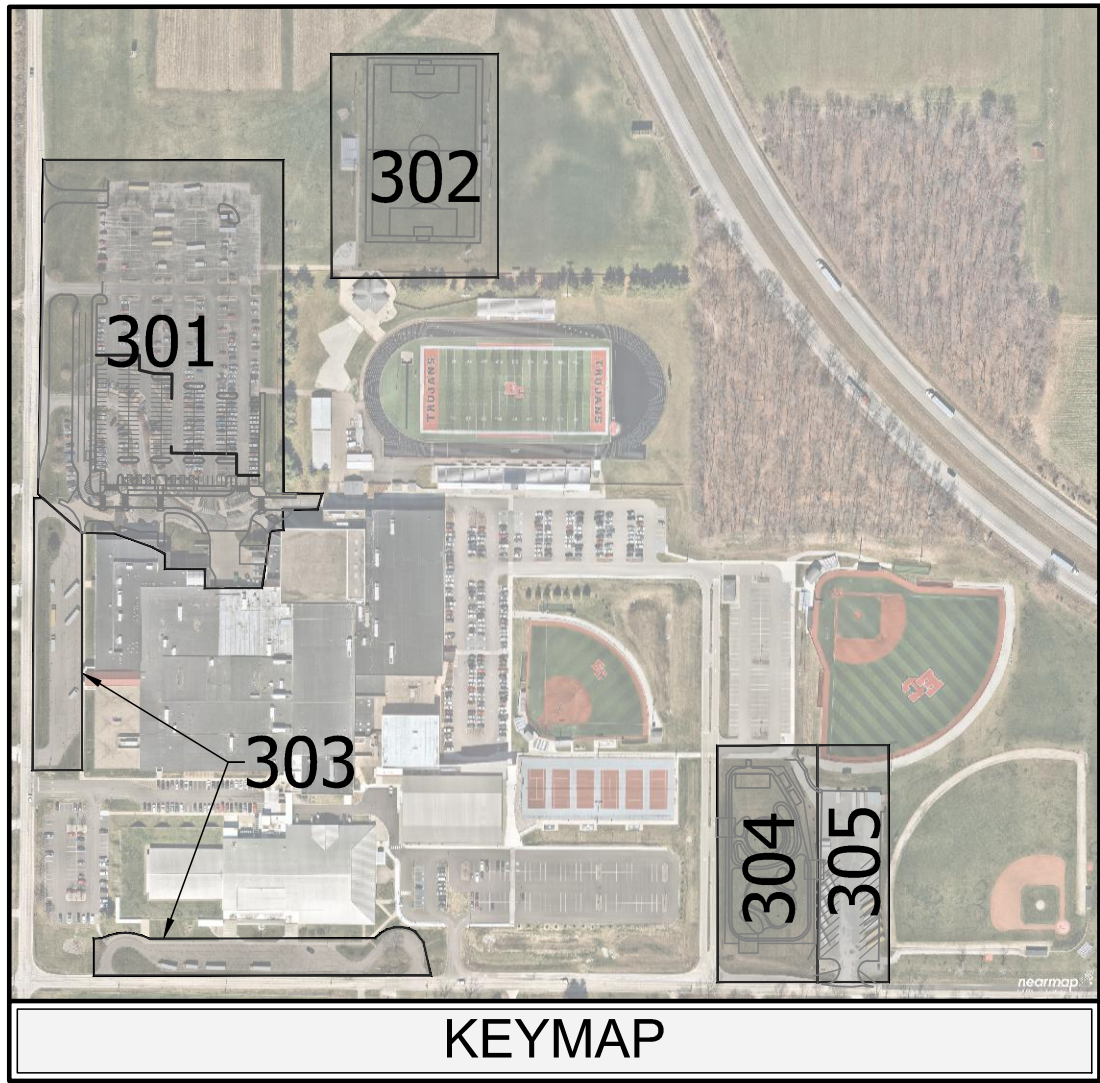


### STORM CULVERT DATA TABLE

#### STR. DATA CULVERT

##### STR. NO. 4

INSTALL TWO (2) CONCRETE  
END SECTIONS AND  
43 LFT OF 12" RCP @ 0.49%  
U.S. EL.=1006.89  
D.S. EL.=1006.68



KEYMAP

### SITE DIMENSION NOTES

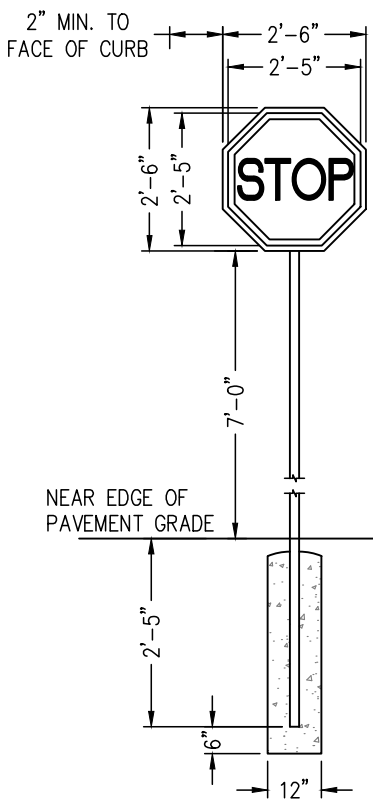
1. CONTRACTOR SHALL NOTIFY ENGINEER, IF PROOF ROLL OF SUBGRADE FAILS, TO DETERMINE IF LIME STABILIZATION OF SUBGRADE IS NECESSARY.
2. ALL RADI DIMENSIONS ARE TO THE FACE OF PROPOSED CURB.
3. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL SIGNAGE. VERIFY CONFLICTS WITH OWNER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND PROVIDING ALL NECESSARY FLAGMAN, BARRELS, SIGNAGE, ETC. DURING CONSTRUCTION. ALL APPLICABLE M.U.T.C.D. STANDARDS SHALL GOVERN THIS WORK.
5. EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL, PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.
6. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES AND BUILDING PLANS FOR WATER, CABLE, ELECTRIC, GAS, AND TELEPHONE CONNECTION SERVICE POINTS.
7. ALL EXISTING CURBING AND SIDEWALK TO BE REMOVED SHALL BE SAWCUT AT THE NEAREST EXISTING JOINT BEYOND THE REMOVAL LIMITS.
8. UTILITY RELOCATIONS REQUIRED BY THE PROJECT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.

### UTILITIES NOTES

1. CONTRACTOR SHALL NOTIFY ENGINEER, IF PROOF ROLL OF SUBGRADE FAILS, TO DETERMINE IF LIME STABILIZATION OF SUBGRADE IS NECESSARY.
2. SIGNAGE SHALL INCLUDE ALL NECESSARY HARDWARE AND FITTINGS, INCLUDING 10 FT. OF 11 GAUGE FLANGED CHANNEL SIGN POST.
3. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL SIGNAGE. VERIFY CONFLICTS WITH OWNER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND PROVIDING ALL NECESSARY FLAGMAN, BARRELS, SIGNAGE, ETC. DURING CONSTRUCTION. ALL APPLICABLE M.U.T.C.D. STANDARDS SHALL GOVERN THIS WORK.
5. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES AND BUILDING PLANS FOR WATER, CABLE, ELECTRIC, GAS, AND TELEPHONE CONNECTION SERVICE POINTS. ALL LIGHTING FIXTURES AND POLES SHALL BE PER OWNER AND ELECTRICAL SITE PLAN PREPARED BY OTHERS.
6. CONTRACTOR TO COORDINATE WITH SOUTHEASTERN INDIANA REMC FOR NECESSARY ELECTRIC SERVICE REQUIREMENTS AND SPECIFICATIONS, AND BUILDING PLANS FOR ALL SERVICE POINTS AT EACH BUILDING.
7. ALL FIELD TILES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED/CONNECTED TO NEW DRAINAGE FACILITIES.
8. EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL, PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.

### SITE DIMENSION LEGEND

- (A) MULCH SEEDING/LANDSCAPE AREAS
- (B) HEAVY DUTY PAVEMENT SECTION
- (C) 1.5" SURFACE, ON
- (D) 3.5" BINDER, ON
- (E) 8" COMPACTED AGGREGATE #53, ON
- (F) COMPACTED SUBGRADE (SEE DETAIL-SHEET C600)
- (1) LINE, PAINTED, SOLID WHITE, 4"
- (2) STOP SIGN (SEE DETAIL THIS SHEET)
- (3) STOP BAR, PAINTED, SOLID WHITE, 24"



#### STOP SIGN DETAILS (2)

NO SCALE

- NOTE:
1. CONTRACTOR SHALL VERIFY ALL SIGN SIZE, FONT, AND FINISHES WITH OWNER AND TOWN OF BARGERSVILLE PRIOR TO ORDERING ANY MATERIAL.
  2. ALL SIGNAGE POSTS SHALL BE BREAKAWAY TYPE.



CROSSROAD ENGINEERS, PC

Development Consultants

1014 E. 17th Ave. Suite 200 • Ellettsburg, IA 52620

EC-305

SHEET

EAST CENTRAL BUS LOT SITE DIM,  
GRADING, UTILITY, SWPP

SUNMAN-DEARBORN COMMUNITY SCHOOLS

DESIGNED BY: BTW

CHECKED BY: GJJ

DATE: SEPTEMBER 24, 2024

JOB NO.:

DESIGNED BY: BTW

CHECKED BY: GJJ

DATE: SEPTEMBER 24, 2024

JOB NO.:

REVISIONS FOR ADDENDUM #1

REVISIONS

DATE

NO.

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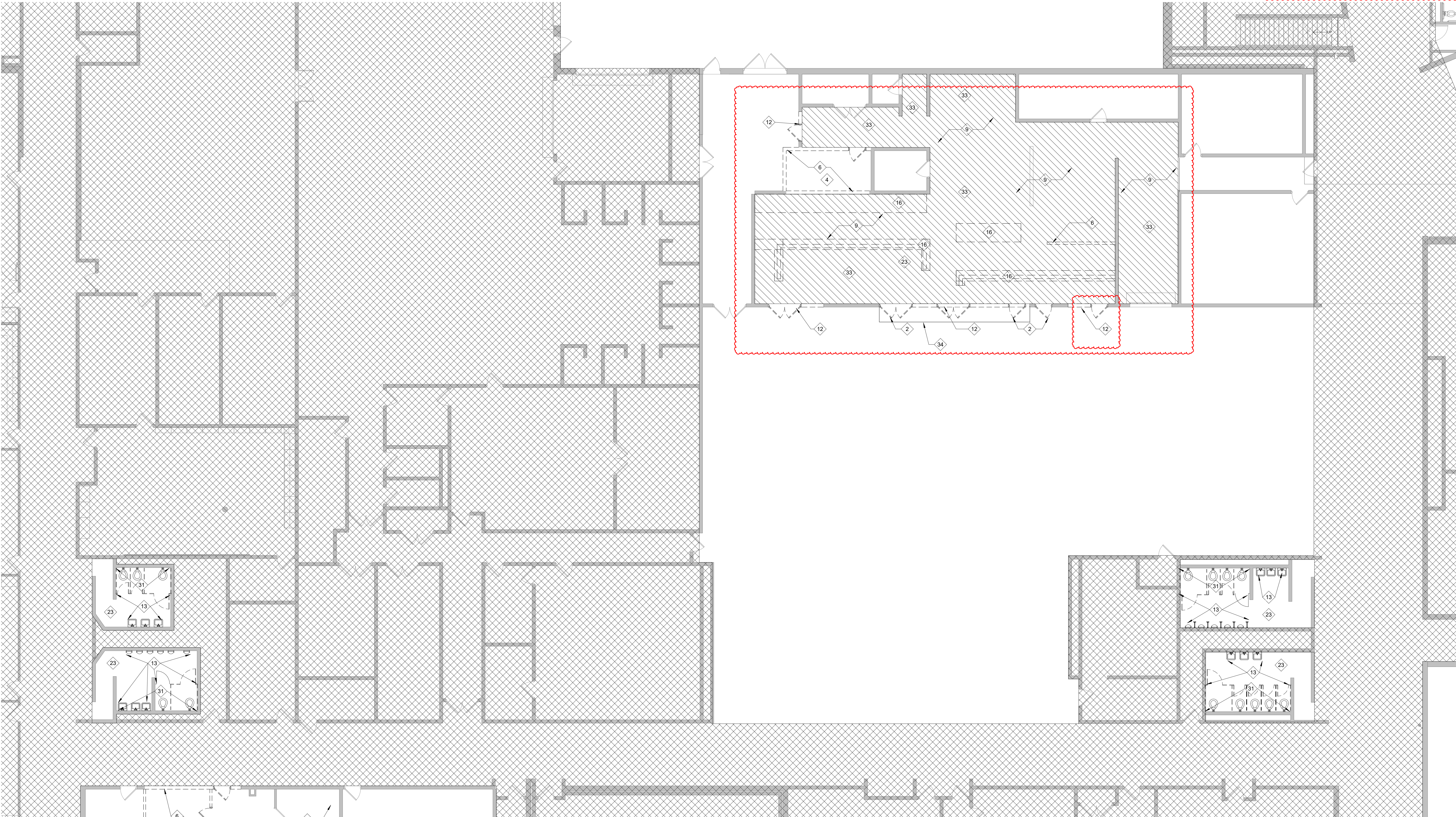
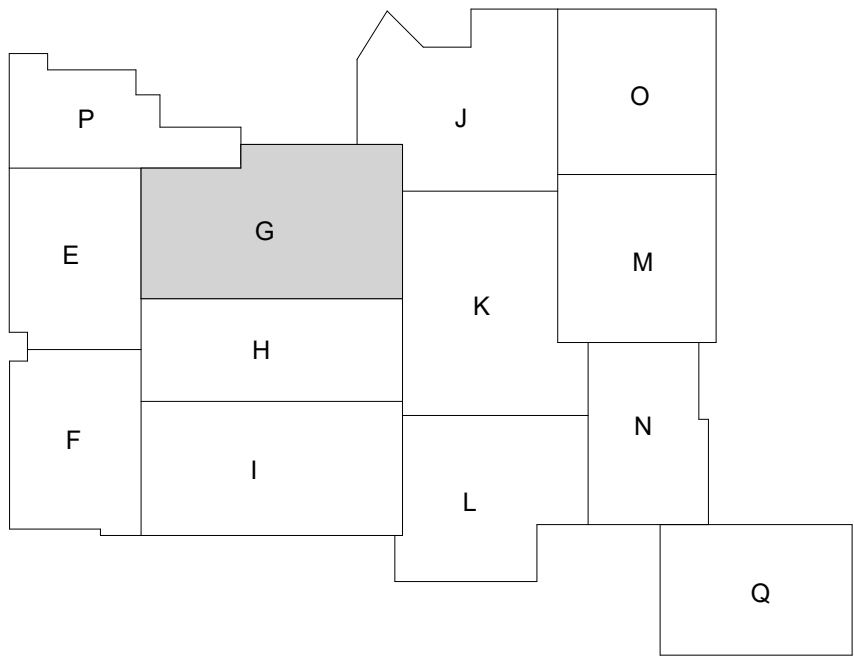
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9



PLAN NOTES - DEMOLITION

- 1 REMOVE EXISTING TALL CABINET
- 2 REMOVE EXISTING DOOR AND FRAME. PREP FOR NEW WALL INFILL.
- 3 DEMO EXISTING WALL, DOOR AND FRAME. PREP FOR NEW WALL INFILL.
- 4 REMOVE EXISTING FLOOR AND BASE. PREP FOR NEW FLOOR FINISHES.
- 5 REMOVE EXISTING FLOORING AND FLOOR LIGHTING. PREP FOR NEW FLOOR LIGHTING AND FINISHES.
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- 34 CUT EXISTING TERRAZZO FLOOR AS NEEDED TO ACCOMMODATE NEW WORK. TAKE CARE TO CREATE A NEW FINISHED EDGE
- 35 DEMO EXISTING MARKERBOARD. PATCH, CLEAN AND PREP SURFACES FOR NEW WORK



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1 DEMOLITION PLAN - FIRST FLOOR - UNIT G

SCALE: 1/8" = 1'-0"

SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH SCHOOL RENOVATIONS  
1 TROJAN ROAD

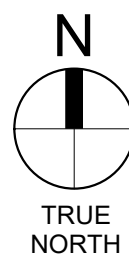


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DEMOLITION  
PLAN - FIRST  
FLOOR - UNIT G



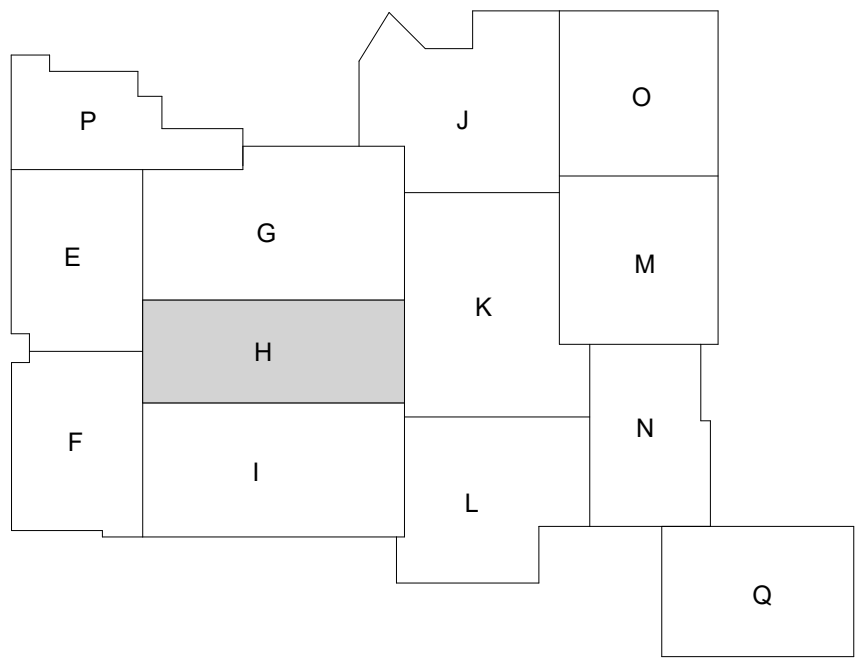
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LANCER ASSOCIATES  
ARCHITECTURE  
145 N EAST STREET  
INDIANAPOLIS, IN 46204



PLAN NOTES - DEMOLITION

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1 DEMOLITION PLAN - FIRST FLOOR - UNIT H

SCALE: 1/8" = 1'-0"

SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH SCHOOL RENOVATIONS  
1 TROJAN ROAD



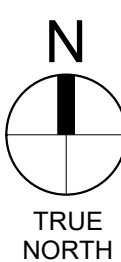
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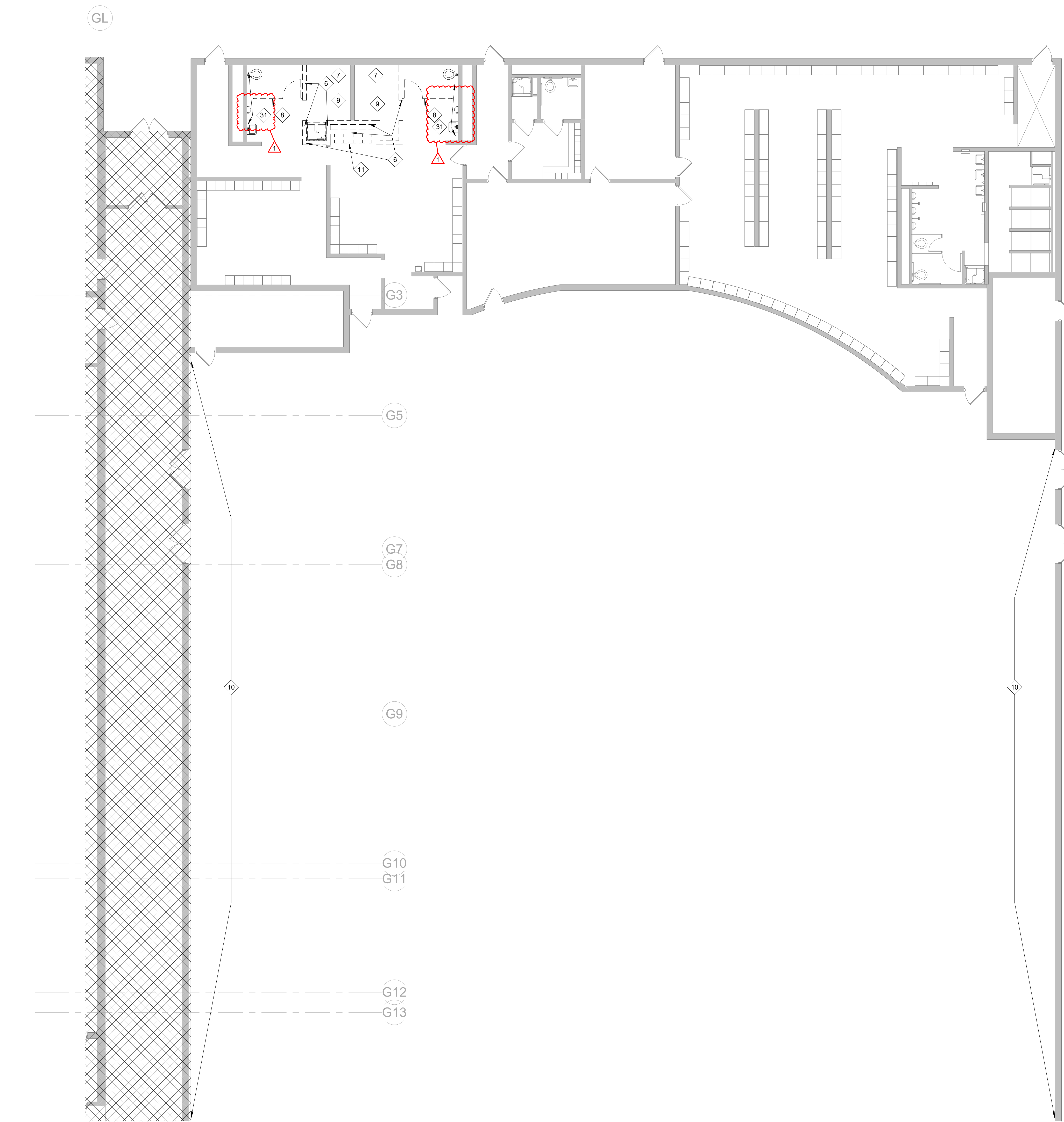
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FLOOR - UNIT H

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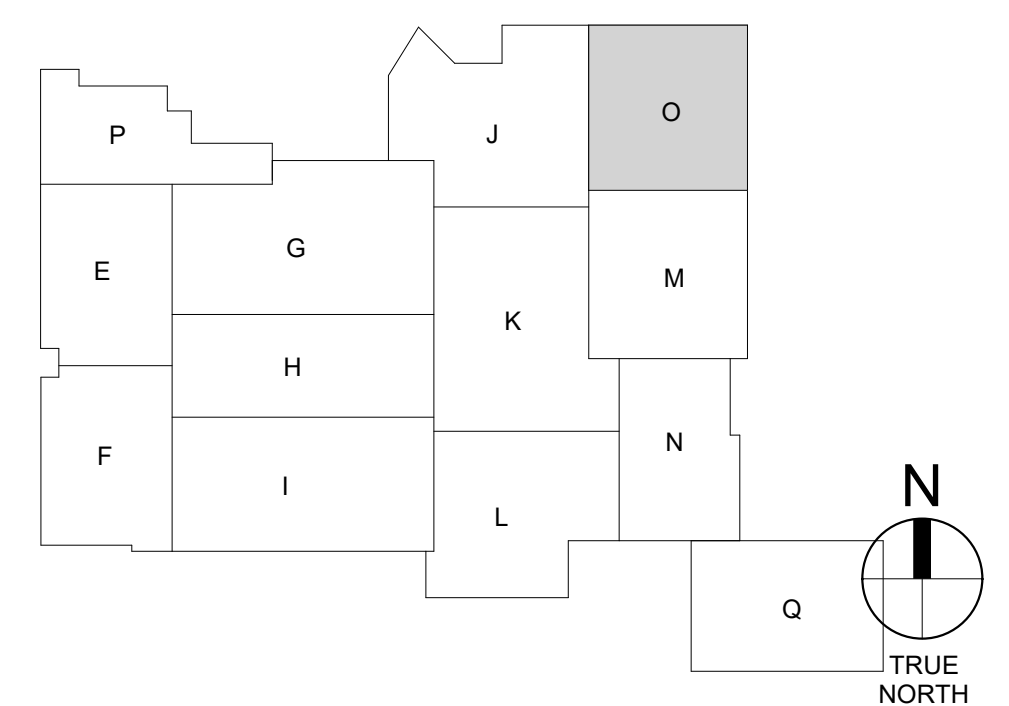
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**1** DEMOLITION PLAN - FIRST FLOOR - UNIT O  
SCALE: 1/8" = 1'-0"

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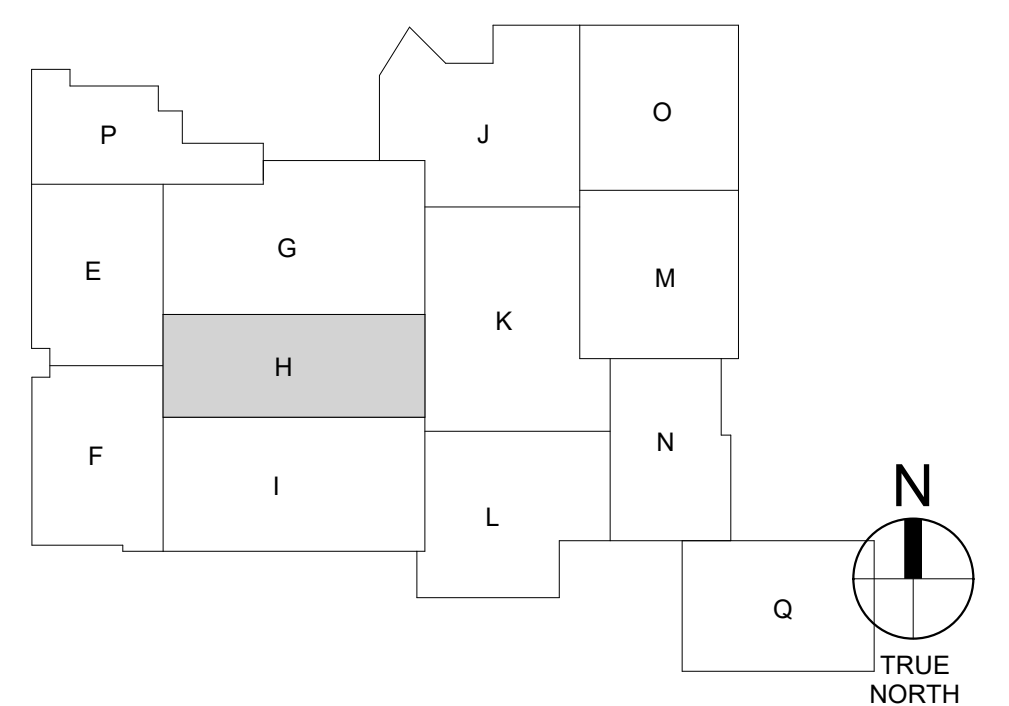
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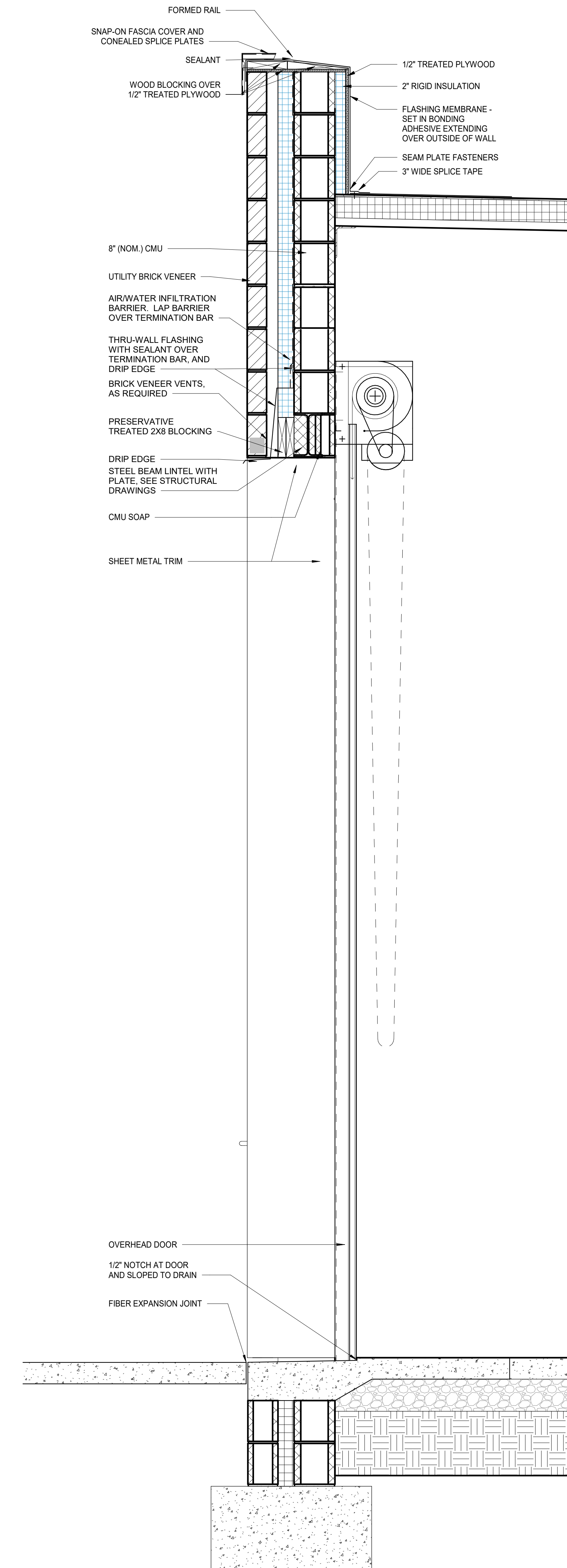
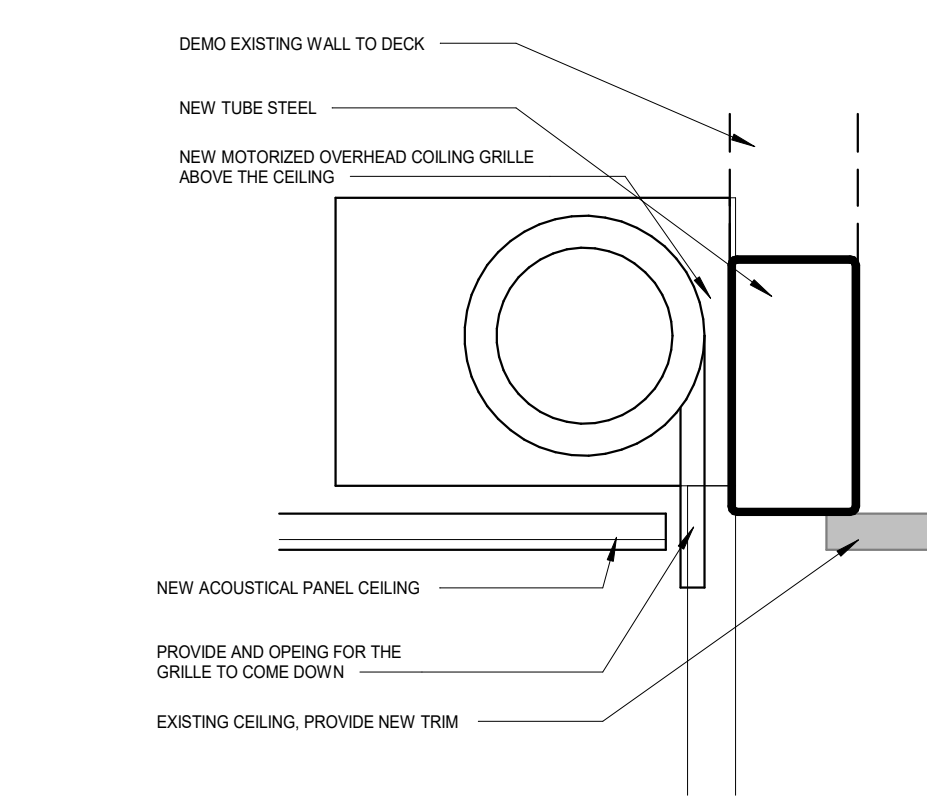
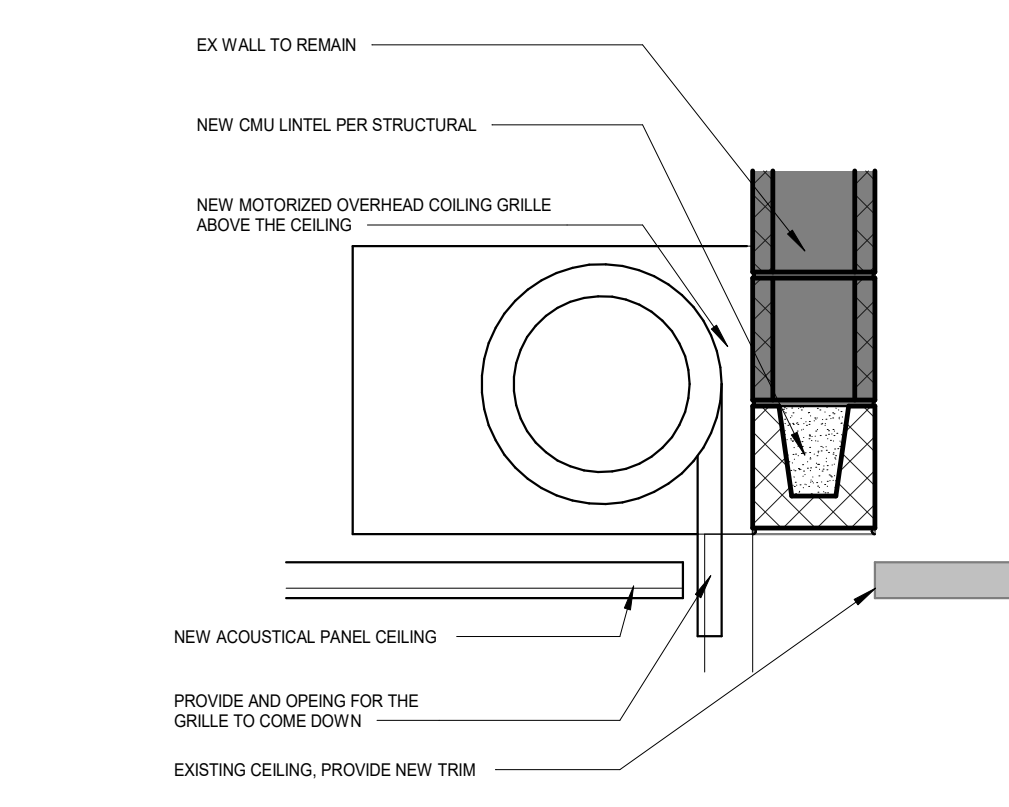
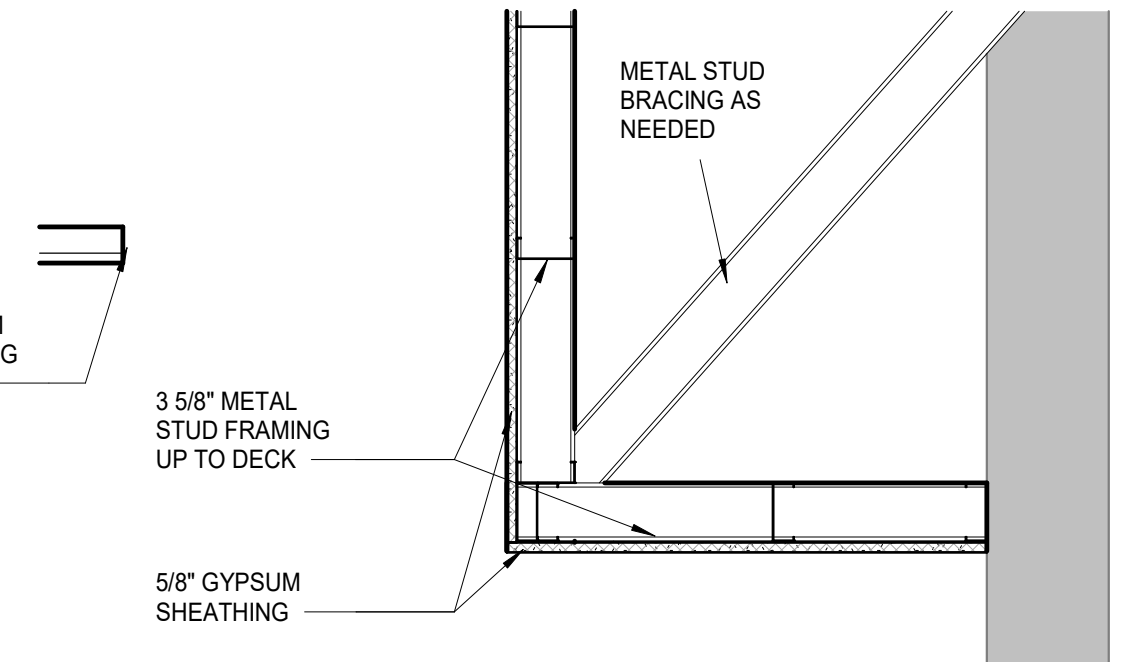
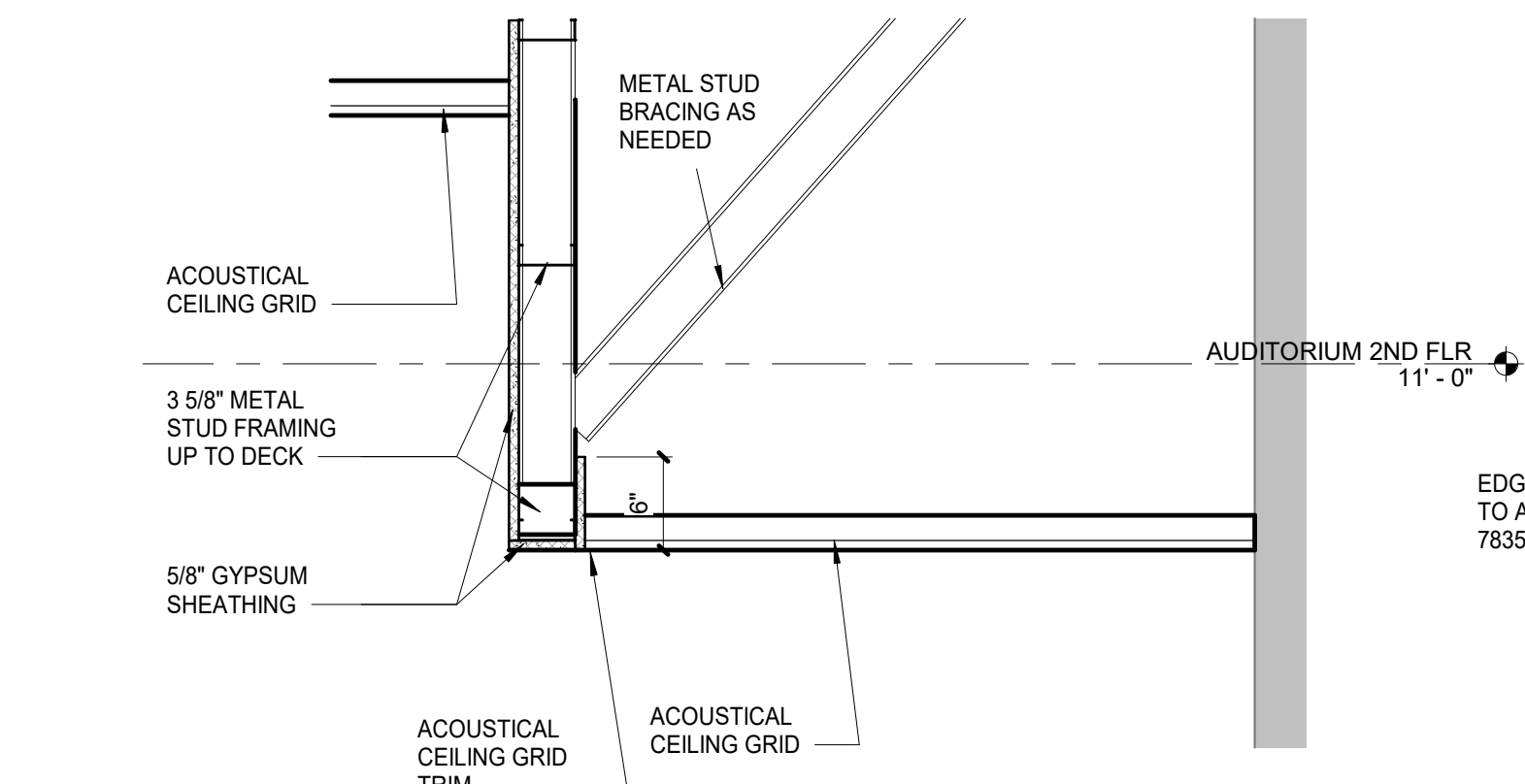
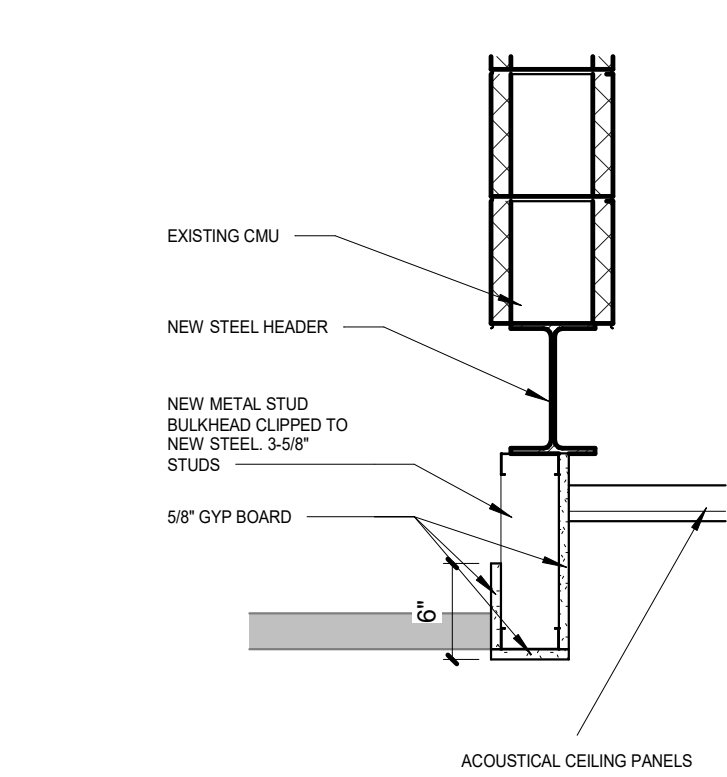
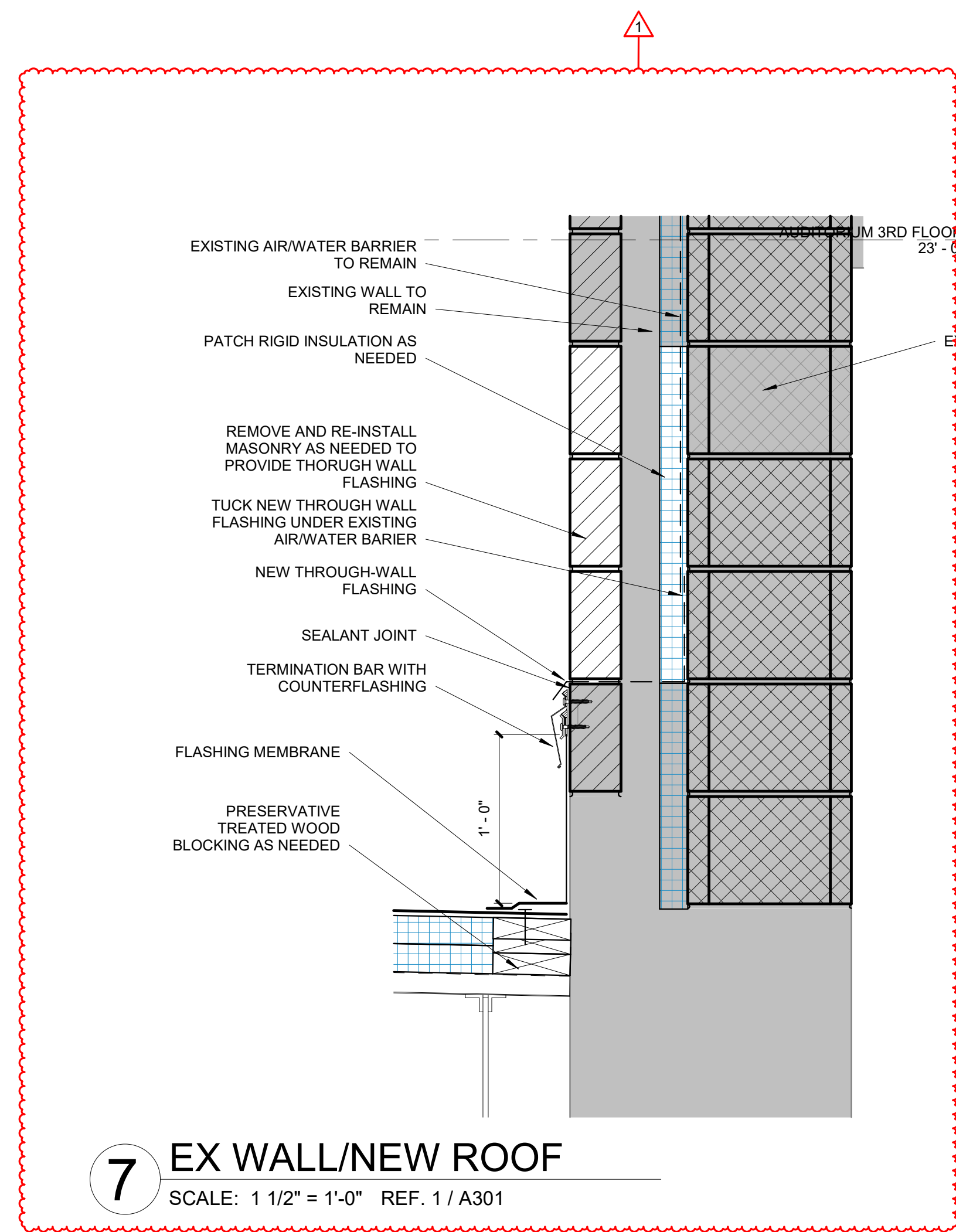


- 1 NEW MOTORIZED WINDOW SHADES, 11'-4" TALL FIVE
- 2 NEW MEDIA CENTER DESK, SURIN UNDERSLAB POWER AND DATA
- 3 SAND AND STAIN EXISTING WOOD SHELVING, REPOSITION TO NEW LOCATIONS
- 4 NEW ALLUMINUM CLOSET DOORS
- 5 SAND AND STAIN EXISTING WOODWORK
- 6 SAND AND STAIN EXISTING WOODWORK
- 7 NEW CASEWORK
- 8 NEW FLOORING (LV/T/CP), NEW WALL PAINT, NEW CEILING, NEW LIGHTING
- 9 NEW FLOORING (LV/T/CP), NEW WALL PAINT
- 10 NEW OVERHEAD GRILLE, PROVIDE STEEL LINTEL, AS NEEDED
- 11 NEW KITCHEN EQUIPMENT
- 12 KITCHEN RENOVATION: NEW EPX FLOORING, NEW WALL PAINT, NEW CEILING GRID AND TILES
- 14 ENLARGE DOOR OPENING
- 15 ENLARGE DOOR OPENING
- 16 RELOCATE/ADJUST EXISTING WATER SERVICE (4" DOMESTIC SERVICE, 4" DOMESTIC, 6" FIRE PROTECTION) SERVICE
- 17 NEW SECTIONAL, OVERHEAD DOOR
- 18 RELOCATE TRASH COMPACTOR HERE
- 19 NEW WALL COMPOSITION: 8' BLOCK, 2" RIGID INSULATION, FACE MASONRY TO MATCH EXISTING 8"x8" DARK BROWN MASONRY, GLUE UP TO 16'-4" AFF
- 20 DEMO EXISTING SHOWER TO MAKE ROOM FOR 2 NEW CHANGING ROOMS
- 21 REPLACE EXISTING COUNTERTOP WITH NEW SOLID SURFACE
- 22 DEMO EXISTING SHOWER AND COUNTERTOP TO MAKE ROOM FOR 2 NEW CHANGING ROOMS
- 24 REPLACE CARPET, SEE 1-SERIES DRAWINGS FOR FLOOR MOLDS FOR BLUE LIGHTING
- 25 PAINT RAW CONCRETE WALL

- 26 LOCKER ROOM RENOVATION: NEW EPXY FLOORING, NEW PAINT, NEW PLUMBING  
PIPES, RECONFIGURATION OF LOCKER LAYOUT, RECONFIGURATION OF SHOWER  
LAYOUT
- 27 FIELDHOUSE RENOVATION: REPLACEMENT OF WALL PADDING
- 28 REPLACE EXISTING VINYL SIGNAGE WITH CUSTOM NEW GRAPHIC: 34'-0" X 4'-4"  
CLEAR, PATCH EXISTING CONCRETE STAIRS. PROVIDE NEW RUBBER TREAD AND RISER  
30 NEW DOOR IN EXISTING FRAME
- 31 NEW 2 TIER METAL LOCKER MATCH EXISTING LOCKER - COLOR SELECTED BY  
ARCHITECT.
- 32 NEW BACKLIT LETTERS: ALUMINUM, 16" TALL, "EAST CENTRAL HIGH SCHOOL"  
NEW CUSTOM SIGNAGE
- 33 TEAM ROOM RENOVATION: NEW FLOORING, NEW PAINT, NEW DIGITAL DISPLAY ON  
SOUTH WALL
- 37 NEW BACKLIT LETTERS: ALUMINUM, 12" TALL, "SUMNER-DEARBORN COMMUNITY  
SCHOOL CORPORATION"
- 38 NEW KITCHEN EQUIPMENT
- 39 INFILL WALL TO MATCH ADJACENT WALLS CONSTRUCTION AND FINISHES
- 40 REPLACE THEATER SEATING WITH NEW SEATS. SEE 1-SERIES DRAWINGS
- 41 SLIDING SECTIONS TO MATCH TO DYNAMIC CLOSURES IZ GRILLE, 8'-0" HIGH  
PROVIDE UNISTRUT AS NEEDED TO SUPPORT THE GRILLE. PAINT GRILLE  
42 NEW FLOORING AND WALL BASE
- 43 NEW ADA DOOR OPERATOR
- 44 CUSTOM VINYL GRAPHIC INSTALL OVER EXISTING STOREFRONT. UP TO 9'-0" AFF  
MULLION
- 45 RELOCATE EXISTING LOCKER TO NEW LOCATION
- 46 PROVIDE NEW FLOOR THRESHOLD AT DOOR
- 47 INFILL EXISTING WALL AFTER WALL OPENING WAS REMOVED
- 48 NEW DOOR FRAME, NEW DOOR
- 49 INSTALL NEW SHEET OF 58" GYPSUM BOARD OVER EXISTING SURFACES







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DETAILS



GENERAL NOTES	
A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPAIR ALL EXISTING WALLS, SLAB, AND CEILINGS TO A CONDITION SUITABLE FOR ACCEPTING NEW FINISHES AS PER MANUFACTURER'S RECOMMENDED INSTALLATION METHODS. MINIMUM LEVEL 4 FINISH ON EXISTING AND NEW WALLS, UNLESS NOTED OTHERWISE.	
B. ALL FLOORING TRANSITIONS TO COMPLY WITH ADA GUIDELINES AND TO OCCUR UNDER CENTER OF DOORWAYS AND OR AT CENTERLINE OF WALL, UNLESS INDICATED DIFFERENTLY ON FINISH PLANS. PROVIDE REDUCER STRIPS WHEREVER CARPET OR LVT MEET CONCRETE.	
C. CONTRACTOR TO PROVIDE PROTECTION AS NEEDED DURING CONSTRUCTION, IF, ANY, TO PERSERVE NEW FINISHES WHILE COMPLETING CONSTRUCTION.	
D. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS INDICATED ON THE FINISH PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND DESIGNERS. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL, UNLESS NOTED OTHERWISE.	
E. WHERE WALLS ARE INDICATED TO RECEIVE PAINT FINISH, PRIME AND PAINT GRILLES, FIRE EXTINGUISHER CABINETS, AND OTHER ITEMS EMBEDDED IN WALL CONSTRUCTION TO MATCH SURFACE ON WHICH THEY OCCUR.	
F. CONTRACTOR TO PROVIDE DRYWALL REVEAL JOINT WHERE DRYWALL MEETS DISSIMILAR MATERIALS.	
G. CONTRACTOR TO PROVIDE SCHLUTER EDGE WHERE TILE MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR DETAILS FOR FURTHER DETAILS.	
H. DO NOT INSTALL GYPSUM BOARD BEHIND TILE BACKER BOARD LOCATIONS.	
I. IF ONLY PAINT IS INDICATED AS THE FINISH, REFER TO ARCHITECTURAL FLOOR PLANS FOR SUBSTRATE INFORMATION.	
J. ALL WALLS, COLUMNS, AND CEILINGS TO BE PAINTED PT-1, UNLESS NOTED OTHERWISE.	
K. PAINT ALL NEW HM DOOR FRAMES WITHIN SCOPE IN THEIR ENTIRETY, PT-5.	

## FINISH LEGEND

### NOTES

ETR EXISTING TO REMAIN  
TBD TO BE DETERMINED

### FLOOR COVERING

**CARPET TILE**  
CPT-1: MFG: INTERFACE  
TYPE: 25CM X 1M CARPET PLANK  
PATTERN: AE311  
COLOR: 10457 GREIGE  
INSTALL: ASHLAR, REF. PLAN FOR DIRECTION  
LOCATION: TYPICAL, UNLESS NOTED OTHERWISE  
CONTACT: JAE PARK 317-459-8762

CPT-2: MFG: INTERFACE  
TYPE: 25CM X 1M CARPET PLANK  
PATTERN: AE317  
COLOR: 105825 POPPY  
INSTALL: ASHLAR, REF. PLAN FOR DIRECTION  
LOCATION: MEDIA CENTER ACCENT  
REMARKS: WHEN CPT-1 AND CPT-2 ARE COMBINED, CPT-1 IS TO BE 90% AND CPT-2 IS TO BE 10%  
CONTACT: JAE PARK 317-459-8762

CPT-3: MFG: MANNINGTON  
TYPE: BROADLOOM - INTEGRA HP  
PATTERN: GOOGIE - TELEJECTOR  
COLOR: 3342 REPELETRON  
INSTALL: DIRECTIONAL  
LOCATION: AUDITORIUM  
CONTACT: NEIL MACK 317-800-0680

**RESILIENT FLOOR**  
LVT-1: MFG: INTERFACE  
TYPE: 25CM X 1M RESILIENT PLANK  
PATTERN: A007 STUDIO SET  
COLOR: A00702 PEWTER  
INSTALL: ASHLAR, REF. PLAN FOR DIRECTION  
LOCATION: TYPICAL, UNLESS NOTED OTHERWISE  
CONTACT: JAE PARK 317-459-8762

LVT-2: MFG: INTERFACE  
TYPE: 25CM X 1M RESILIENT PLANK  
PATTERN: A007 STUDIO SET  
COLOR: A00710 POPPY  
INSTALL: ASHLAR, REF. PLAN FOR DIRECTION  
LOCATION: MEDIA CENTER ACCENT  
CONTACT: JAE PARK 317-459-8762

### FLOOR COVERING (CONT.)

**RESILIENT FLOOR (CONT.)**  
EPX-1: MFG: SHERWIN WILLIAMS HIGH PERFORMANCE FLOORING  
TYPE: RESUFLOL DECO QUARTZ  
COLOR: BC23 EPOXY SYSTEM  
INSTALL: STORMY EVENING  
LOCATION: MONOLITHIC, 6" INTEGRAL COVE  
REMARKS: BASE, REF. SPECS  
CONTACT: RESTROOMS  
KAREN E. MCILWAIN 317-714-5610

EPX-2: MFG: SHERWIN WILLIAMS HIGH PERFORMANCE FLOORING  
TYPE: FASTOP MULTI TOPFLOOR SL45  
COLOR: MID GRAY  
INSTALL: MONOLITHIC, 6" INTEGRAL COVE  
LOCATION: BASE, REF. SPECS  
REMARKS: KITCHEN  
CONTACT: INCLUDE GRIT, REF. SPECS  
KAREN E. MCILWAIN 317-714-5610

RUB-1: MFG: NORA  
TYPE: INTEGRAL RUBBER STAIR TREAD AND RISER  
PATTERN: NORAMENT HAMMERED  
COLOR: DUST GREY 0884  
INSTALL: DIRECTIONAL  
LOCATION: STAIRS  
REMARKS: INCLUDE NOSING WHERE TOP STEP MEETS LANDING, REF. DETAIL  
CONTACT: ROB GROM 317-764-9025

RUB-2: MFG: NORA  
TYPE: INTEGRAL RUBBER STAIR TREAD AND RISER  
PATTERN: NORAMENT HAMMERED  
COLOR: SLATE GREY 0716  
INSTALL: DIRECTIONAL  
LOCATION: AUDITORIUM STAIRS  
REMARKS: PROVIDE VISUALLY IMPAIRED SMOOTH STRIP AT EACH TREAD.  
CONTACT: COLOR TO BE LIGHT GREY 0122  
ROB GROM 317-764-9025

### WALL BASE

**RESILIENT BASE**  
RB-1: MFG: TARKETT JOHNSONITE  
TYPE: 6" RESILIENT WALL BASE  
COLOR: 48 GREY  
LOCATION: TYPICAL, UNLESS NOTED OTHERWISE  
REMARKS: COLOR TO BE USED WITH ALL VINYL TRANSITION STRIPS  
CONTACT: JEN MAYNARD 765-485-3288

**EPOXY BASE**  
EB-1: MFG: SHERWIN WILLIAMS HIGH PERFORMANCE FLOORING  
TYPE: RESUFLOL DECO FLAKE BC23  
COLOR: EPOXY SYSTEM  
INSTALL: STORMY EVENING  
LOCATION: MONOLITHIC, 6" INTEGRAL COVE  
REMARKS: BASE, REF. SPECS  
CONTACT: RESTROOMS  
KAREN E. MCILWAIN 317-714-5610

EB-2: MFG: SHERWIN WILLIAMS HIGH PERFORMANCE FLOORING  
TYPE: FASTOP MULTI TOPFLOOR SL45  
COLOR: MID GRAY  
INSTALL: MONOLITHIC, 6" INTEGRAL COVE  
LOCATION: BASE, REF. SPECS  
REMARKS: KITCHEN  
CONTACT: INCLUDE GRIT, REF. SPECS  
KAREN E. MCILWAIN 317-714-5610

### PAINT/WALL FINISH

**PAINT**  
PT-1: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW7570 EGRET WHITE  
LOCATION: TYPICAL  
PT-2: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW7086 GRAY MATTERS  
LOCATION: ACCENT

PT-3: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW6601 TANAGER  
LOCATION: ACCENT  
PT-4: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW7067 CITYSCAPE  
LOCATION: ACCENT

PT-5: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW7088 GRIZZLE GRAY  
LOCATION: ALL NEW HM DOOR FRAMES

**WALL TILE**  
WT-1: MFG: DALTILE  
TYPE: 12" X 24" GLAZED PORCELAIN TILE  
PATTERN: VOLUME 1.0  
COLOR: STEREO GREY VL73  
GROUT: MAPEI 93 WARM GRAY  
INSTALL: HORIZONTAL, 1/3 OFFSET  
LOCATION: RESTROOM WALLS  
CONTACT: ROBIN BRADFORD 317-946-0823

### PLASTIC LAMINATE/SOLID SURFACE

**PLASTIC LAMINATE**  
PL-1: MFG: FORMICA  
TYPE: PLASTIC LAMINATE  
COLOR: DANISH MAPLE 8906-58  
INSTALL: MONOLITHIC, VERTICAL GRAIN  
LOCATION: TYPICAL, UNLESS NOTED OTHERWISE  
CONTACT: KYLIE LEYBA 317-869-8717

**SOLID SURFACE**  
SS-1: MFG: CORIAN  
TYPE: 1/2" SOLID SURFACE  
COLOR: SILVER BIRCH  
INSTALL: MONOLITHIC, HORIZONTAL GRAIN  
LOCATION: CIRCULATION DESK

SS-2: MFG: CORIAN  
TYPE: 1/2" SOLID SURFACE  
COLOR: ASH CONCRETE  
INSTALL: MONOLITHIC, HORIZONTAL GRAIN  
LOCATION: TYPICAL COUNTERTOP

### MISC.

**WINDOW TREATMENTS**  
TEX-1: MFG: MECO SYSTEMS  
TYPE: MOTORIZED ROLLER SHADE - 3% OPENNESS, WHISPER IQ+ MOTOR, ELECTRO 2 BRACKET FOR SURFACE MOUNTED SHADE  
PATTERN: SONO 1600  
COLOR: DOVE GREY  
LOCATION: NAYATORIUM

**WALL PROTECTION**  
WP-1: MFG: FORMICA  
TYPE: HARDSTOP PANELS  
COLOR: DANISH MAPLE 8906-58  
INSTALL: MONOLITHIC, VERTICAL GRAIN, REF. MANF. INSTALL GUIDE  
LOCATION: MEDIA CENTER  
REMARKS: USE MANUFACTURER PROVIDED TRIM. DESIGNER TO SELECT COLOR.

### AUDITORIUM

**SEATING**  
CH-1: MFG: SERIES SEATING  
TYPE: VERA CLASSIC 24"W  
SEAT: BER SC 20.5, 34 SEAT FOLD  
UPHOLSTERED  
BACK: BER BC H35X20.5 UPHOLSTERED WITH PLEAT  
END PANEL: BER WOOD MEDIUM 20 L/R VENEER  
ARM REST: INSERT - PECAN OPEN PORE STAIN  
LIGHT: POLYURETHANE (LEFT)  
BASE: CONCEALED LED MOUNTED IN END PANELS  
FABRIC: STEEL PLATFORM, BLACK  
LOCATION: POWDERCOAT  
REMARKS: STANDARD GRADE 5 - AVANA - 191557  
AUDITORIUM  
REF. AUDITORIUM DRAWINGS FOR END PANEL AND AISLE LIGHT LOCATIONS

SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH SCHOOL RENOVATIONS  
1 TROJAN ROAD



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1	10-11-24	ADDH	

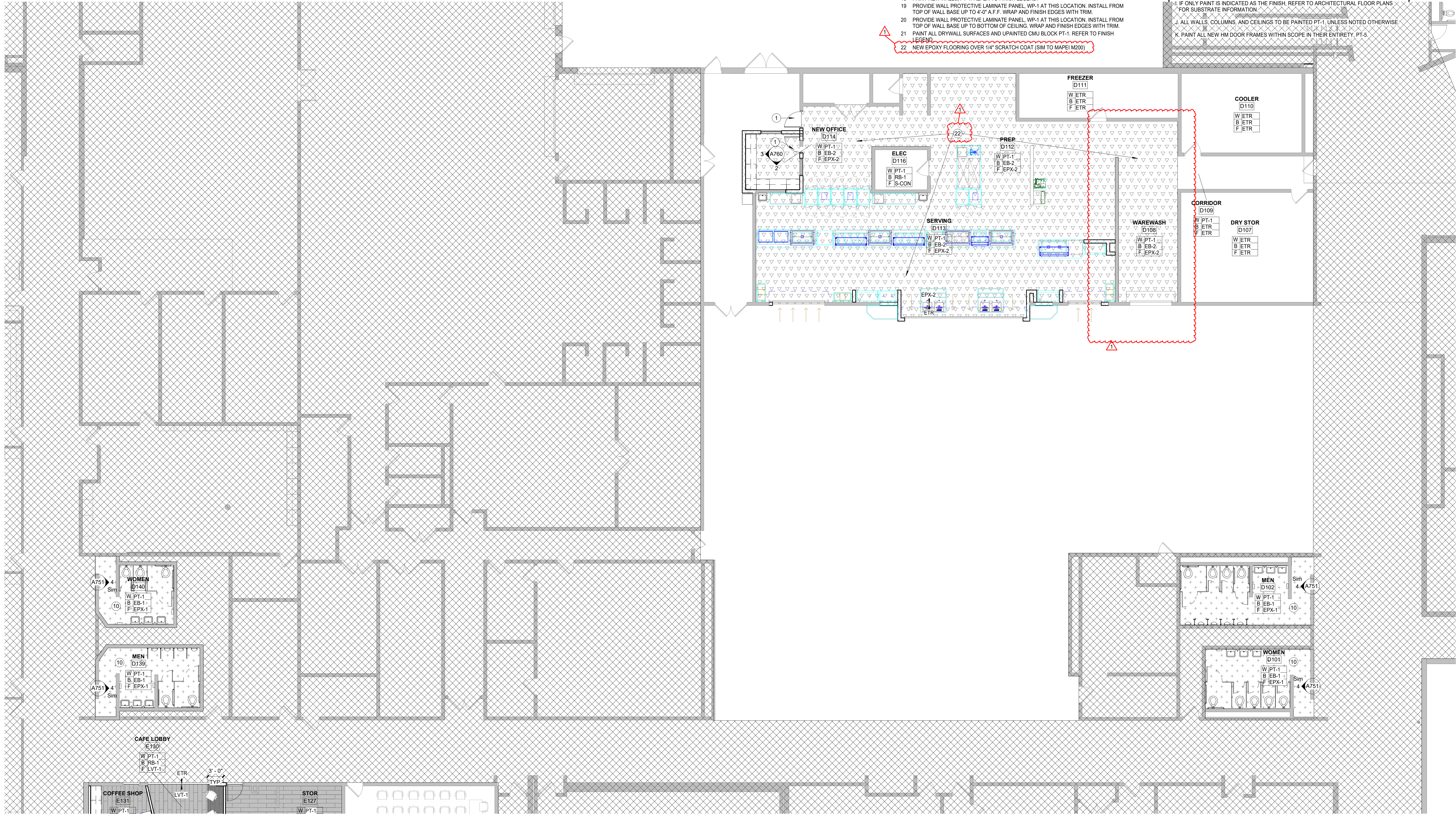
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PROJECT: #23138  
DATE: 09/26/2024  
DRAWN BY: Author

FINISH LEGEND

A720

LANCER ASSOCIATES  
ARCHITECTURE  
145 N EAST STREET  
INDIANAPOLIS, IN 46204





FLOOR FINISH HATCH LEGEND			
	CPT-1		LVT-1
	CPT-1, CPT-2		LVT-2
	CPT-2		EPX-1
	CPT-3		EPX-2

#### PLAN NOTES - FINISH PLAN

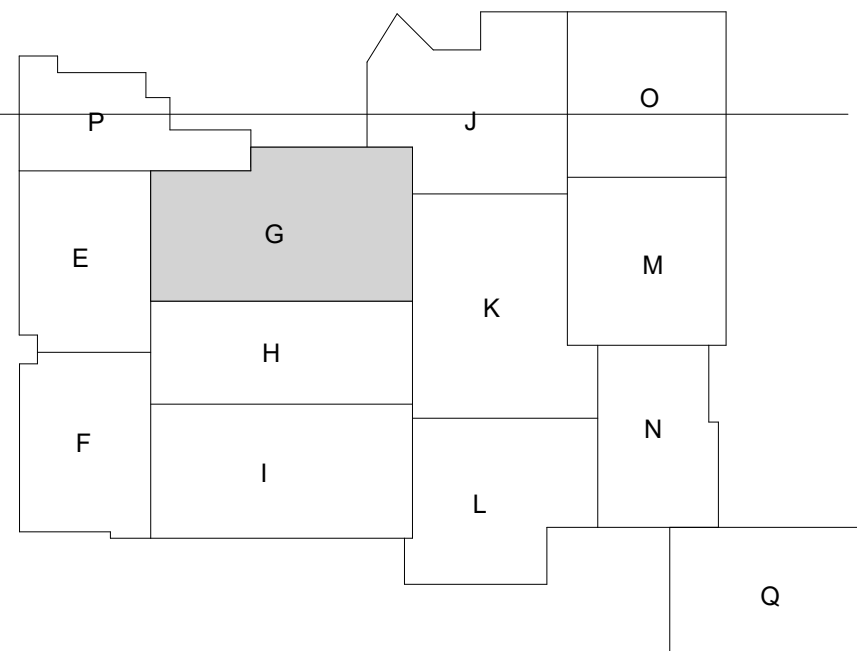
1. NEW DOOR TO RECEIVE STAIN THAT MATCHES EXISTING SCHOOL STANDARD FOR DOOR COLOR.
2. REPLACE WALL PADDING. COLOR TO BE SELECTED BY DESIGNER.
3. NEW WINDOW TREATMENTS, TEX-1. REFER TO FINISH LEGEND.
4. WALL TILE, WT-1 AT THIS LOCATION.
5. ACCENT PAINT, PT-2 AT THIS LOCATION. REFER TO FINISH LEGEND.
6. ACCENT PAINT, PT-4 AT THIS LOCATION. REFER TO FINISH LEGEND.
7. STAIRS TO RECEIVE NEW RUBBER TREADS AND RISERS, RUB-1. REFER TO FINISH LEGEND.
8. STAIN ALL WOOD TRIM AND STAIRS WITHIN AUDITORIUM TO MATCH WOOD STAIN FINISH FOR CH-1.
9. INSTALL EPOXY FLOORING OVER EXISTING TILE. PREP TILE TO ACCEPT EPOXY APPLICATION. REFER TO INTERIOR DETAILS.
10. CUSTOM VINYL GRAPHIC ON DRYWALL. FINAL DESIGN TO BE COORDINATED WITH OWNER.
11. CUSTOM VINYL GRAPHIC AND DIMENSIONAL PVC SIGNAGE ON CMU. FINAL DESIGN TO BE COORDINATED WITH OWNER.
12. STRIP AND REPAINT EXISTING STAGE FLOOR BLACK.
13. STAIR TREADS AND RISERS TO BE RUB-2. REFER TO FINISH LEGEND FOR MORE INFORMATION.
14. FLOORING BENEATH AUDITORIUM SEATING TO BE EXISTING SEALED CONCRETE. PREP, PATCH, AND PRIME EXISTING CONCRETE TO ACCEPT NEW EPOXY COATING TO MATCH PT-5. ADA ROWS TO BE CPT-3.
15. PROVIDE WINDOW FILM OR GRAPHIC FOR STUDY ROOM DOORS. FINAL DESIGN TO BE COORDINATED WITH OWNER.
16. PAINT NEW WALLS, PT-1. REFER TO FINISH LEGEND.
17. PROVIDE WALL PROTECTIVE LAMINATE PANEL, WP-1 AT THIS LOCATION. INSTALL FROM TOP OF WALL BASE UP TO 4'-0" A.F.F. WRAP AND FINISH EDGES WITH TRIM.
18. PROVIDE WALL PROTECTIVE LAMINATE PANEL, WP-1 AT THIS LOCATION. INSTALL FROM TOP OF WALL BASE UP TO BOTTOM OF CEILING. WRAP AND FINISH EDGES WITH TRIM.
19. PAINT ALL DRYWALL SURFACES AND UNPAINTED CMU BLOCK PT-1. REFER TO FINISH LEGEND.
20. NEW EPOXY FLOORING OVER 1/2" SCRATCH COAT (SIM TO MAPEI M200).

#### GENERAL NOTES

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPAIR ALL EXISTING WALLS, SLAB, AND CEILINGS TO A CONDITION SUITABLE FOR ACCEPTING NEW FINISHES AS PER MANUFACTURER'S RECOMMENDED INSTALLATION METHODS. MINIMUM LEVEL 4 FINISH ON EXISTING AND NEW WALLS, UNLESS NOTED OTHERWISE.
- B. ALL FLOORING TRANSITIONS TO COMPLY WITH ADA GUIDELINES AND TO OCCUR UNDER CENTER OF DOORWAYS AND OR AT CENTERLINE OF WALL, UNLESS INDICATED DIFFERENTLY ON FINISH PLANS. PROVIDE REDUCER STRIPS WHEREVER CARPET OR LVT MEET CONCRETE.
- C. CONTRACTOR TO PROVIDE PROTECTION AS NEEDED DURING CONSTRUCTION. IF, ANY, TO PRESERVE NEW FINISHES WHILE COMPLETING CONSTRUCTION.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS INDICATED ON THE FINISH PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND DESIGNERS. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL, UNLESS NOTED OTHERWISE.
- E. WHERE WALLS ARE INDICATED TO RECEIVE PAINT FINISH, PRIME AND PAINT GRILLES, FIRE EXTINGUISHER CABINETS, AND OTHER ITEMS EMBEDDED IN WALL CONSTRUCTION TO MATCH SURFACE ON WHICH THEY OCCUR.
- F. CONTRACTOR TO PROVIDE DRYWALL REVEAL JOINT WHERE DRYWALL MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR DETAILS FOR FURTHER DETAILS.
- G. CONTRACTOR TO PROVIDE SCHLUTER EDGE WHERE TILE MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR DETAILS FOR FURTHER DETAILS.
- H. DO NOT INSTALL GYPSUM BOARD BEHIND TILE BACKER BOARD LOCATIONS.
- I. IF ONLY PAINT IS INDICATED AS THE FINISH, REFER TO ARCHITECTURAL FLOOR PLANS FOR SUBSTRATE INFORMATION.
- J. ALL WALLS, COLUMNS, AND CEILINGS TO BE PAINTED PT-1, UNLESS NOTED OTHERWISE.
- K. PAINT ALL NEW HM DOOR FRAMES WITHIN SCOPE IN THEIR ENTIRETY, PT-5.

#### 1 INTERIOR FINISH PLAN - FIRST FLOOR - UNIT G

SCALE: 1/8" = 1'-0"



SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH SCHOOL RENOVATIONS  
1 TROJAN ROAD



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INTERIOR  
FINISH PLAN -  
FIRST FLOOR -  
UNIT G

A721G

LANCER ASSOCIATES  
ARCHITECTURE  
145 N EAST STREET  
INDIANAPOLIS, IN 46204





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CASEWORK  
ELEVATIONS

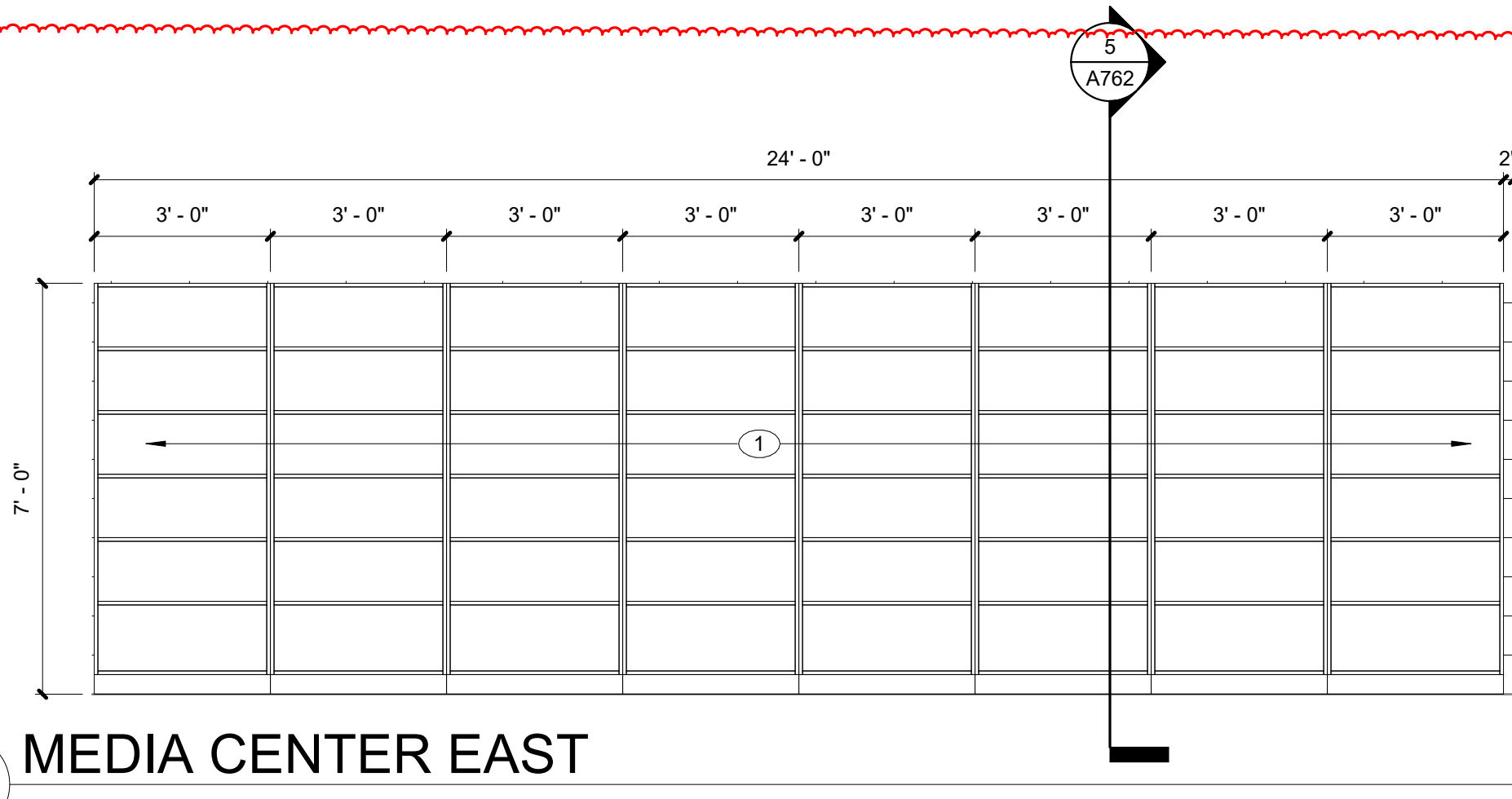
A760

GENERAL NOTES	
A. CONTRACTOR TO PROVIDE Schluter TRIM WHERE TILE MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.	
B. DO NOT INSTALL GYPSUM BOARD BEHIND BACKER BOARD WHERE TILE FINISH IS INDICATED.	
C. CONTRACTOR TO PROVIDE DRYWALL REVEAL JOINT WHERE DRYWALL MEETS DISSIMILAR MATERIALS.	
D. IF ONLY PAINT IS INDICATED AS THE FINISH, REFER TO ARCHITECTURAL FLOOR PLANS FOR SUBSTRATE INFORMATION.	
E. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS INDICATED ON THE FINISH PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND DESIGNERS.	
F. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL, UNLESS NOTED OTHERWISE.	
G. ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER CABINETS, ETC., ARE TO BE PRIMED AND PAINTED TO MATCH THE SURFACE ON WHICH THEY OCCUR.	
H. ALL WALLS AND COLUMNS TO BE PAINTED PT-1, UNLESS NOTED OTHERWISE.	

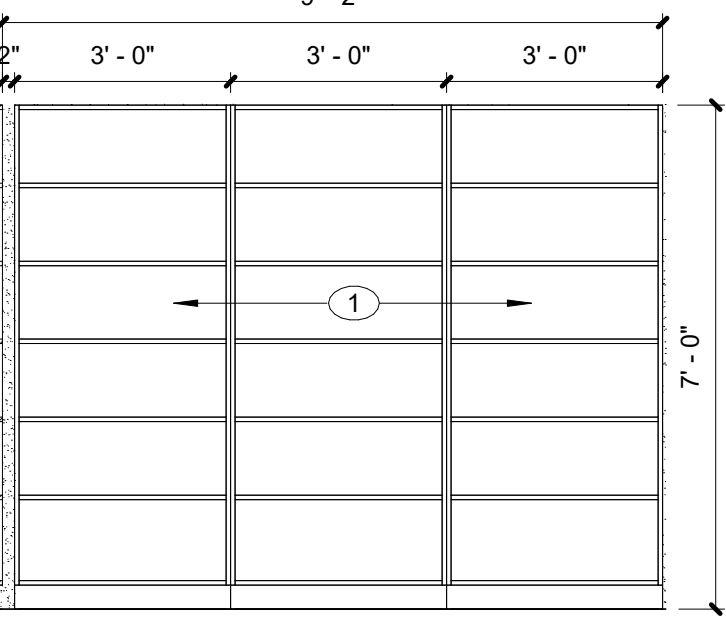
- ELEVATION NOTES - INTERIOR
1. PLASTIC LAMINATE CASEWORK, PL-1 AT THIS LOCATION. REFER TO FINISH LEGEND.
  2. SOLID SURFACE, SS-2 AT THIS LOCATION. REFER TO FINISH LEGEND.
  3. 4" HIGH RESILIENT WALL BASE, RB-1. REFER TO FINISH LEGEND.
  4. PROVIDE WALL CORNER CABINET.
  5. CUSTOM VINYL GRAPHIC WITH DIMENSIONAL PVC SIGNAGE ON CMU. FINAL DESIGN TO BE COORDINATED WITH OWNER.
  6. WALL TILE, WT-1 AT THIS LOCATION. 7'-0" A.F.F. FINISH EDGE WITH SCHLUTER JOLLY TRIM.
  7. SPACE FOR OWNER PROVIDED, CONTRACTOR INSTALLED APPLIANCE.
  8. ACCENT PAINT, PT-2 AT THIS LOCATION. REFER TO FINISH LEGEND.
  9. ACCENT PAINT, PT-4 AT THIS LOCATION. REFER TO FINISH LEGEND.
  10. BOOK RETURN CABINET.
  11. ACCENT PAINT, PT-3 AT THIS LOCATION. REFER TO FINISH LEGEND.
  12. CUSTOM VINYL GRAPHIC ON DRYWALL. FINAL DESIGN TO BE COORDINATED WITH OWNER.
  13. PROVIDE WINDOW FILM OR GRAPHIC FOR STUDY ROOM DOORS. FINAL DESIGN TO BE COORDINATED WITH OWNER.

GENERAL CASEWORK NOTES	
1. FABRICATE WOODWORK/MILLWORK ITEMS TO ACTUAL FIELD DIMENSIONS. CONTRACTOR SHALL SUBMIT FOR DESIGNER'S APPROVALS SHOP DRAWINGS SAMPLES OR MANUFACTURER'S LITERATURE FOR ALL ITEMS. SHOP DRAWINGS SHALL SHOW SUFFICIENT DETAIL TO DETERMINE COMPLIANCE WITH STANDARDS AND DESIGN INTENT.	
2. PROVIDE ALL NECESSARY FURRING AND GROUNDS FOR WOODWORK AND FINISH ITEMS. COORDINATE LOCATION OF BLOCKING WITHIN FRAMED WALLS AS NECESSARY FOR ITEMS TO BE SECURED TO SURFACE. ALL FASTENERS SHALL BE CONCEALED.	
3. FINISH ALL SIDES AND BACK OF MILLWORK CASEWORK.	
4. PROVIDE GROMMETS IN COUNTERTOPS ABOVE ALL ELECTRICAL RECEPTACLES AND TELEPHONE DATA ROUTINGS.	
5. ALL PULLS TO BE 4" SATIN NICKEL SOLID WIRE PULL.	
6. PROVIDE LOCKS FOR ALL DRAWERS AND DOORS.	
7. ALL PLASTIC LAMINATE SURFACES ON EXTERIOR OF CABINETS SHALL BE A STANDARD COLOR AS LISTED ON THE FINISH LEGEND. PL-1: ALL CASEWORK CABINETS	
8. ALL INTERIORS BEHIND DOORS/ DRAWERS AND NOT VISIBLE SHALL BE WHITE, UNLESS NOTED OTHERWISE.	
7. ALL SOLID SURFACE COUNTERTOPS SHALL BE A STANDARD COLOR AS LISTED ON THE FINISH LEGEND. SS-1: CIRCULATION DESK COUNTERTOP SURFACES SS-2: TYPICAL COUNTERTOP SURFACES	
9. SEE ELEC. DWGS FOR ELECTRICAL DEVICES.	
10. SEE PLUMBING DWGS FOR PLUMBING FIXTURES.	

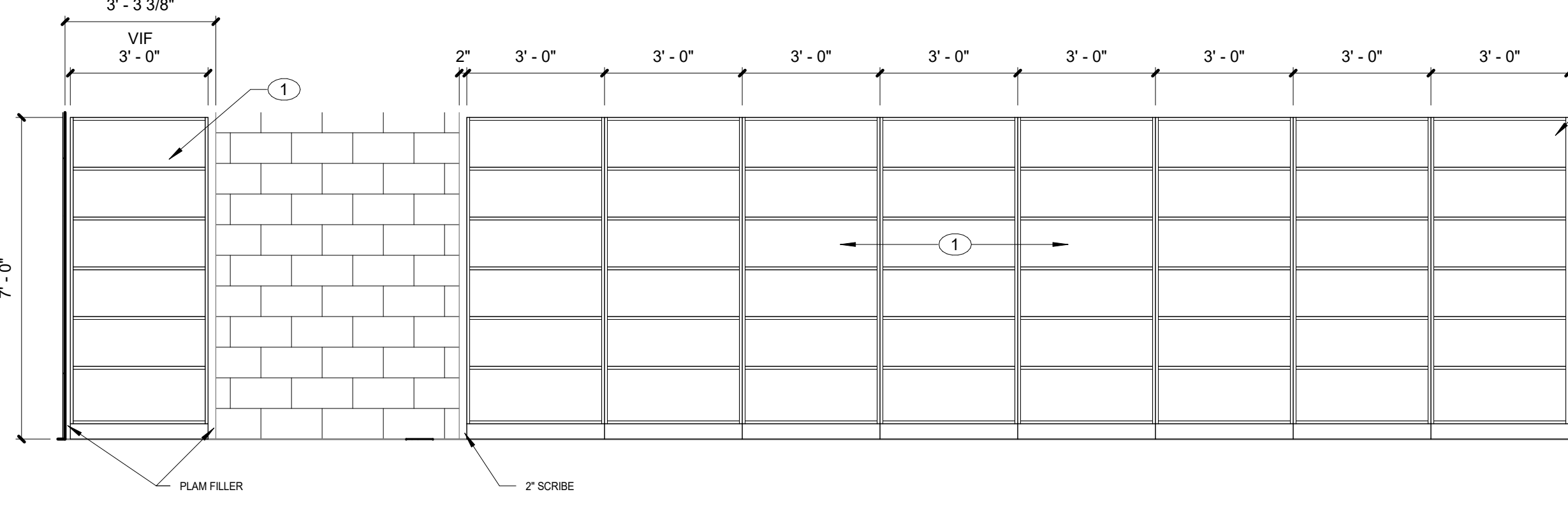
17 MEDIA CENTER EAST  
SCALE: 3/8" = 1'-0" REF. 1 / A101H



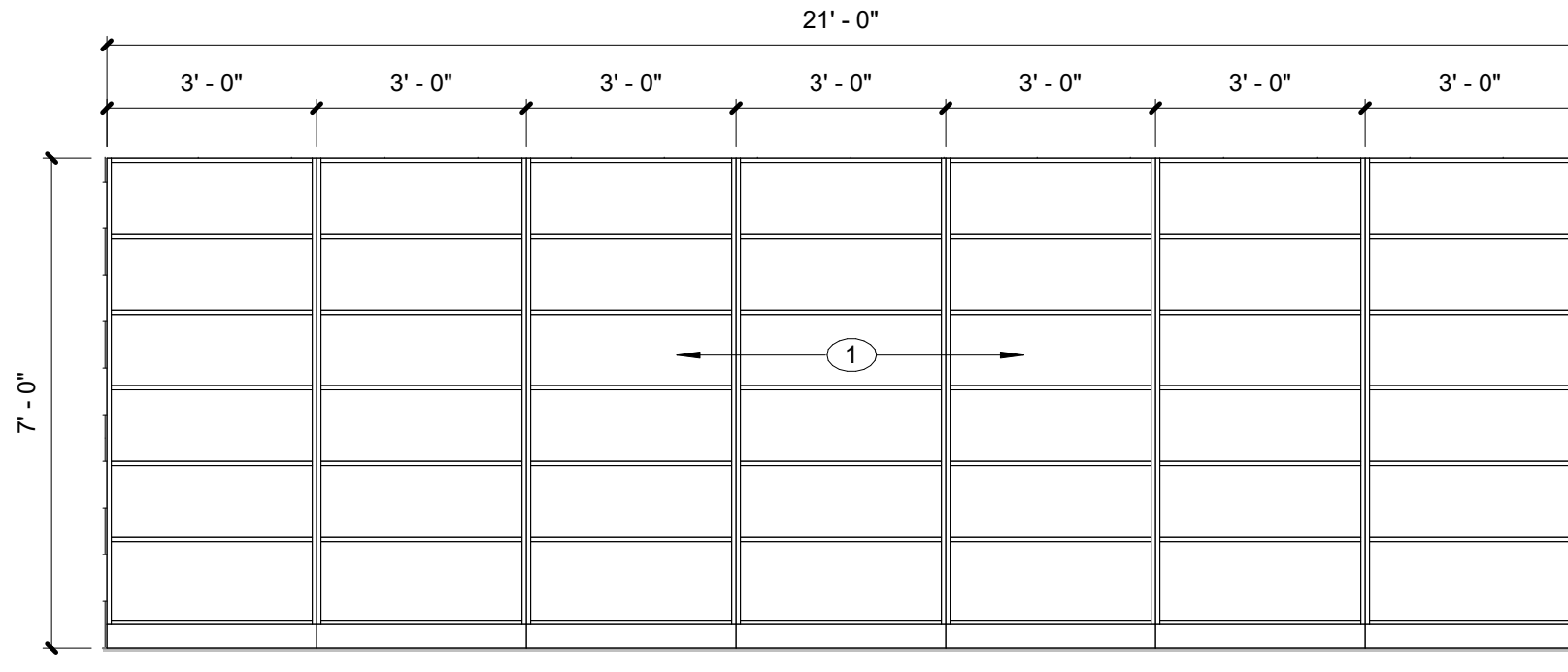
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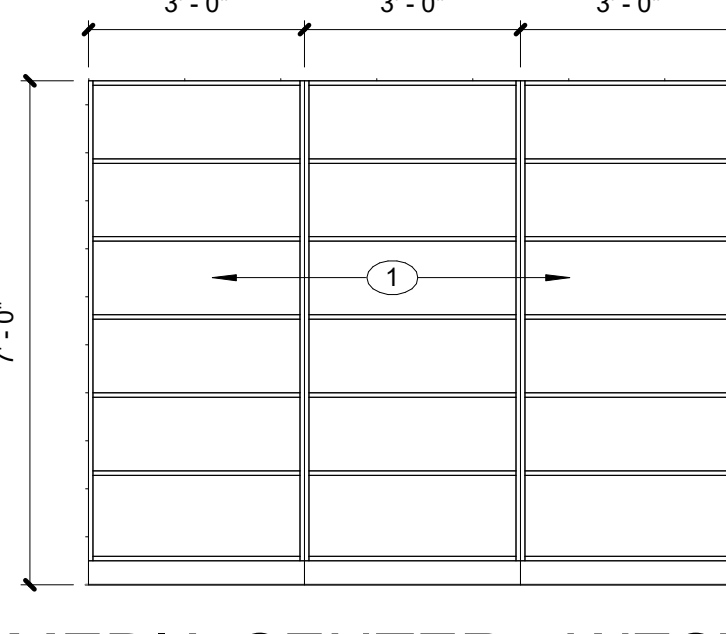
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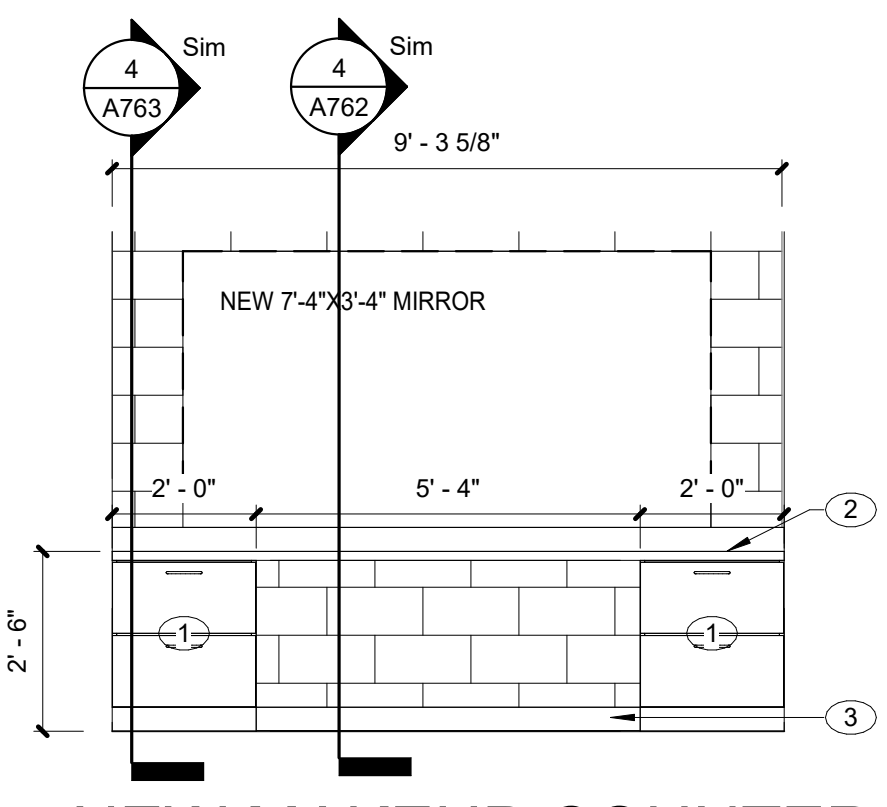
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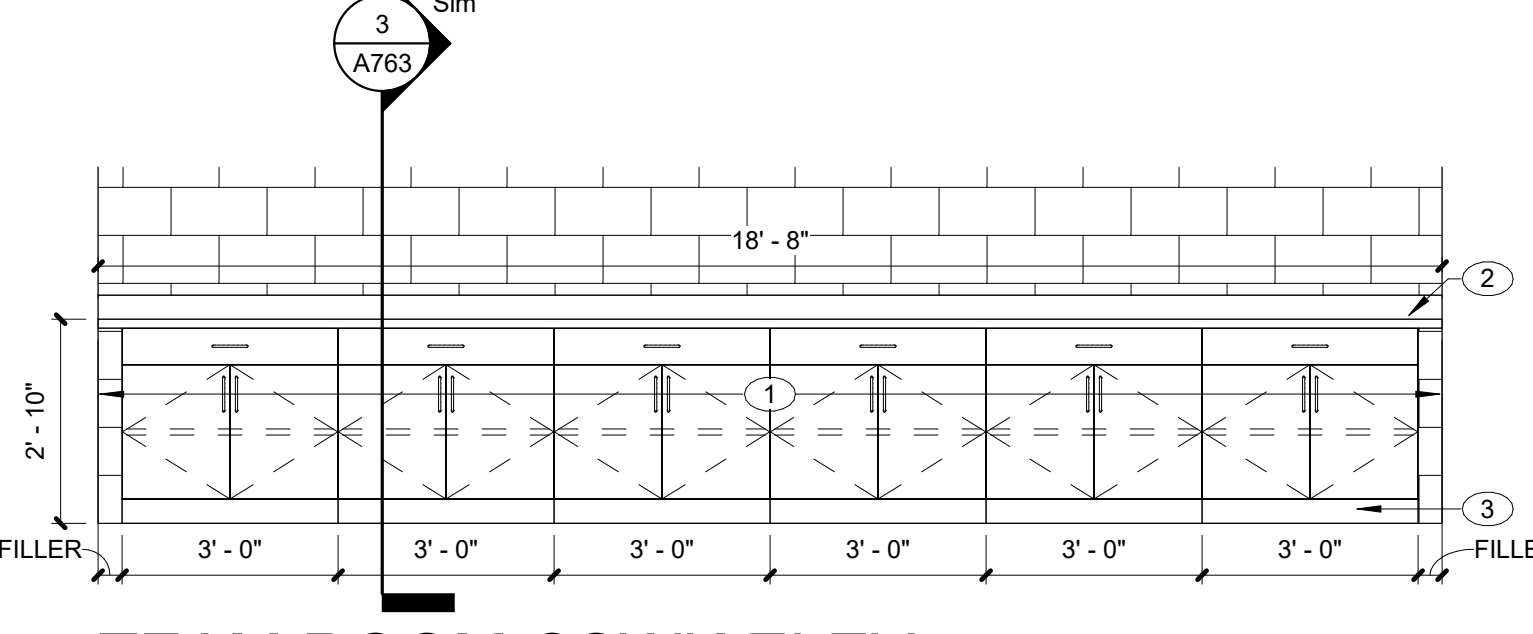
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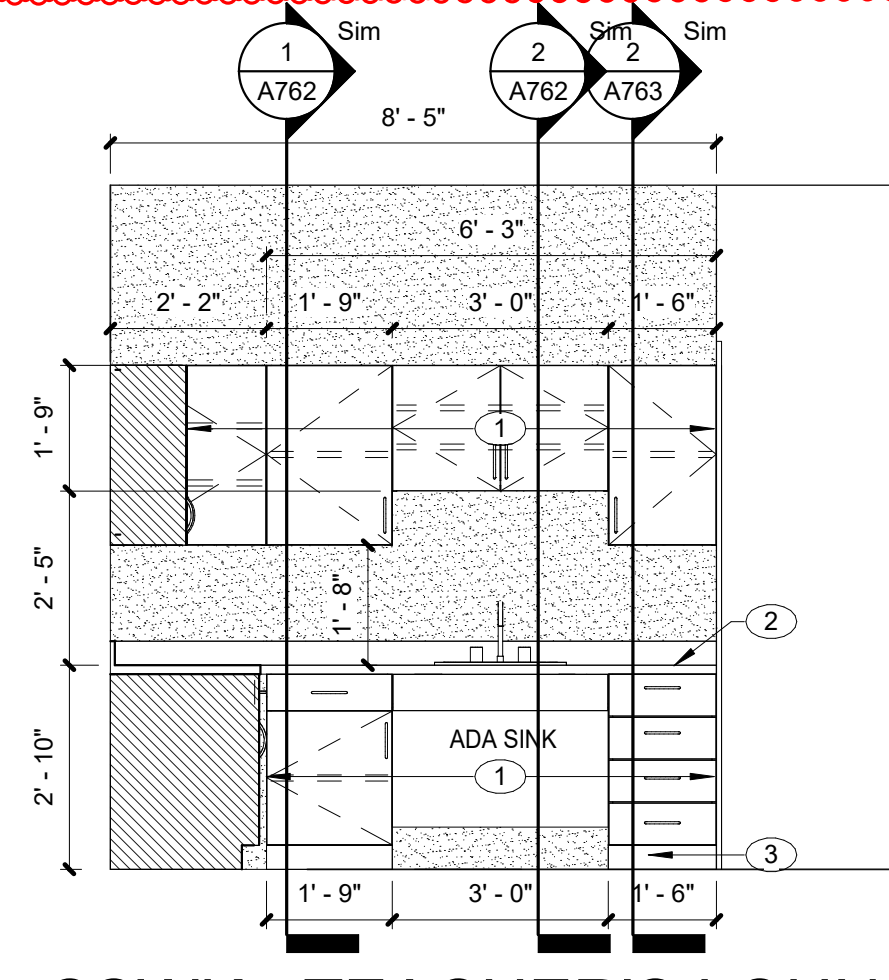
12 NEW MAKEUP COUNTER  
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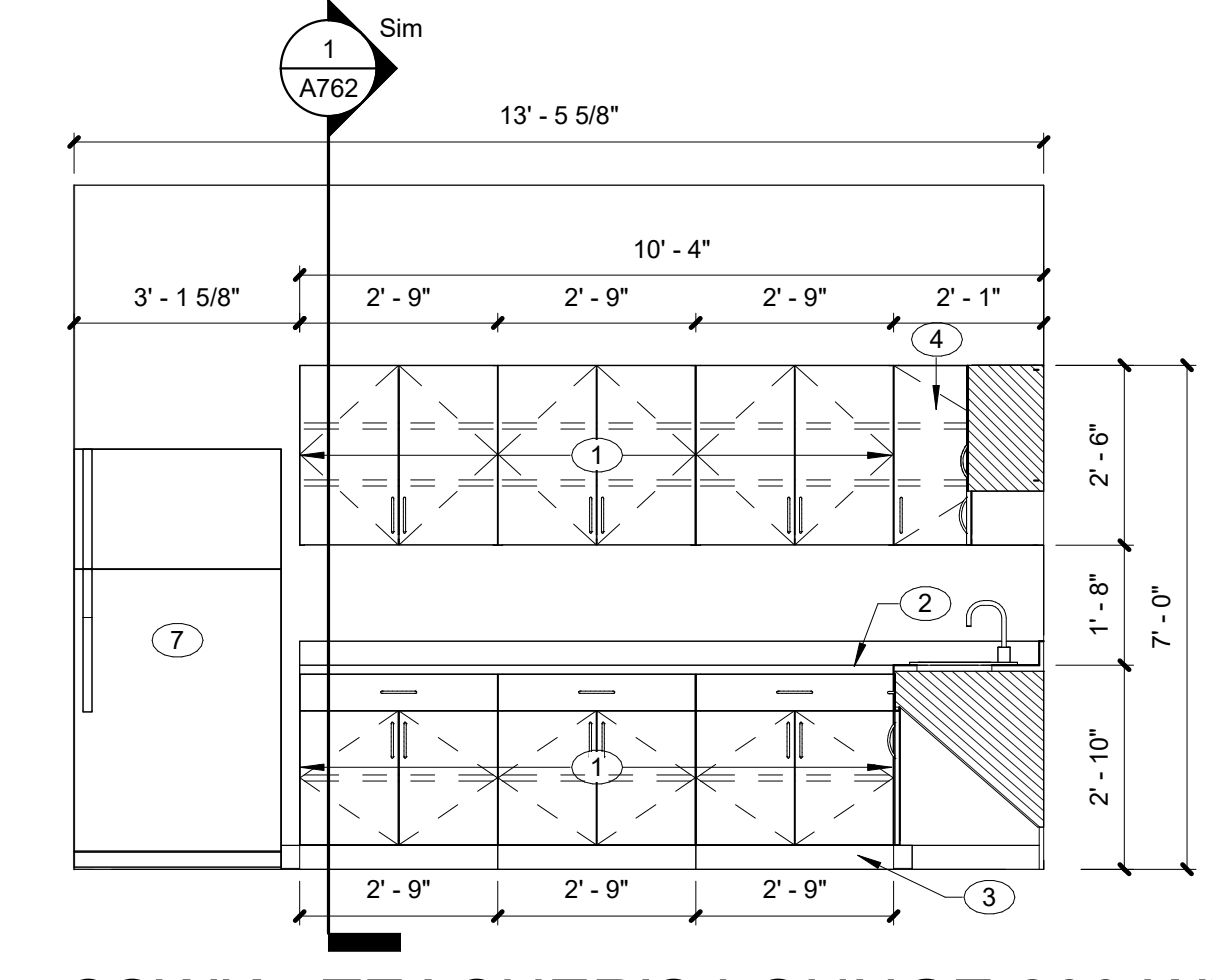
11 TEAM ROOM CSWK ELEV  
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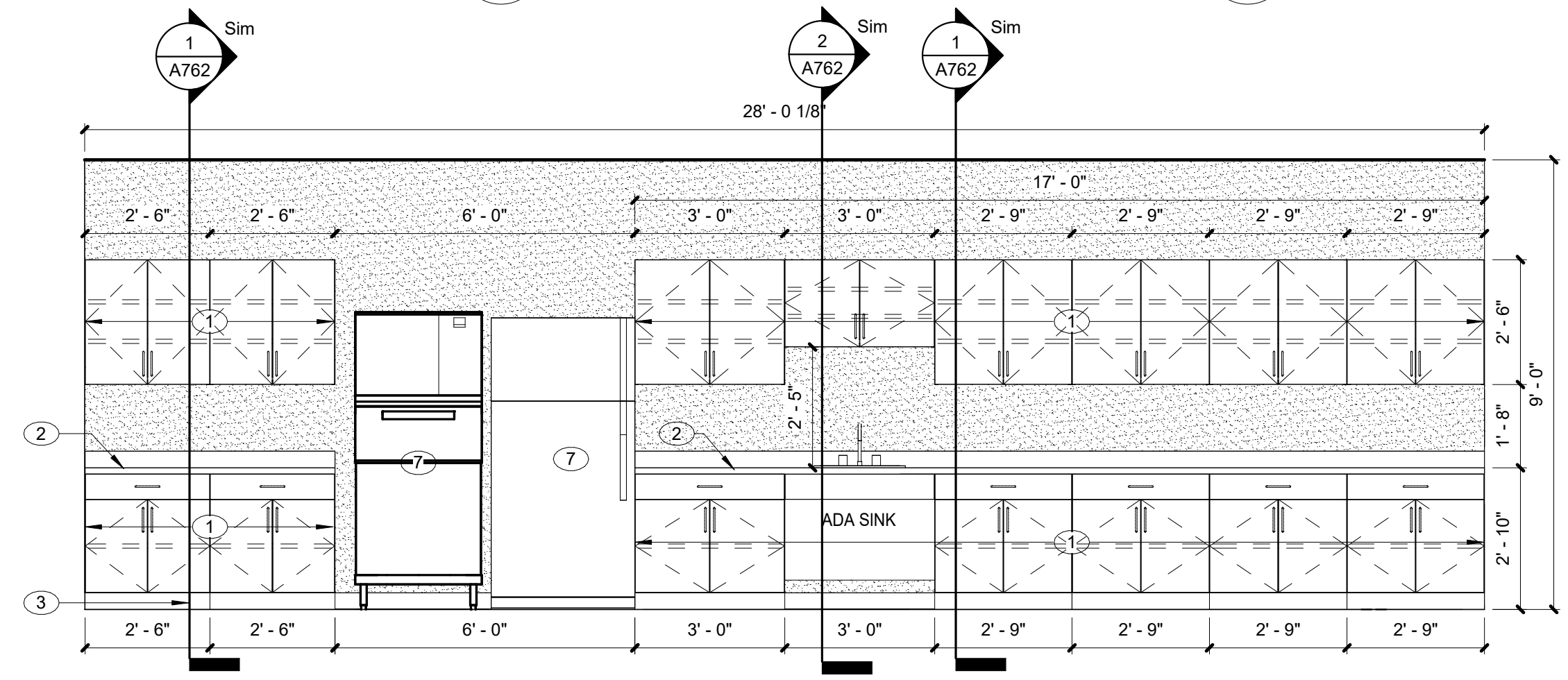
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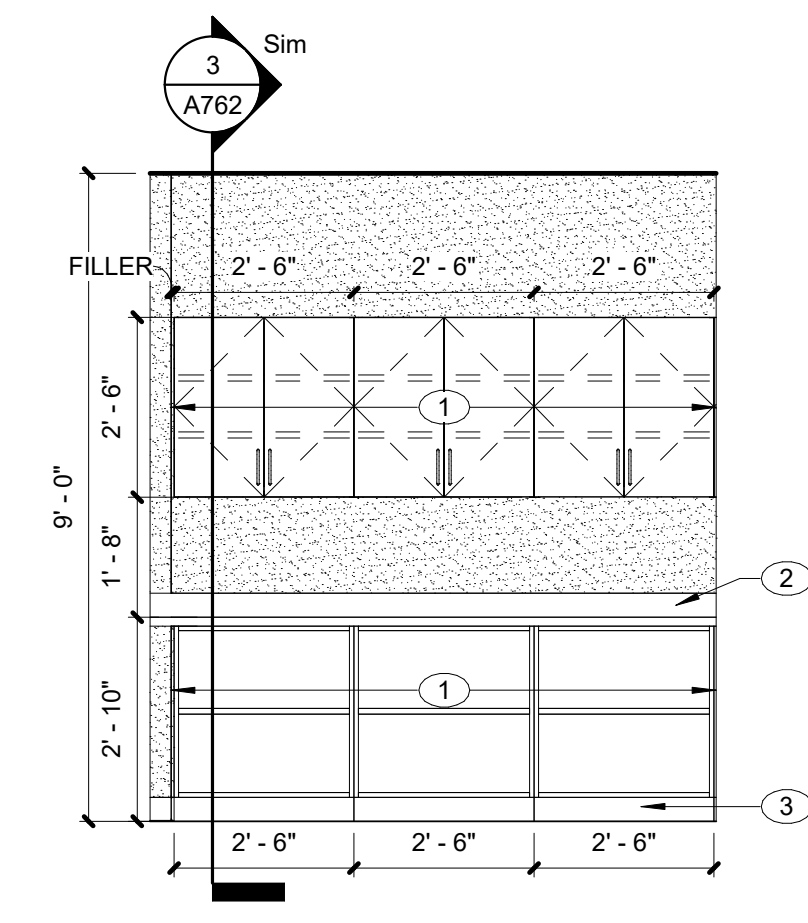
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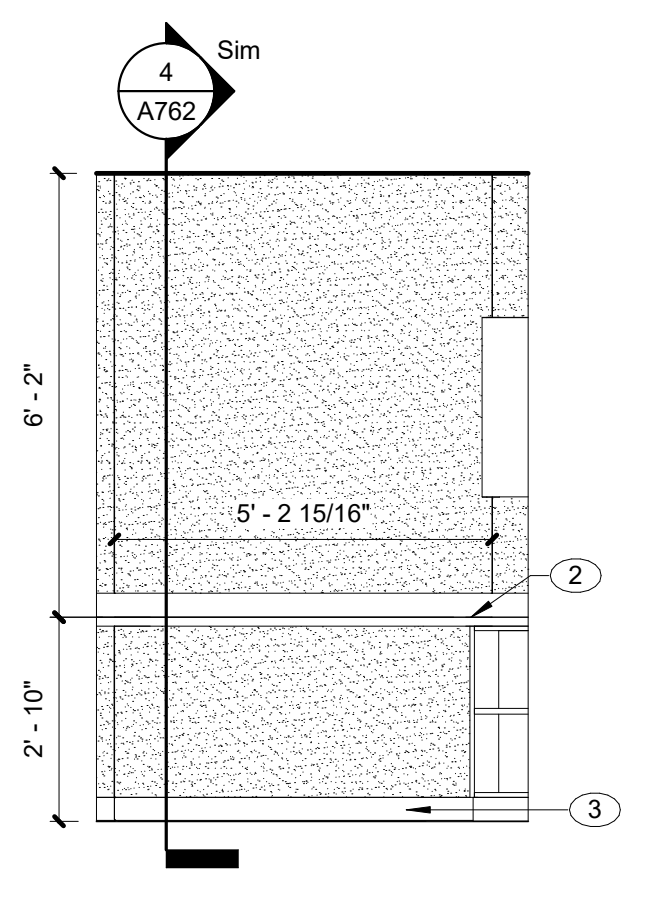
8 CSWK - COFFEE SHOP E131 WEST  
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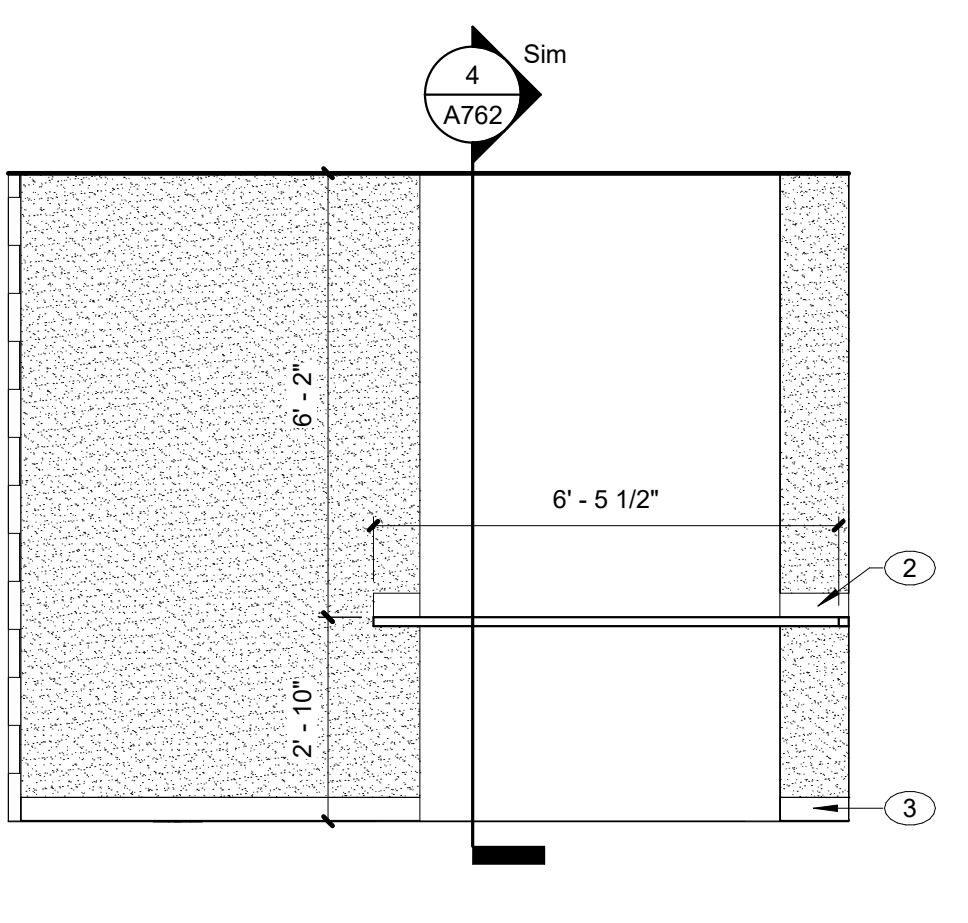
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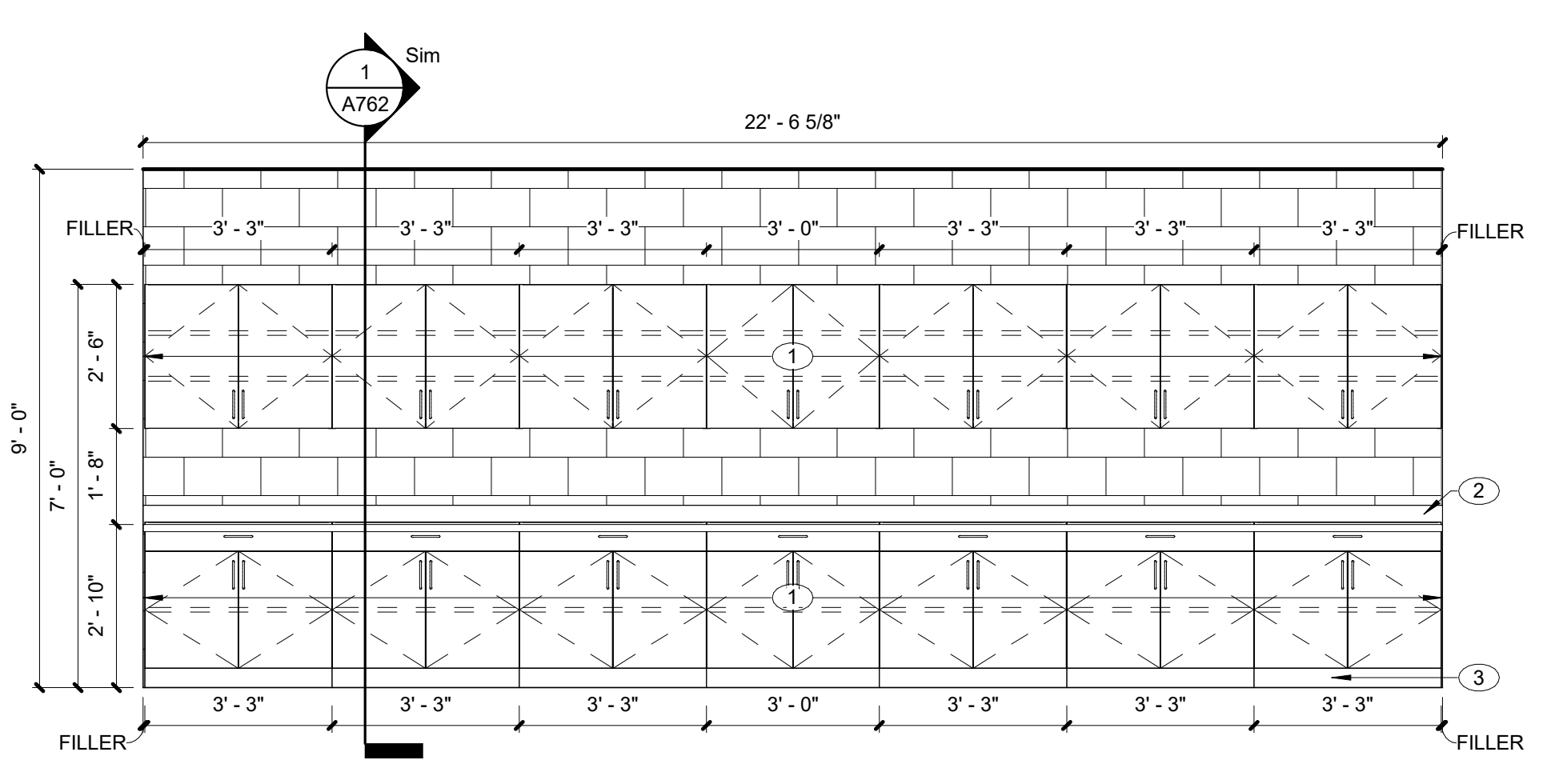
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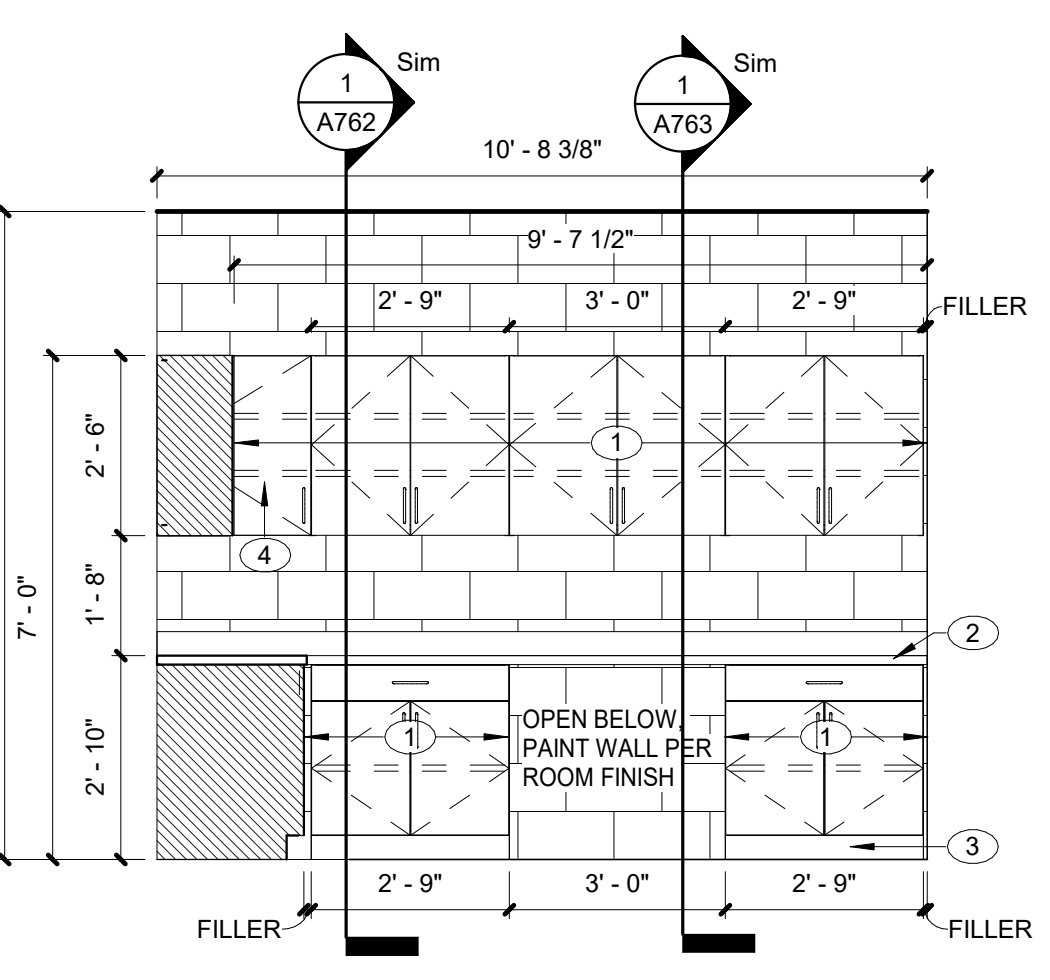
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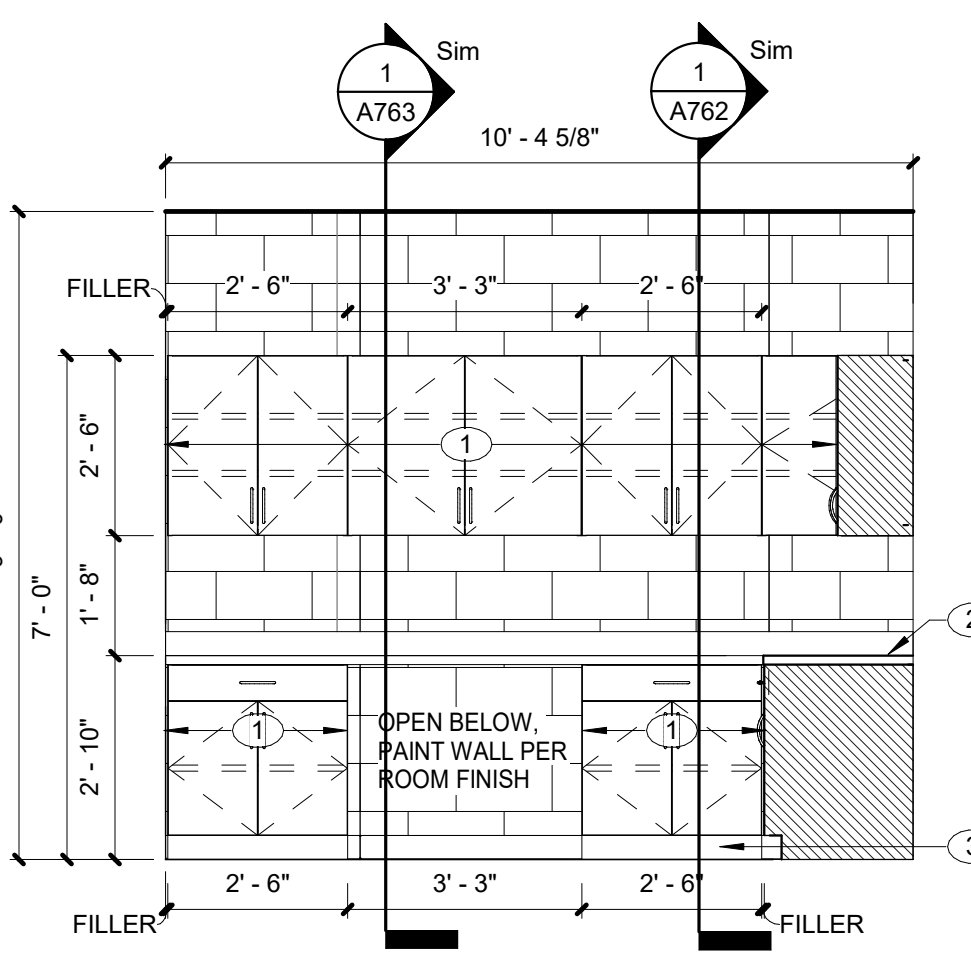
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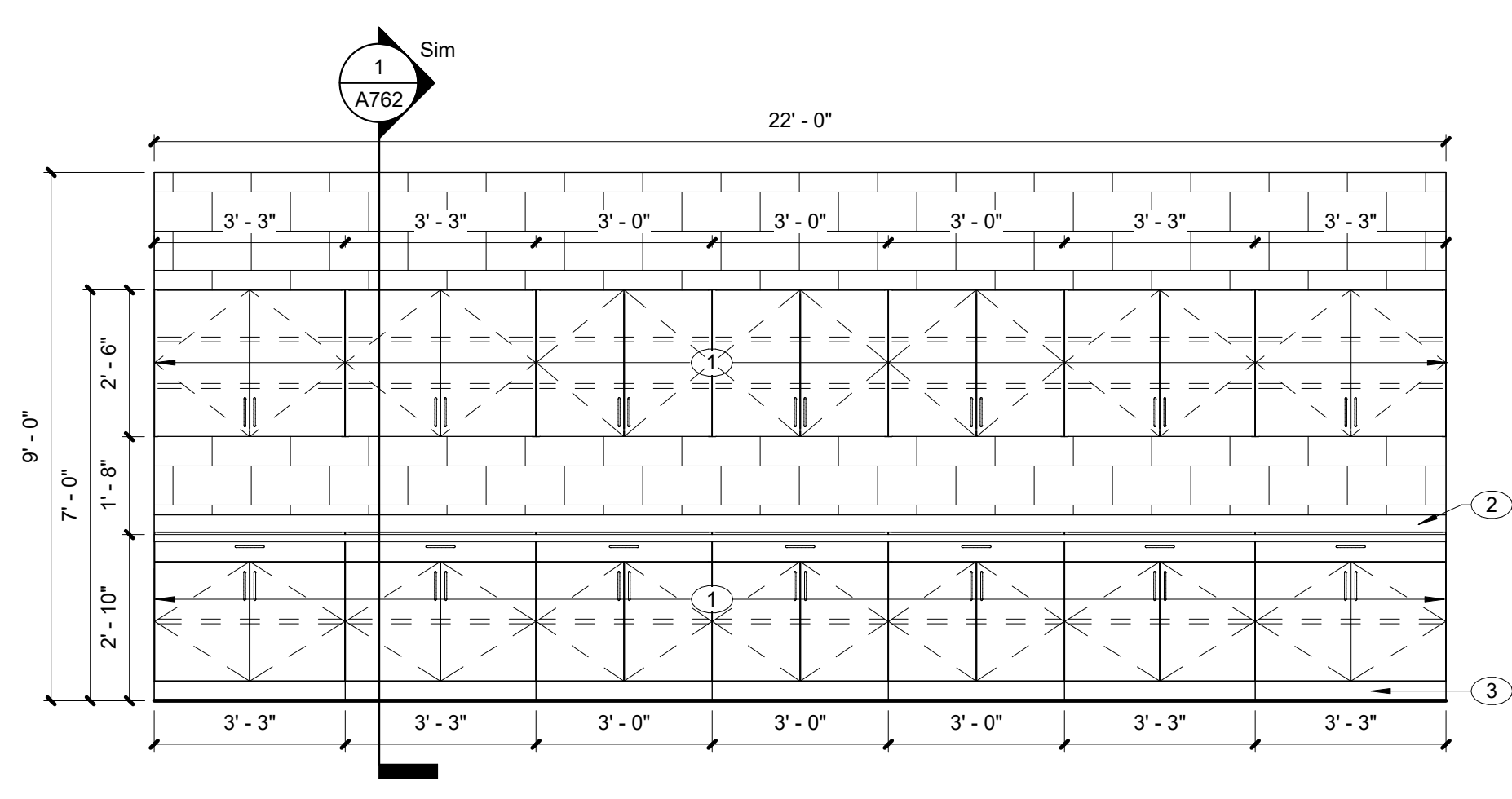
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2 CSWK - NEW OFFICE D114 SOUTH  
SCALE: 3/8" = 1'-0" REF. 1 / A101G



1 CSWK - MAINT. OFFICE G107a WEST  
SCALE: 3/8" = 1'-0" REF. 1 / A101J





- DEMOLITION PLAN NOTES**
1. REMOVE EXISTING PLUMBING FIXTURE COMPLETE AND PREPARE ROUGH-IN FOR NEW FIXTURE IN SAME LOCATION. EXISTING FIXTURE CARRIER TO REMAIN. COORDINATE WITH G.C. TO PATCH BLOCK WALL AND PAINT AS REQUIRED PRIOR TO INSTALL OF NEW FIXTURE. REMOVE ASSOCIATED P-TRAP, SUPPLY ANGLE STOPS AND RISERS COMPLETE.
  2. EXISTING FIXTURE TO REMAIN
  3. REMOVE EXISTING SHOWER COMPLETE AND PREPARE TO RELOCATE DRAIN, VENT, SUPPLY TO NEW LOCATION.
  4. REMOVE EXISTING FIXTURE CARRIER AND SELECTIVELY CUT EXISTING CMU WALL TO REMOVE AND INSTALL NEW CARRIER. COORDINATE WITH G.C.

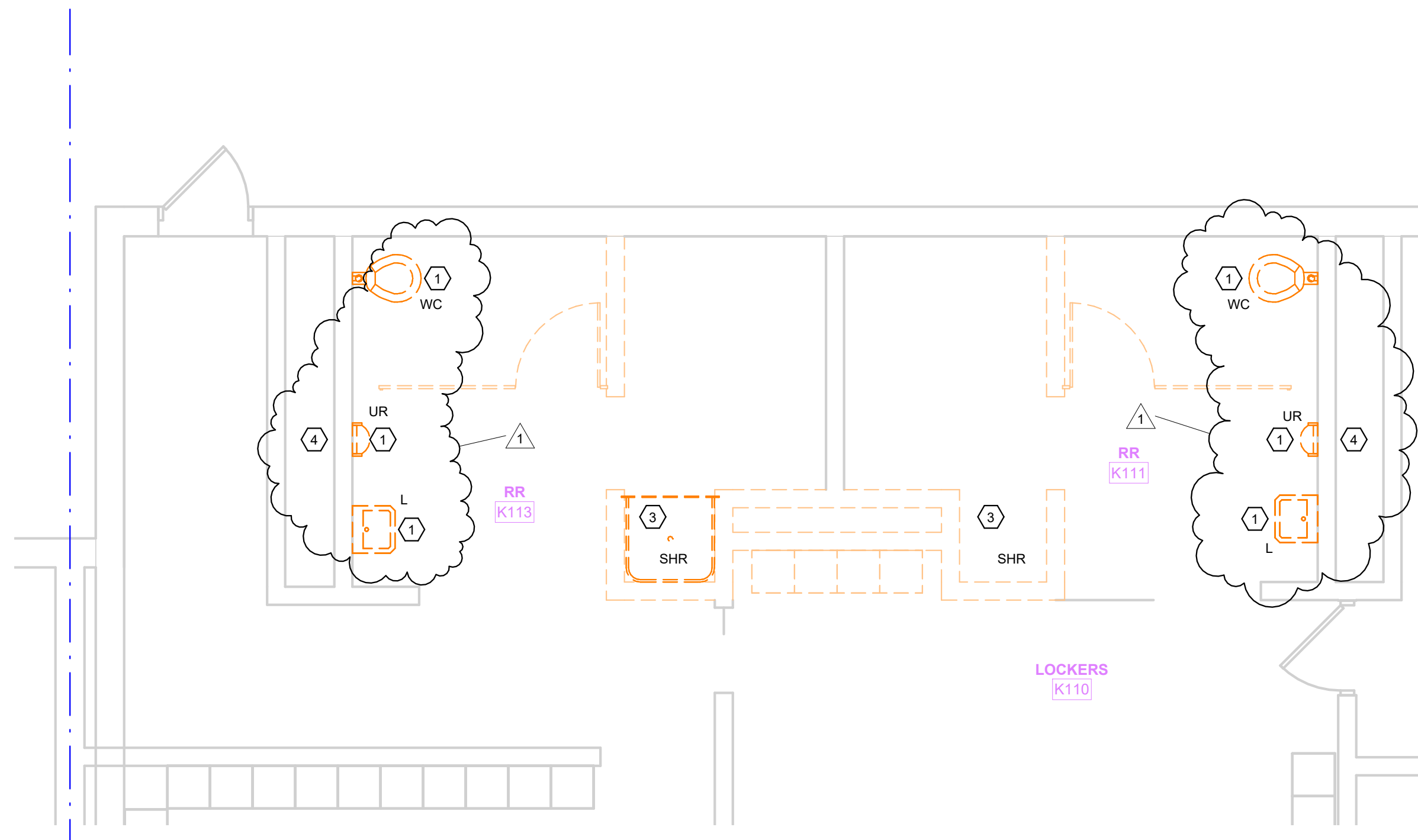
LANCER ASSOCIATES  
ARCHITECTURE

145 NORTH EAST STREET  
INDIANAPOLIS, IN 46204

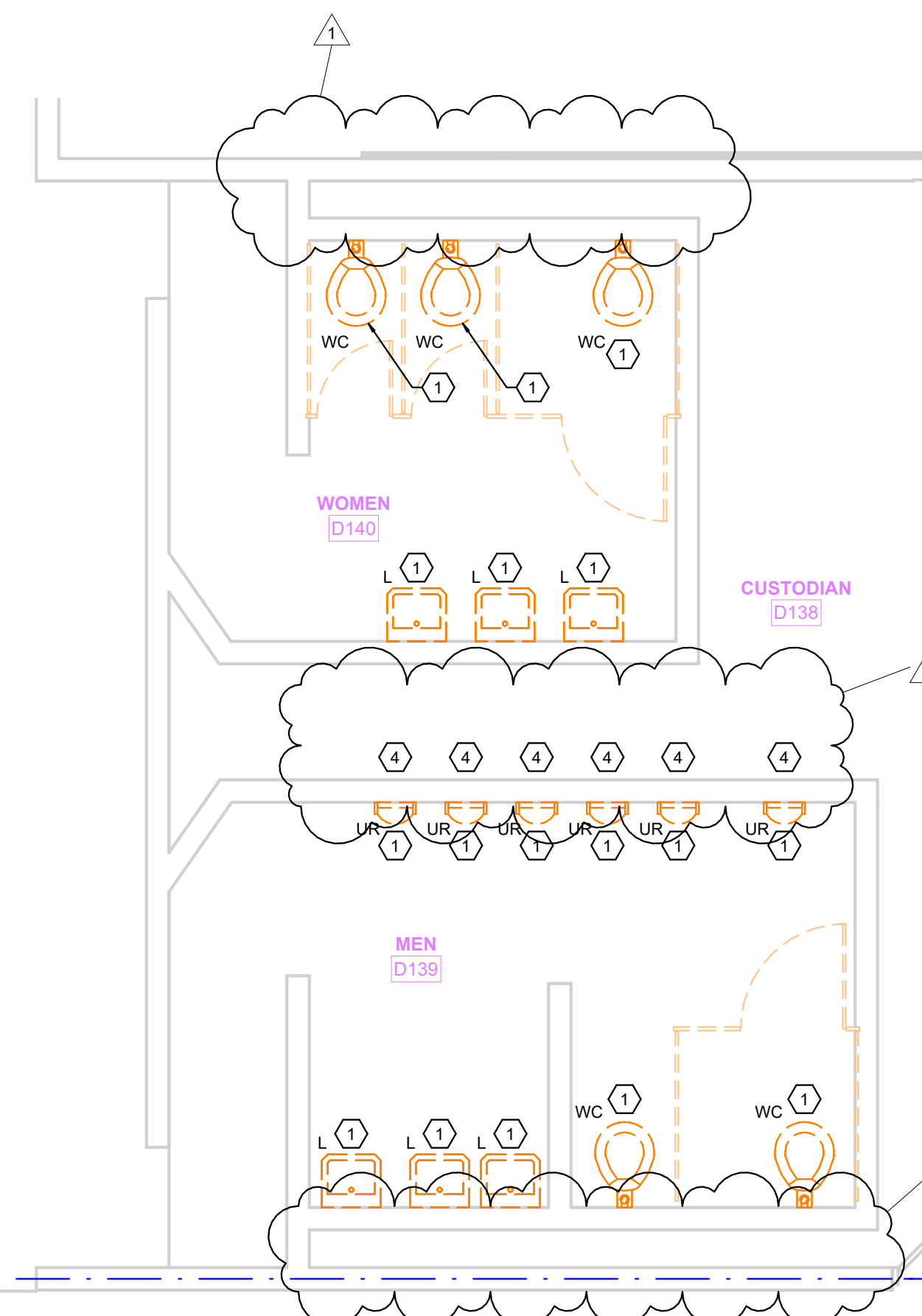
PRIMARY  
ENGINEERING INC.

Fort Wayne Indianapolis  
2828 Lake Ave. 8765 Conquest Blvd., Suite 103  
Fort Wayne, Indiana 46802 Indianapolis, Indiana 46256  
260-424-0444 ph 317-224-1221 ph  
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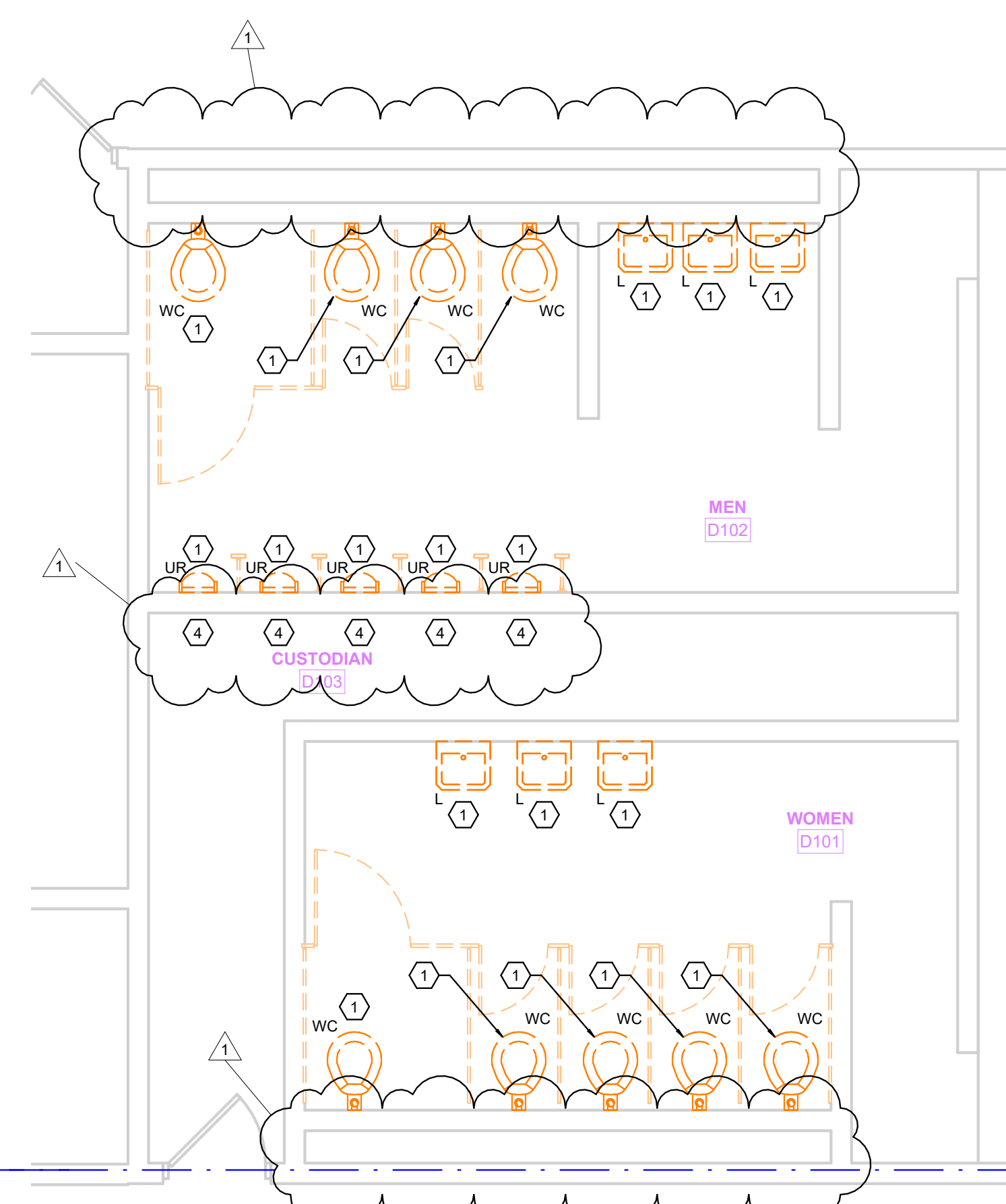
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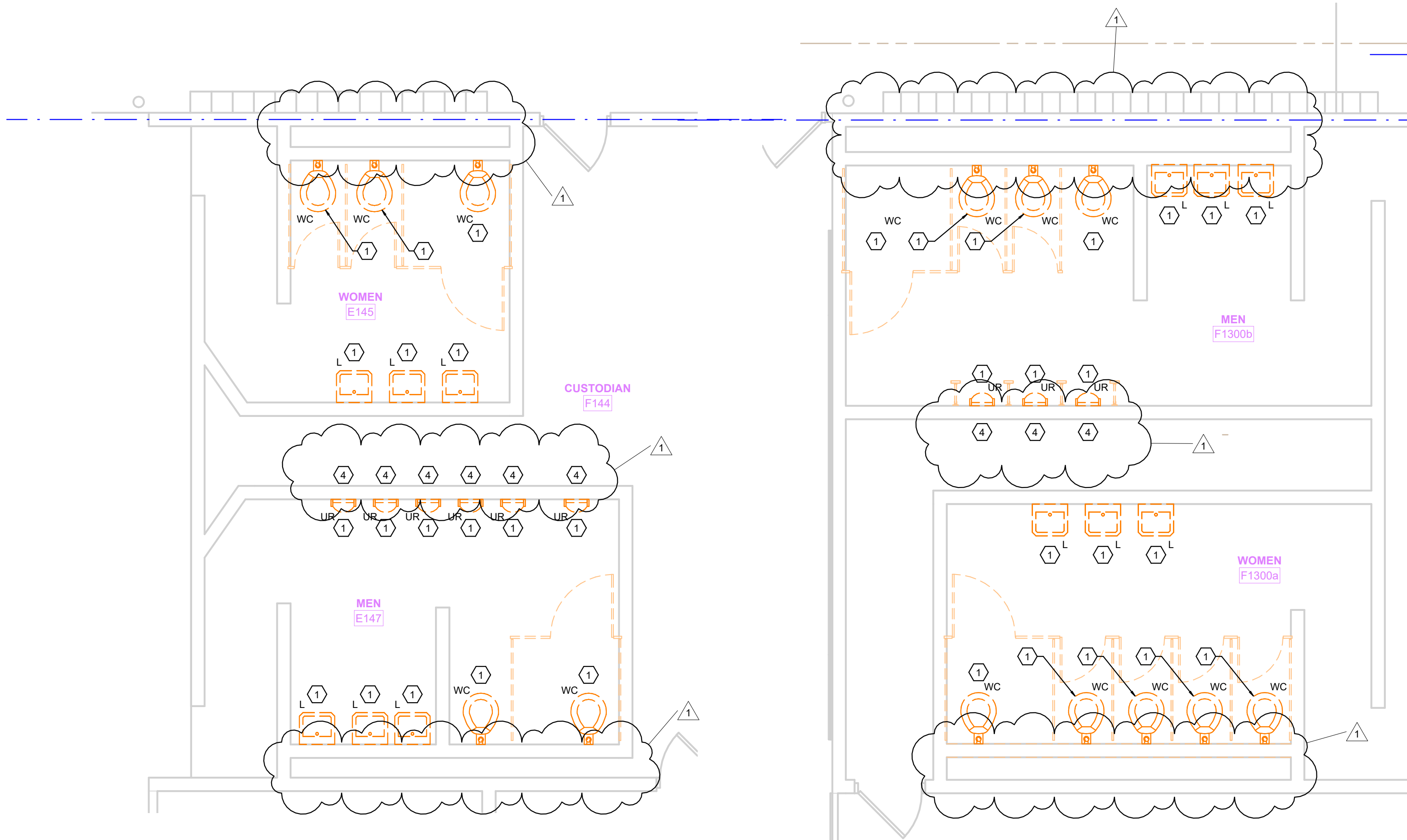
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PLUMBING DEMOLITION PLAN - UNIT O  
SCALE: 1/4" = 1'-0"



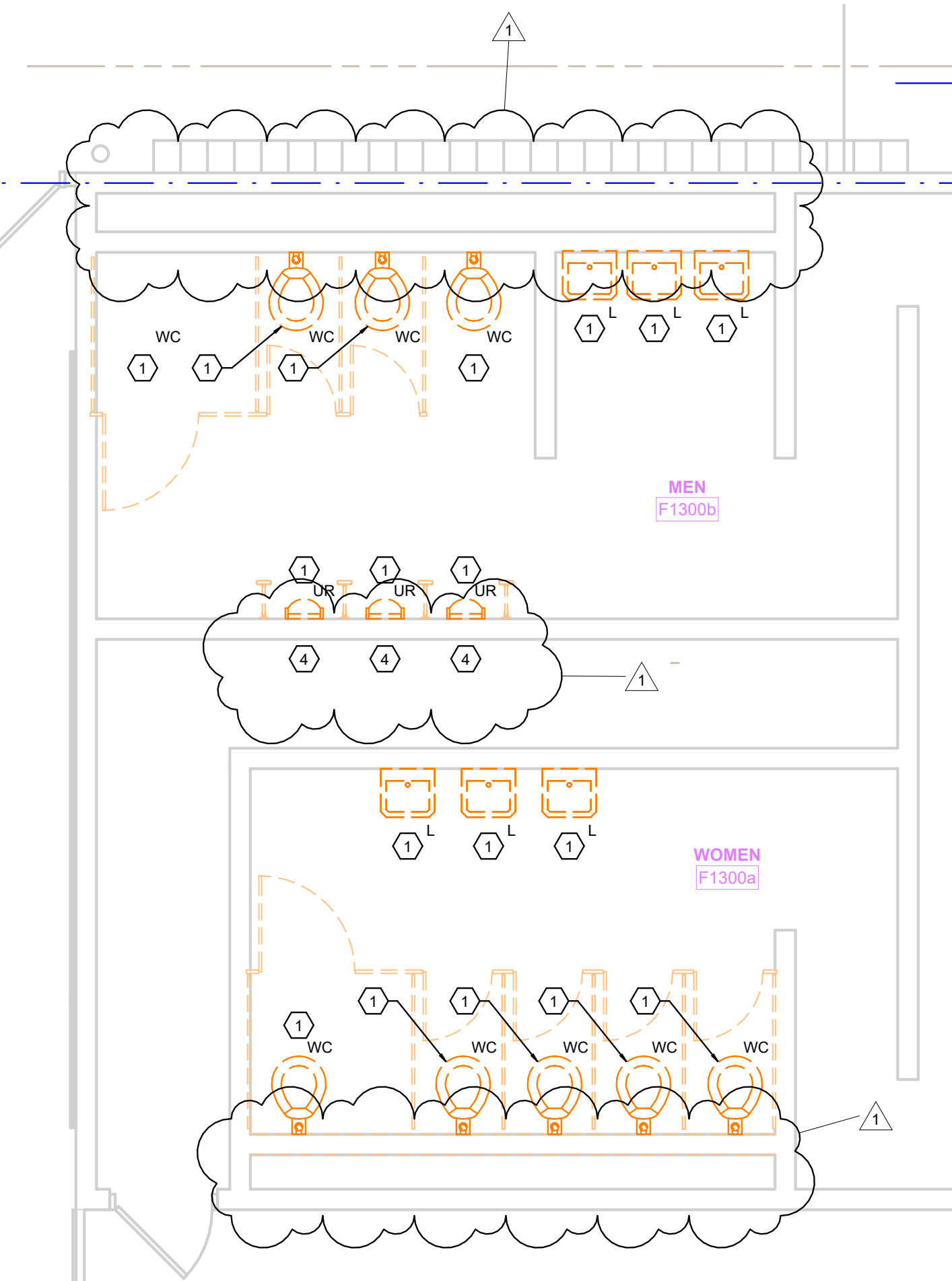
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PLUMBING DEMOLITION PLAN -  
UNIT G - WEST  
SCALE: 1/4" = 1'-0"



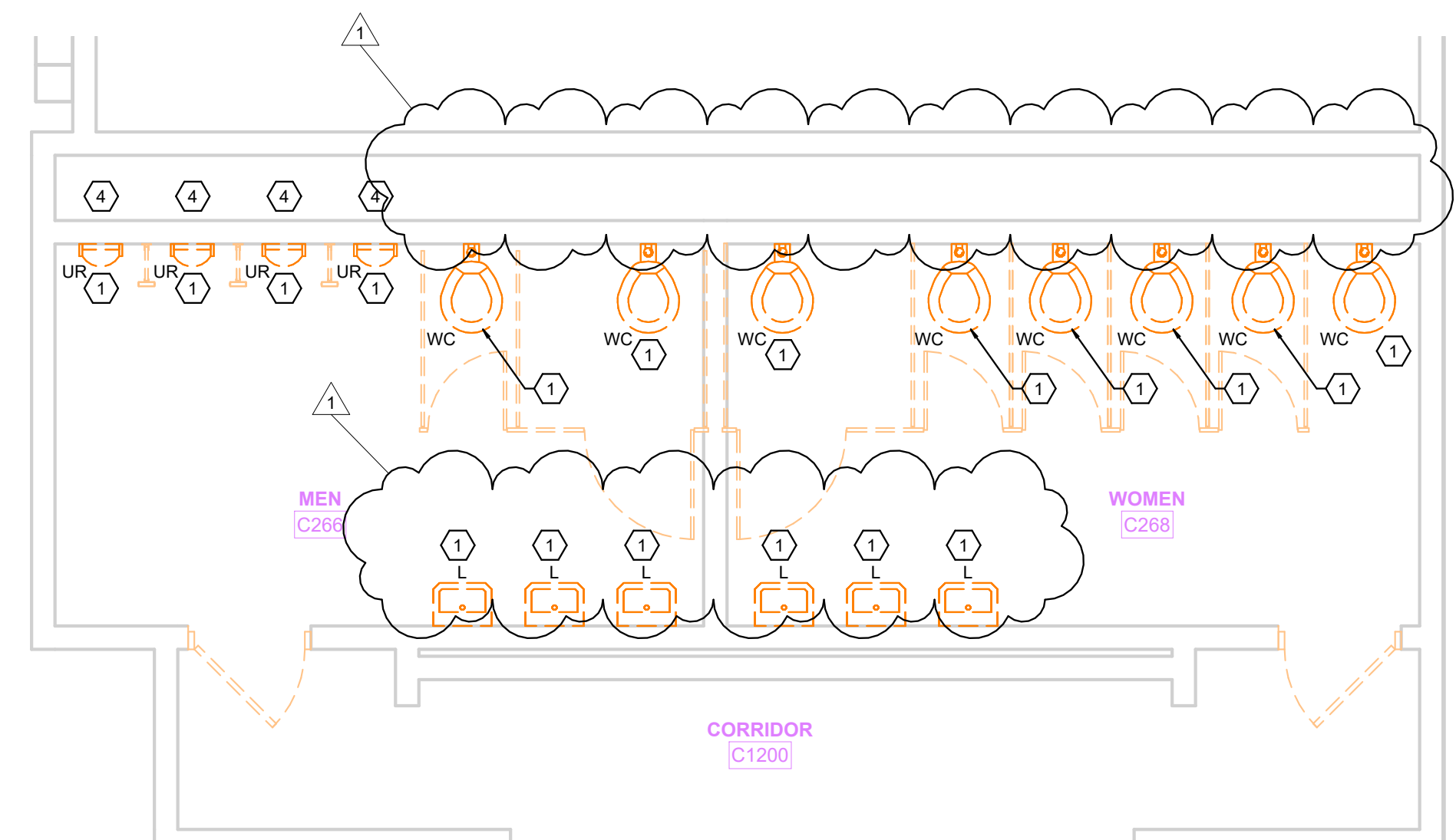
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PLUMBING DEMOLITION PLAN -  
UNIT G - EAST  
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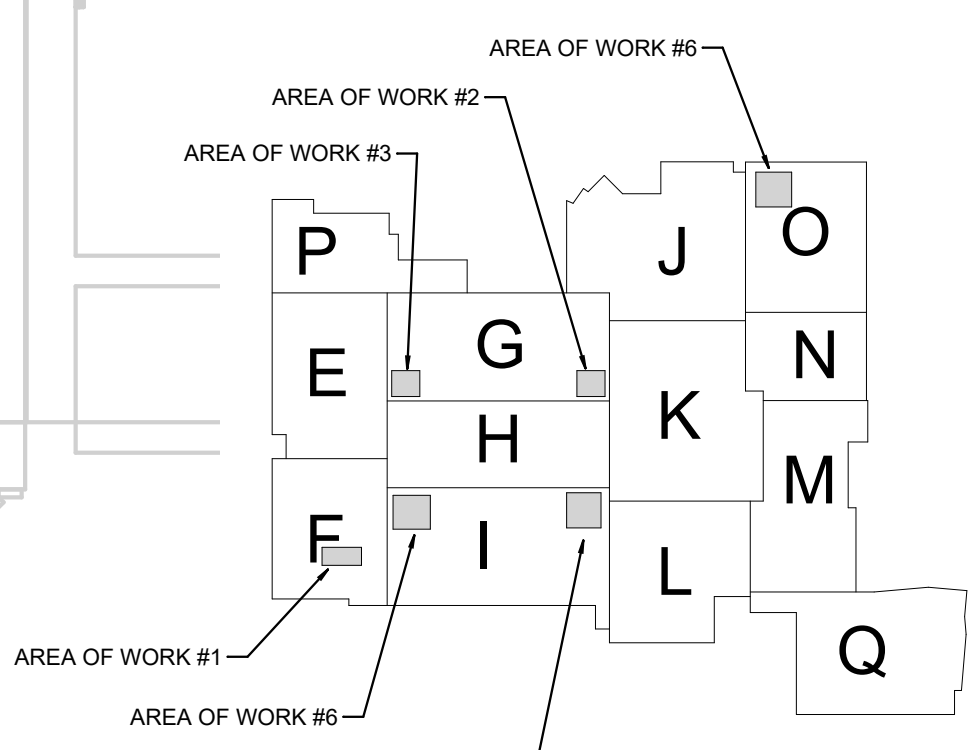
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PLUMBING DEMOLITION PLAN -  
UNIT I - WEST  
SCALE: 1/4" = 1'-0"



4 PARTIAL FIRST FLOOR -  
PLUMBING DEMOLITION PLAN -  
UNIT I - EAST  
SCALE: 1/4" = 1'-0"



1 PARTIAL FIRST FLOOR -  
PLUMBING DEMOLITION PLAN - UNIT F  
SCALE: 1/4" = 1'-0"



SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH SCHOOL RENOVATIONS  
1 TROJAN ROAD

REGISTERED PROFESSIONAL ENGINEER  
STATE OF INDIANA  
PE11700017  
PRIMARY ENGINEERING, INC.

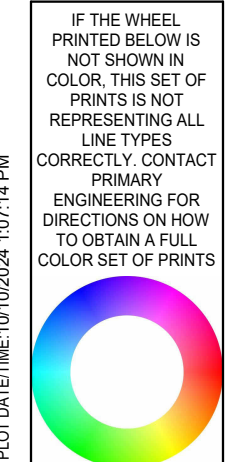
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PROJECT: #23138  
DATE: 09/26/2024  
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ENLARGED  
PLUMBING  
DEMOLITION  
PLANS

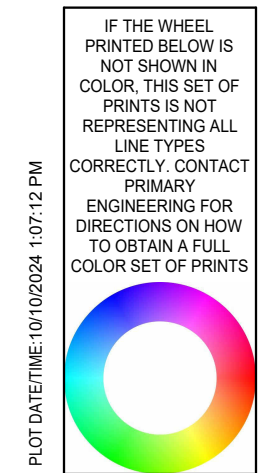
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PRIMARY JOB # 24584

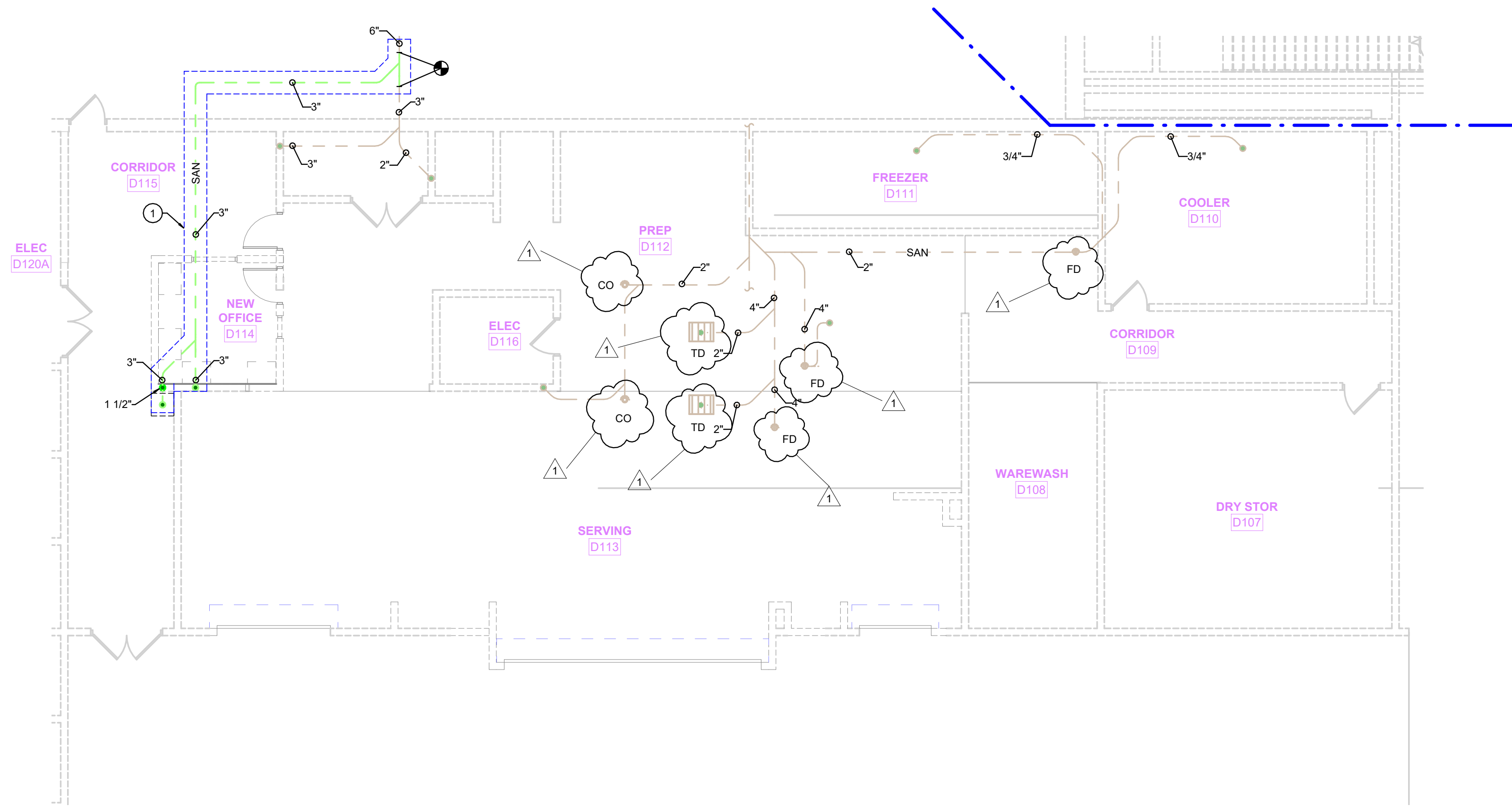


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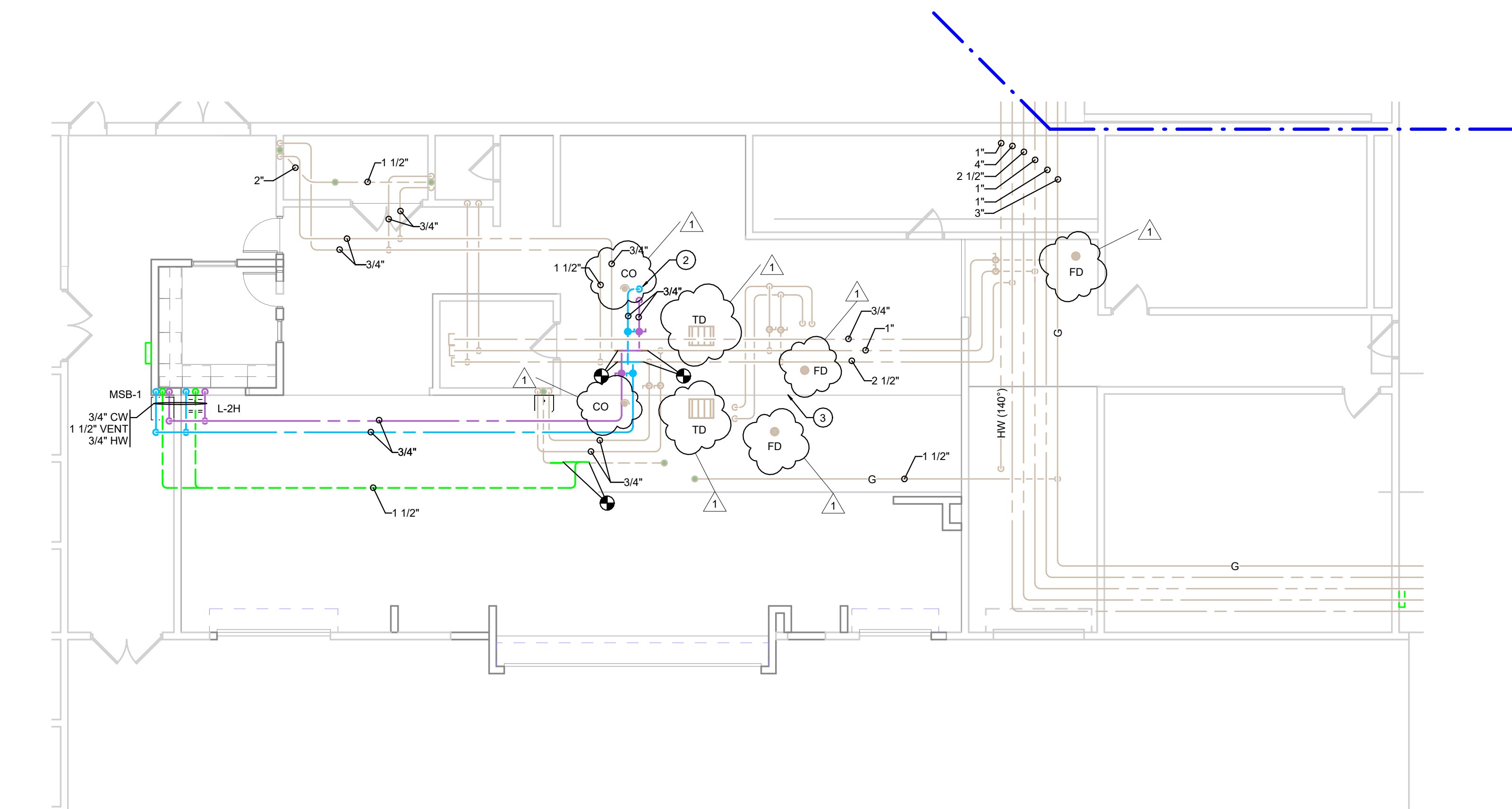




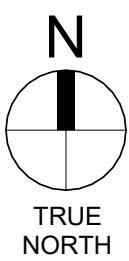
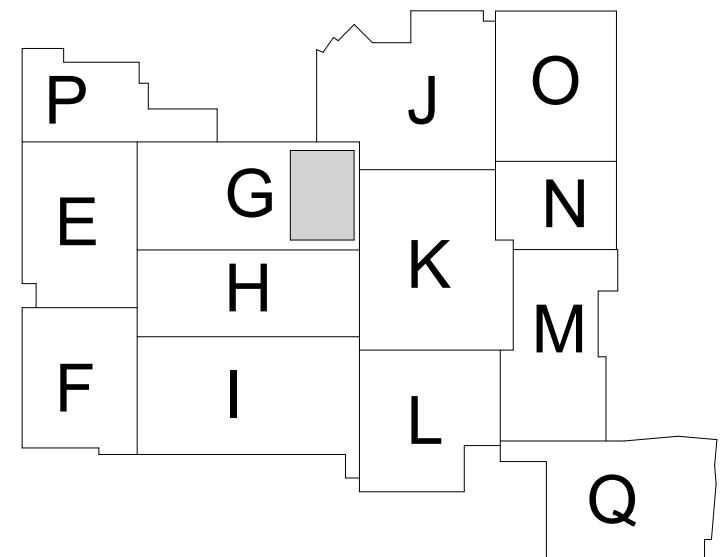
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**2** PARTIAL UNDERGROUND - PLUMBING PLAN - UNIT G  
SCALE: 1/8" = 1'-0"



**1** PARTIAL FIRST FLOOR - PLUMBING PLAN - UNIT G  
SCALE: 1/8" = 1'-0"



P101G

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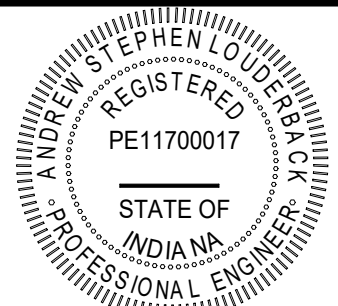
FIRST FLOOR  
PLUMBING  
PLANS - UNIT G

PROJECT: #23138  
DATE: 09/26/2024  
DRAWN BY: ASL

100% CONSTRUCTION  
DOCUMENTS

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1	10/1/24	ADDENDUM #1



SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH SCHOOL RENOVATIONS  
1 TROJAN ROAD

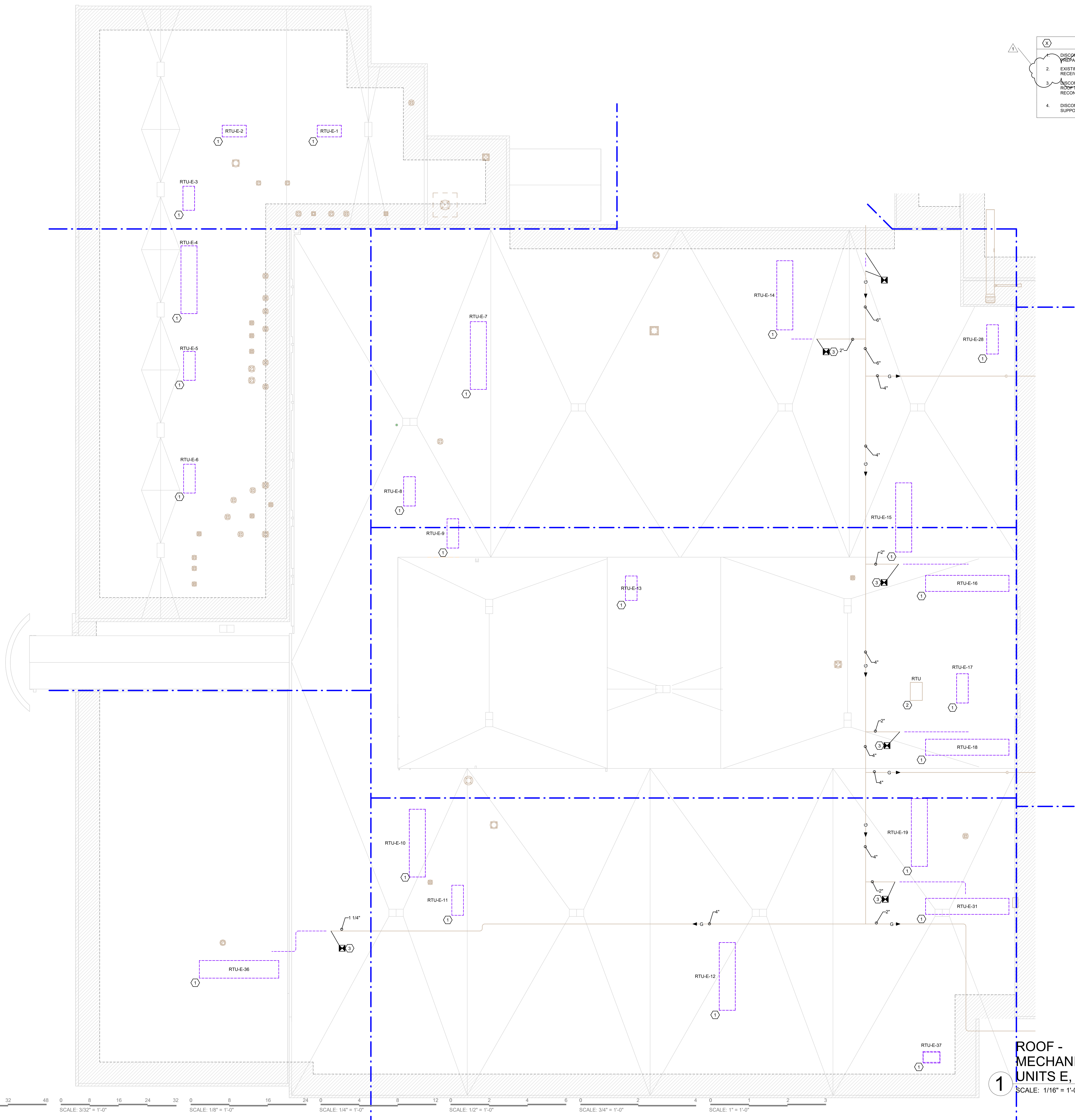


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ARCHITECTURE  
145 NORTH EAST STREET  
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- PLAN NOTES**
- SAWCUT AND REMOVE EXISTING FLOOR AS REQUIRED TO ROUTE NEW UNDERGROUND PIPING AND TIE-IN TO EXISTING. BACKFILL WITH COMPACTIBLE FILL, DOWEL INTO EXISTING SLAB, AND POUR NEW OF SAME THICKNESS.
  - ROUTE NEW PIPING DOWN CHASE TO NEW KITCHEN EQUIPMENT.
  - CONNECT NEW/RELOCATED KITCHEN EQUIPMENT TO EXISTING PIPING.





- DEMOLITION PLAN NOTES**
1. DISCONNECT AND REMOVE EXISTING ROOFTOP UNIT COMPLETE. EXISTING ROOF CURB TO REMAIN. PREPARE REMAINING ROOF CURB FOR RECONNECT WITH NEW.
  2. EXISTING ROOFTOP UNIT TO REMAIN. REMOVE EXISTING FIELD CONTROLS COMPLETE. UNIT TO RECEIVE NEW CONTROLS.
  3. DISCONNECT AND REMOVE EXISTING NATURAL GAS PIPING COMPLETE INCLUDING ASSOCIATED ROOF SUPPORTS, ISOLATION VALVE, AND PRESSURE REGULATOR. PREPARE REMAINING PIPING FOR RECONNECT WITH NEW.
  4. DISCONNECT AND REMOVE EXISTING DUCTWORK COMPLETE INCLUDING ASSOCIATED ROOF SUPPORTS. PREPARE REMAINING DUCTWORK FOR RECONNECT WITH NEW.

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1 TROJAN ROAD



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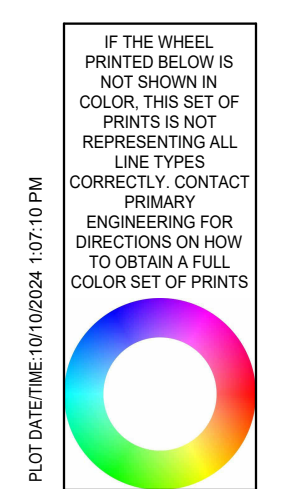
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DATE: 09/26/2024  
DRAWN BY: ASL

ROOF - MECHANICAL DEMOLITION PLAN - UNITS E, F, G, H, I, AND P

MD103A

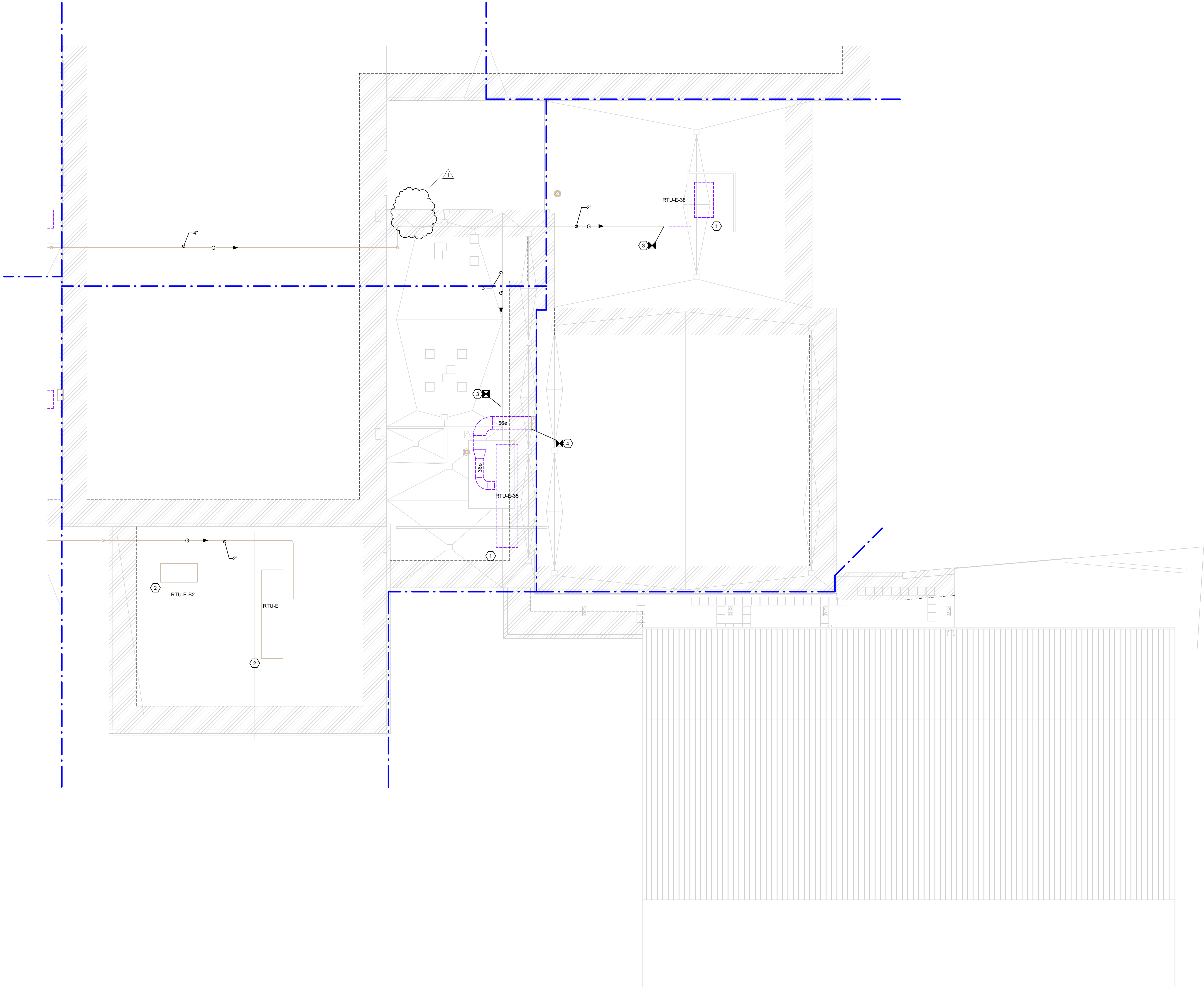
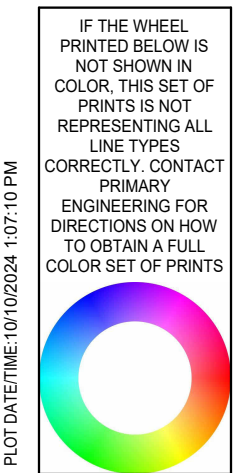
PRIMARY JOB # 24584



SCALE: 1/16" = 1'-0" SCALE: 3/32" = 1'-0" SCALE: 1/8" = 1'-0" SCALE: 1/4" = 1'-0" SCALE: 1/2" = 1'-0" SCALE: 3/4" = 1'-0" SCALE: 1" = 1'-0"

1 ROOF - MECHANICAL DEMOLITION PLAN - UNITS E, F, G, H, I, AND P  
SCALE: 1/16" = 1'-0"





- DEMOLITION PLAN NOTES**
1. DISCONNECT AND REMOVE EXISTING ROOFTOP UNIT COMPLETE. EXISTING ROOF CURB TO REMAIN. PREPARE REMAINING ROOF CURB FOR RECONNECT WITH NEW.
  2. EXISTING ROOFTOP UNIT TO REMAIN. REMOVE EXISTING FIELD CONTROLS COMPLETE. UNIT TO RECEIVE NEW CONTROLS.
  3. DISCONNECT AND REMOVE EXISTING NATURAL GAS PIPING COMPLETE INCLUDING ASSOCIATED ROOF SUPPORTS, ISOLATION VALVE, AND PRESSURE REGULATOR. PREPARE REMAINING PIPING FOR RECONNECT WITH NEW.
  4. DISCONNECT AND REMOVE EXISTING DUCTWORK COMPLETE INCLUDING ASSOCIATED ROOF SUPPORTS. PREPARE REMAINING DUCTWORK FOR RECONNECT WITH NEW.

SUNMAN-DEARBORN COMMUNITY SCHOOLS  
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1 TROJAN ROAD



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ROOF -  
MECHANICAL  
DEMOLITION  
PLAN - UNITS L,  
M, AND Q

MD103C

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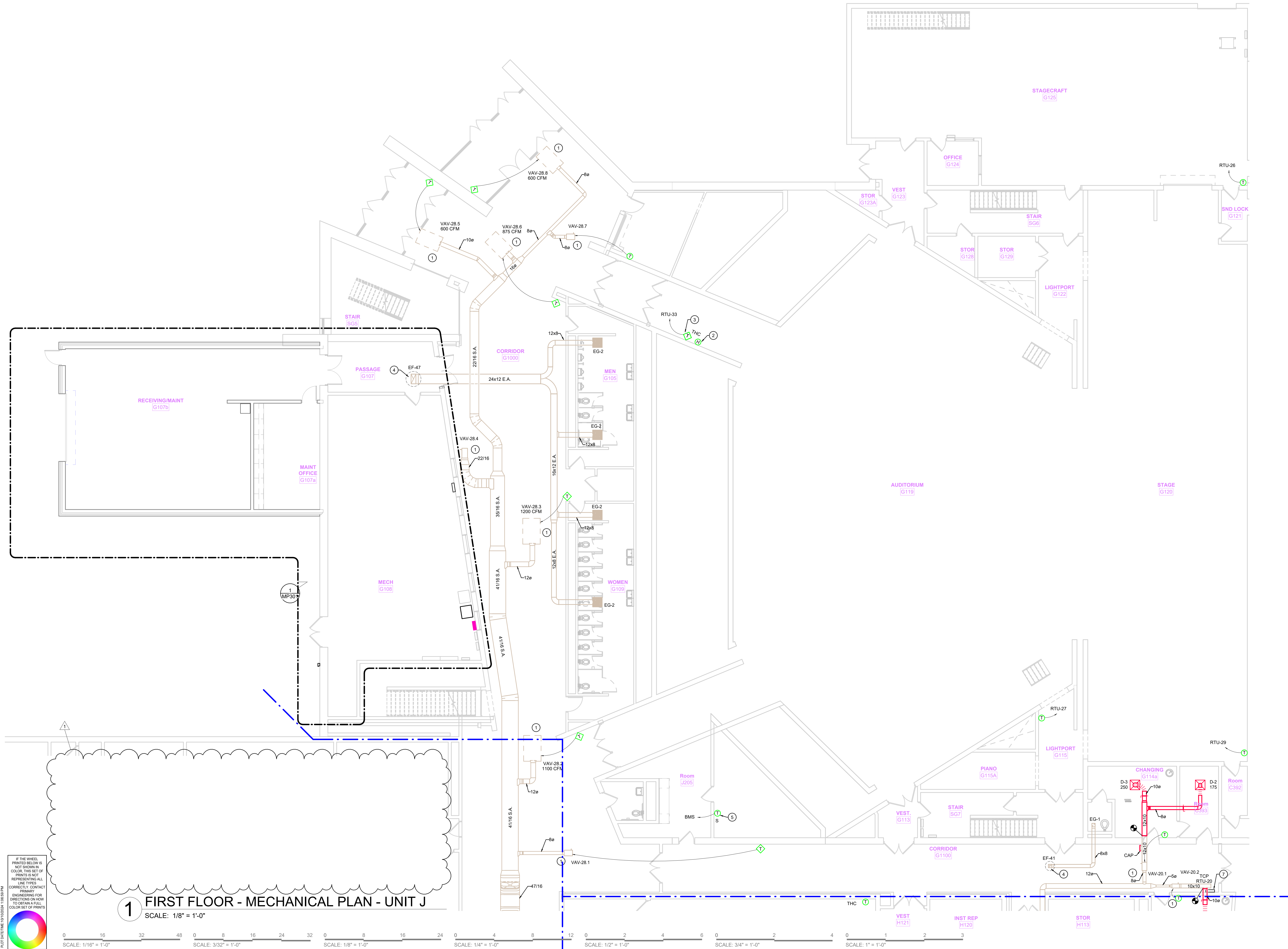
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INDIANAPOLIS, IN 46204



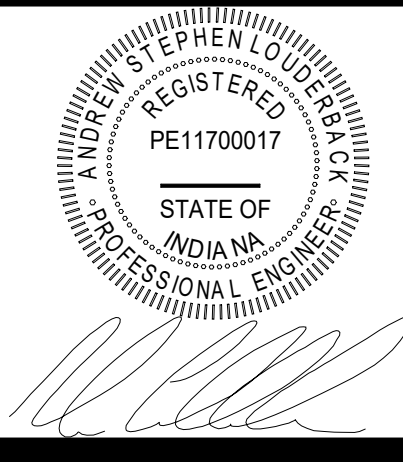






- PLAN NOTES**
1. REMOVE EXISTING VAV BOX CONTROLS INCLUDING CONTROLLER, ALL SENSORS, ALL ACTUATORS, ASSOCIATED WALL SENSOR(S) AND ALL ASSOCIATED WIRING COMPLETE. PROVIDE NEW CONTROLS SENSORS, ACTUATORS ON DAMPER/COIL WITH NEW WALL SENSOR IN SAME LOCATION. RUN NEW COMMUNICATION TRUNK WIRING. CLEAN VAV FLOW RING AND TUBING OF ALL DUST AND COMMISSION NEW CONTROLS AND VERIFY FLOW SETPOINTS WITH INDEPENDENT TAB.
  2. REMOVE EXISTING HUMIDITY SENSOR AND COVER WITH BLANK COVER PLATE.
  3. PROVIDE NEW COMBINATION SENSOR WITH TEMPERATURE, HUMIDITY, CARBON DIOXIDE. NO SET POINT CONTROL OR DISPLAY.
  4. REMOVE EXISTING AND PROVIDE NEW CONTROLS FOR EXHAUST FAN WITH FAN RELAY AND DAMPER ACTUATOR.
  5. REPLACE EXISTING WALL SENSOR AND PROVIDE NEW TEMPERATURE SENSOR IN MDF/IDF ROOM.
  6. REPLACE EXISTING WALL SENSOR AND PROVIDE NEW TEMPERATURE SENSOR FOR RTU.
  7. PROVIDE AND INSTALL NEW ROOFTOP UNIT TEMPERATURE CONTROL PANEL ABOVE EXISTING CEILING.

SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH CHOOOL RENOVATIONS  
1 TROJAN ROAD



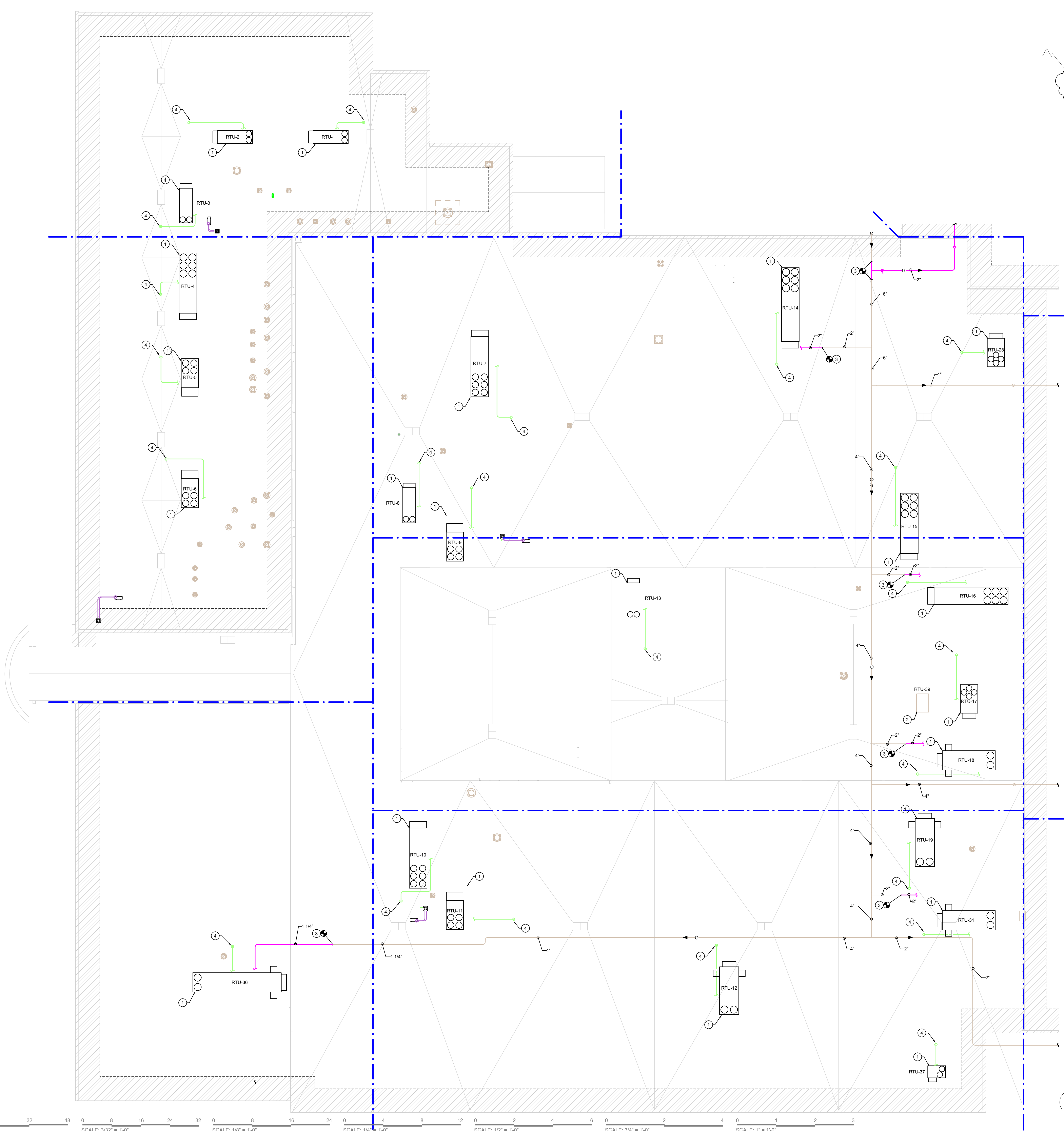
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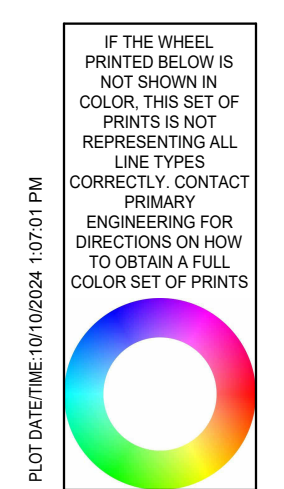
FIRST FLOOR -  
MECHANICAL  
PLAN - UNIT J



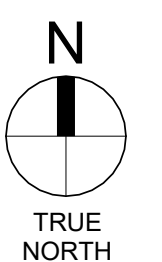
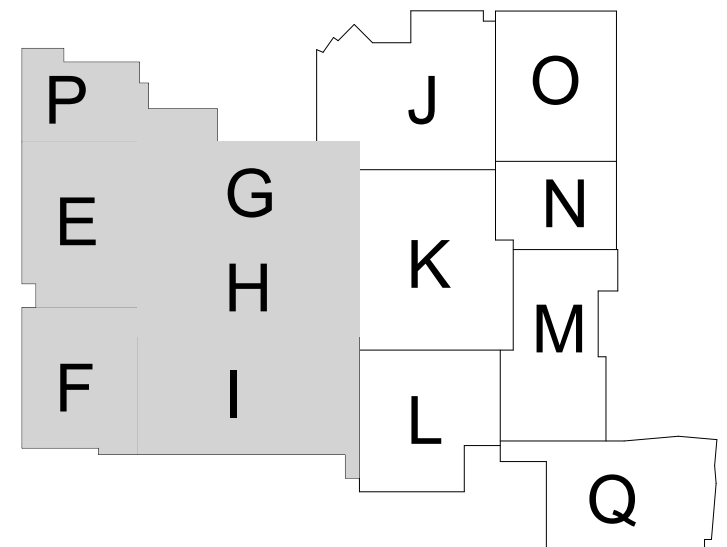


- ### PLAN NOTES
1. PROVIDE AND INSTALL NEW ROOFTOP UNIT ON EXISTING ROOF CURB. PROVIDE AND INSTALL CURB ADAPTER AS REQUIRED.
  2. EXISTING ROOFTOP UNIT TO REMAIN. PROVIDE AND INSTALL NEW CONTROLS. PROVIDE AND INSTALL NEW EQUIPMENT LABEL. UPDATE EQUIPMENT TAG ON ELECTRICAL PANEL DIRECTORY AND BMS GRAPHICS.
  3. TIE-IN TO EXISTING GAS PIPING AND EXTEND NEW TO NEW ROOFTOP UNIT. PROVIDE AND INSTALL NEW ISOLATION VALVE AND GAS PRESSURE REGULATOR.
  4. ROUTE CONDENSATE PIPING ON ROOF. EXTEND APPROXIMATELY 10' BEYOND FOOTPRINT OF ROOF CURB TOWARDS NEAREST ROOF DRAIN. CONDENSATE PIPE SIZE SHALL MATCH CONNECTION SIZE.
  5. TIE-IN TO EXISTING DUCTWORK AND EXTEND NEW TO NEW ROOFTOP UNIT.
  7. PROVIDE AND INSTALL NEW ROOFTOP UNIT ON NEW ROOF CURB.
  8. CUT/CORE EXISTING ROOF DECK AS REQUIRED TO ROUTE NEW DUCTWORK THROUGH ROOF. REFER TO ROOF PENETRATION DETAIL ON DRAWING SHEET M403 FOR MORE INFORMATION.
  9. EXPOSED EXTERIOR DUCTWORK SHALL BE INSULATED WITH 2" THICK FLEXIBLE ELASTOMERIC WITH 20 MIL ALUMINUM JACKETING.

- ### GENERAL NOTES
1. MAINTAIN MINIMUM 10'-0" CLEARANCE FROM EDGE OF ROOF TO ALL EQUIPMENT.
  2. MAINTAIN MINIMUM 10'-0" CLEARANCE FROM FORCED AIR INTAKES TO ALL PLUMBING VENTS, EXHAUST OUTLETS, AND BUILDING RELIEFS.
  3. ALL WORK SHALL MAINTAIN NEW AND EXISTING ROOF WARRANTIES.
  4. SUPPORT ALL NEW DUCTWORK AND PIPING FROM ROOF WITH B-LINE DURA-BLOK SUPPORTS. REFER TO ROOF SUPPORT MANUFACTURER FOR EQUIPMENT SUPPORT SPACING AND INSTALLATION REQUIREMENTS.



**1** ROOF - MECHANICAL PLAN - UNITS E, F, G, H, I, AND P  
SCALE: 1/16" = 1'-0"



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EAST CENTRAL HIGH SCHOOL RENOVATIONS  
1 TROJAN ROAD



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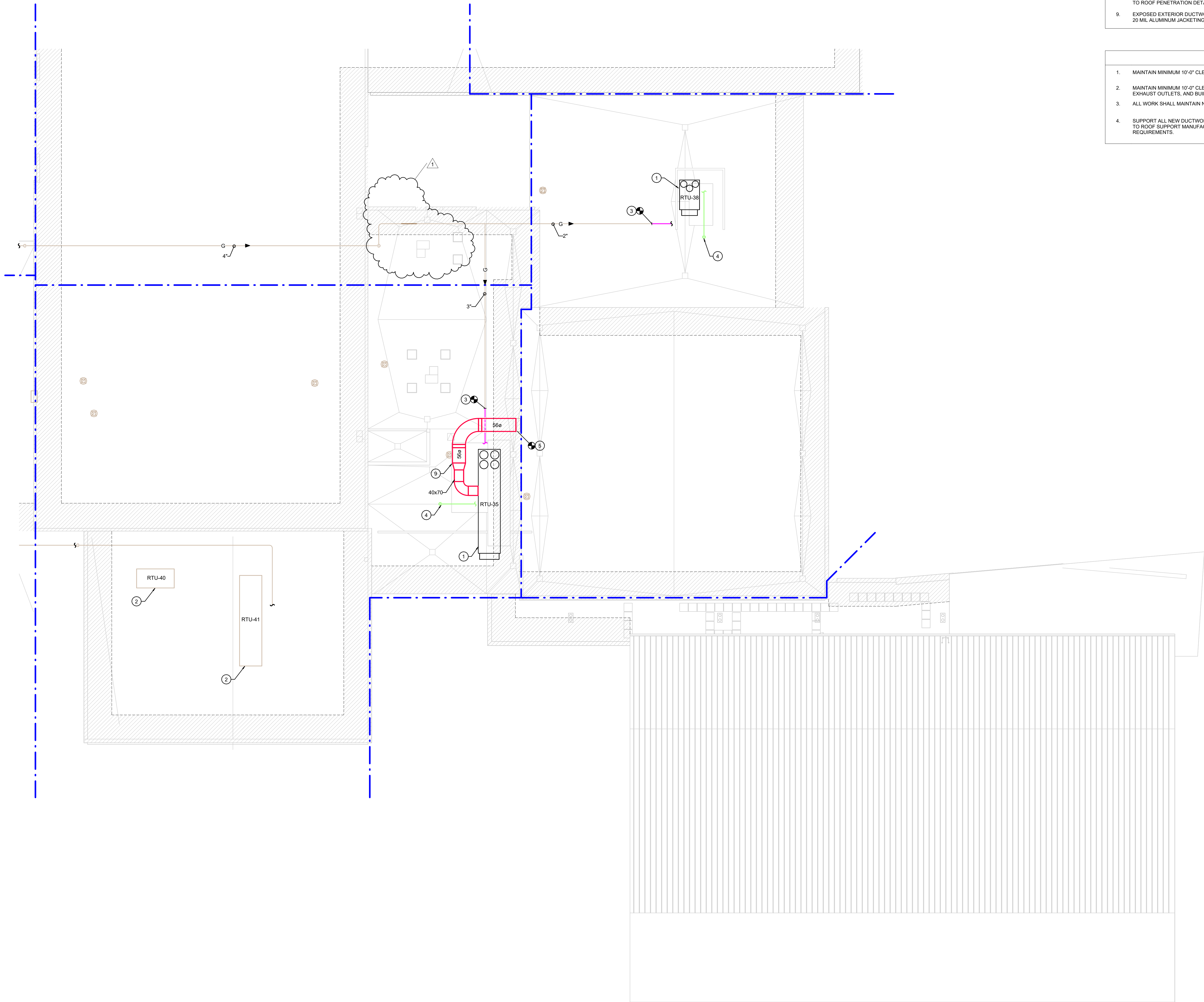
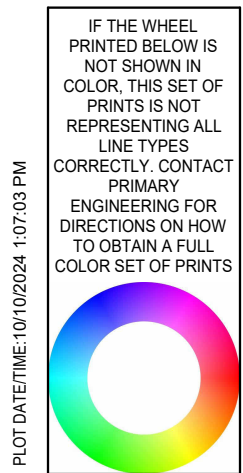
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ROOF - MECHANICAL PLAN - UNITS E, F, G, H, I, AND P

**M103A**

PRIMARY JOB # 24584



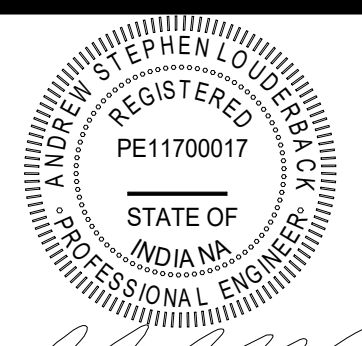


1 ROOF - MECHANICAL PLAN - UNITS L, M, Q  
SCALE: 1/16" = 1'-0"

- PLAN NOTES**
1. PROVIDE AND INSTALL NEW ROOFTOP UNIT ON EXISTING ROOF CURB. PROVIDE AND INSTALL CORB ADAPTER AS REQUIRED.
  2. EXISTING ROOFTOP UNIT TO REMAIN. PROVIDE AND INSTALL NEW CONTROLS. PROVIDE AND INSTALL NEW EQUIPMENT LABEL. UPDATE EQUIPMENT TAG ON ELECTRICAL PANEL, DIRECTORY AND BMS GRAPHICS.
  3. TIE-IN TO EXISTING GAS PIPING AND EXTEND NEW GAS PIPING TO NEW ROOFTOP UNIT. PROVIDE AND INSTALL NEW ISOLATION VALVE AND GAS PRESSURE REGULATOR.
  4. ROUTE CONDENSATE PIPING ON ROOF. EXTEND APPROXIMATELY 10' BEYOND FOOTPRINT OF ROOF CURB TOWARDS NEAREST ROOF DRAIN. CONDENSATE PIPE SIZE SHALL MATCH CONNECTION SIZE.
  5. TIE-IN TO EXISTING DUCTWORK AND EXTEND NEW TO NEW ROOFTOP UNIT.
  7. PROVIDE AND INSTALL NEW ROOFTOP UNIT ON NEW ROOF CURB. CUT/CORE EXISTING ROOF DECK AS REQUIRED.
  8. CUT/CORE EXISTING ROOF DECK AS REQUIRED TO ROUTE NEW DUCTWORK THROUGH ROOF. REFER TO ROOF PENETRATION DETAIL ON DRAWING SHEET M403 FOR MORE INFORMATION.
  9. EXPOSED EXTERIOR DUCTWORK SHALL BE INSULATED WITH 2" THICK FLEXIBLE ELASTOMERIC WITH 20 MIL ALUMINUM JACKETING.

- GENERAL NOTES**
1. MAINTAIN MINIMUM 10'-0" CLEARANCE FROM EDGE OF ROOF TO ALL EQUIPMENT.
  2. MAINTAIN MINIMUM 10'-0" CLEARANCE FROM FORCED AIR INTAKES TO ALL PLUMBING VENTS, EXHAUST OUTLETS, AND BUILDING RELIEFS.
  3. ALL WORK SHALL MAINTAIN NEW AND EXISTING ROOF WARRANTIES.
  4. SUPPORT ALL NEW DUCTWORK AND PIPING FROM ROOF WITH B-LINE DURA-BLOK SUPPORTS. REFER TO ROOF SUPPORT MANUFACTURER FOR EQUIPMENT SUPPORT SPACING AND INSTALLATION REQUIREMENTS.

SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH SCHOOL RENOVATIONS  
1 TROJAN ROAD



Andrew J. Lough  
Professional Engineer

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ROOF - MECHANICAL PLAN - UNITS L, M, AND Q

M103C  
PRIMARY JOB # 24584

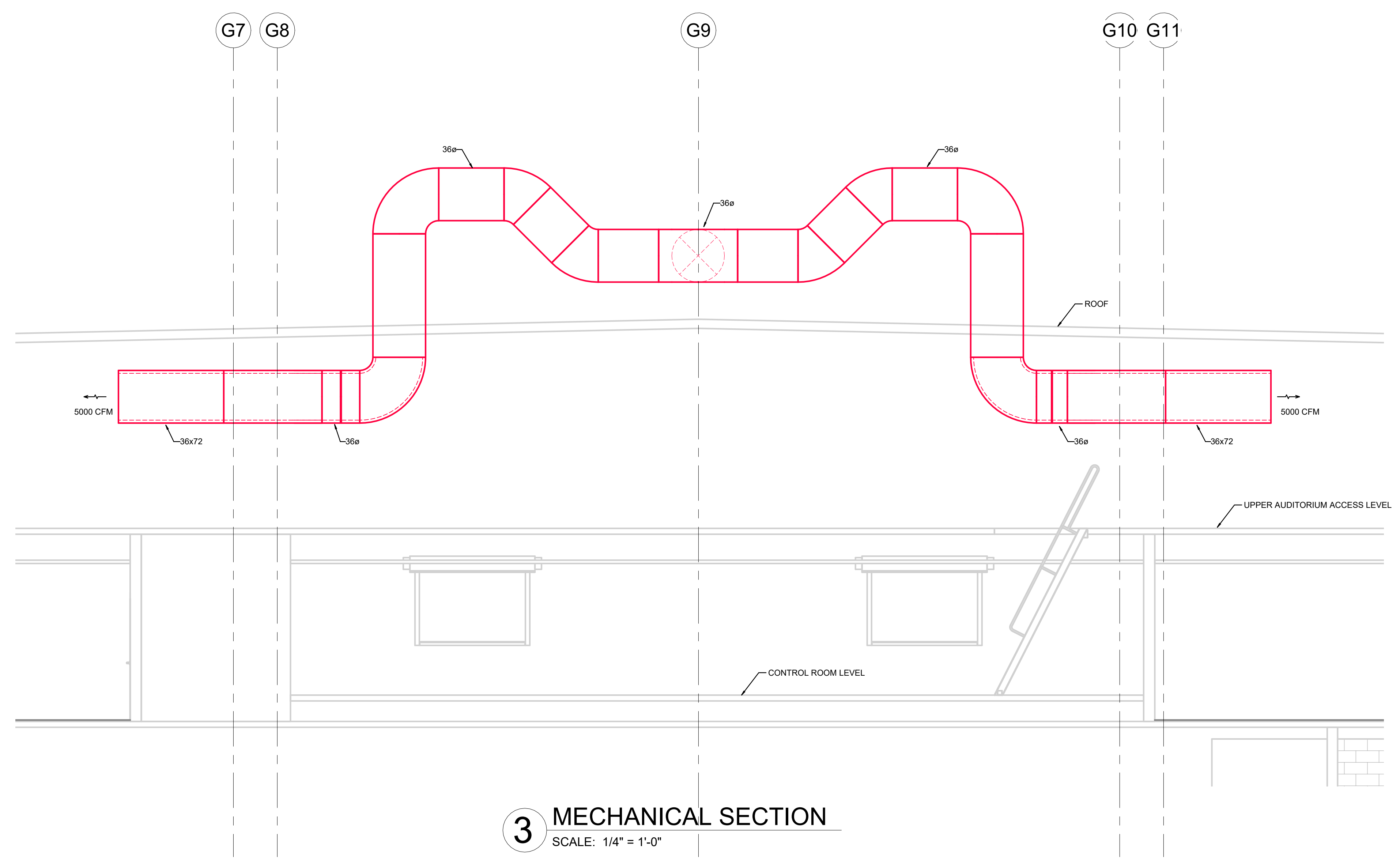
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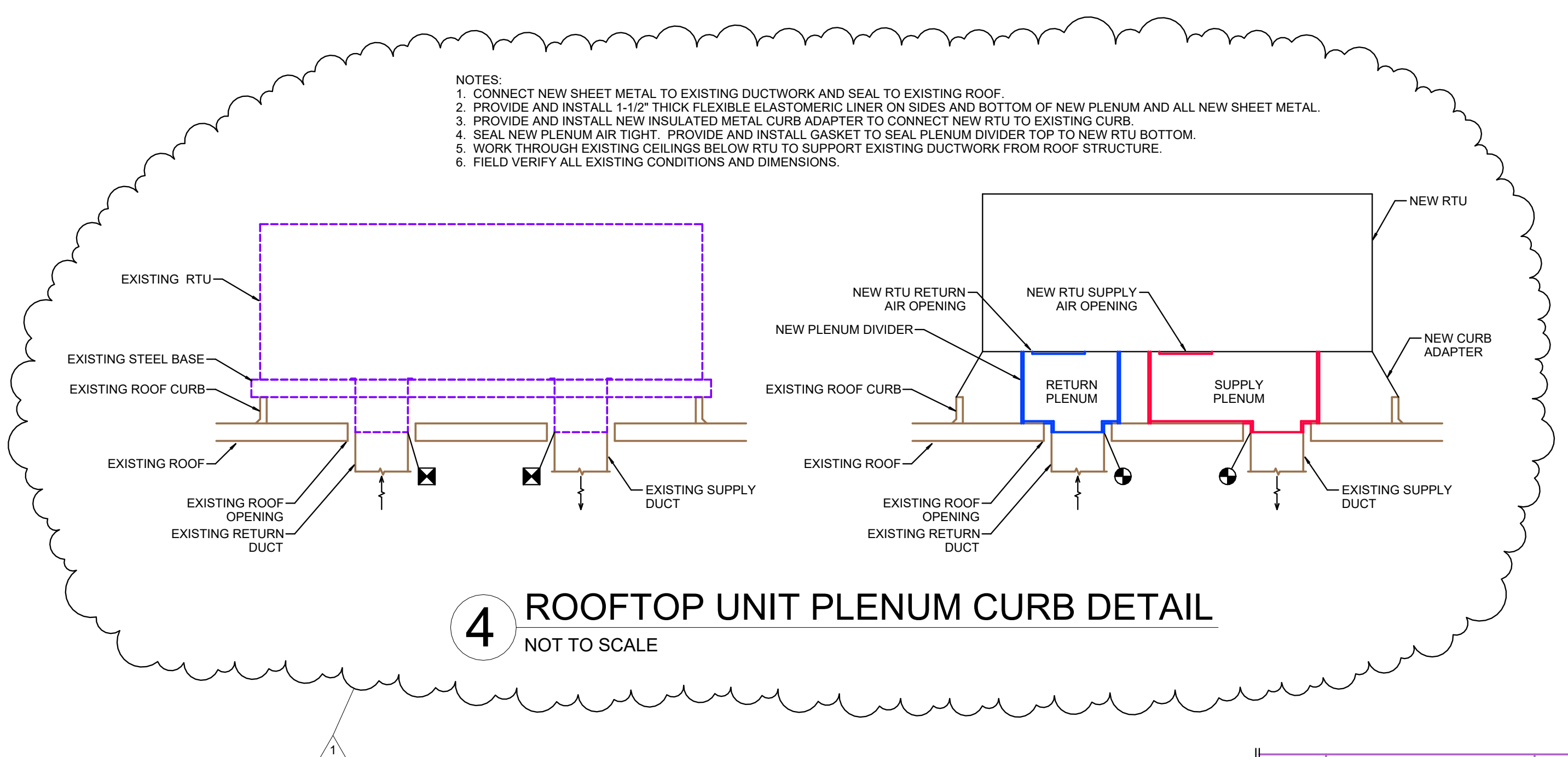
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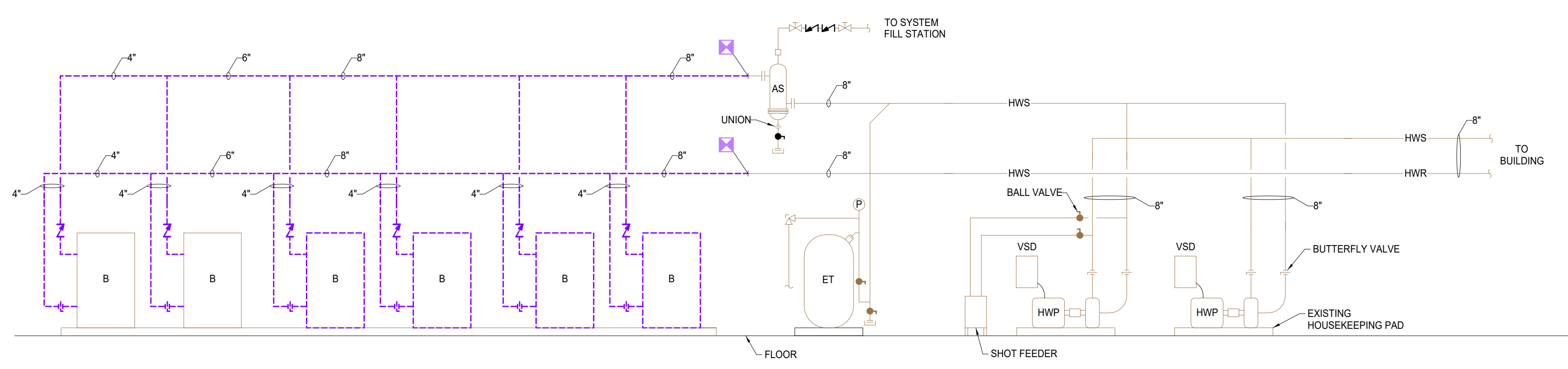




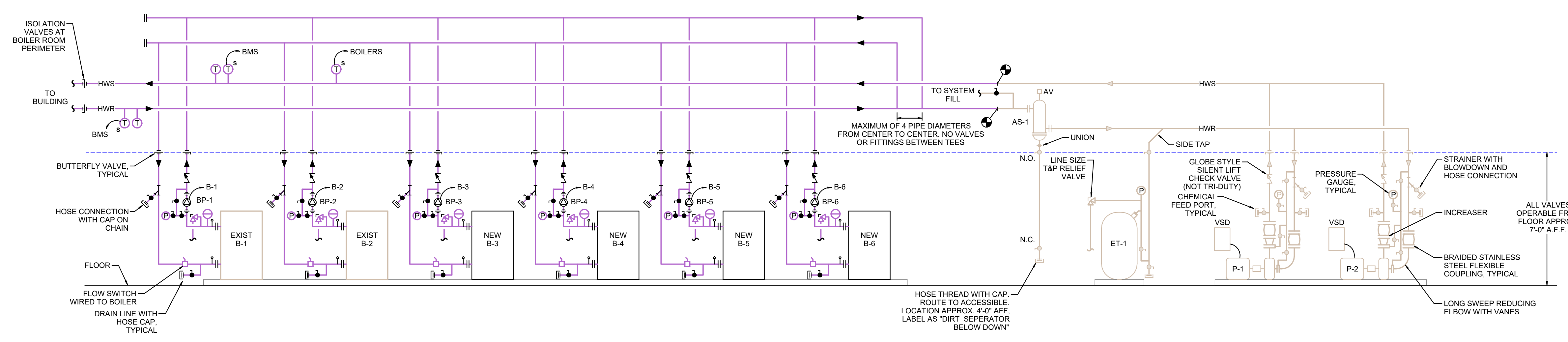
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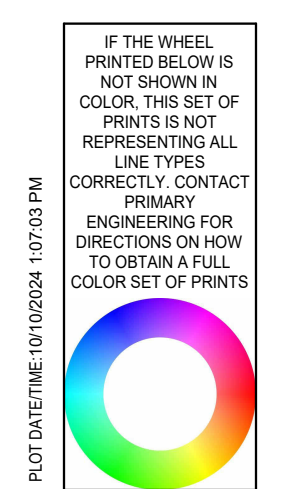
4 ROOFTOP UNIT PLENUM CURB DETAIL  
NOT TO SCALE



HOT WATER DEMOLITION FLOW DIAGRAM  
SCALE: NTS



1 HOT WATER FLOW DIAGRAM  
NOT TO SCALE



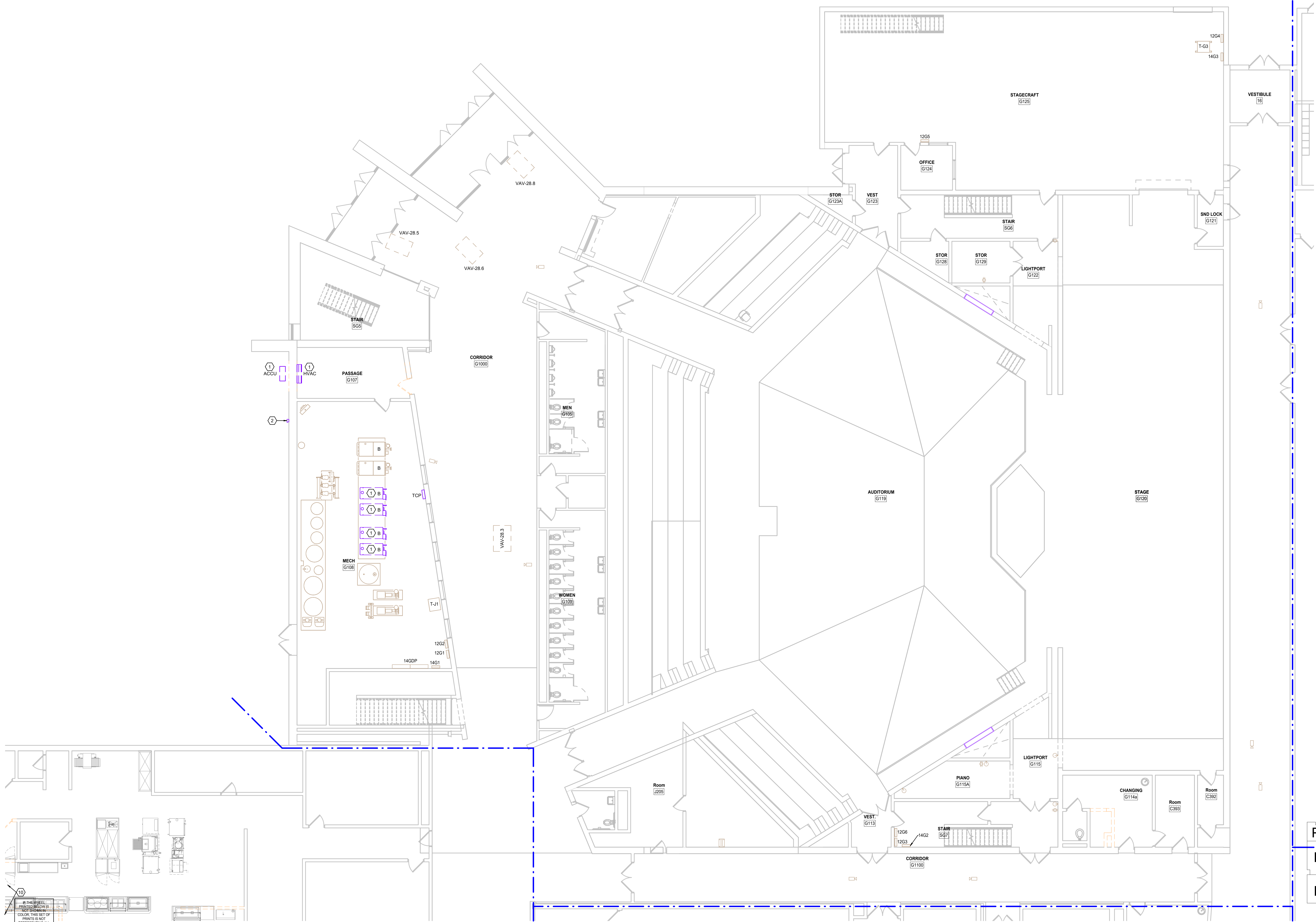






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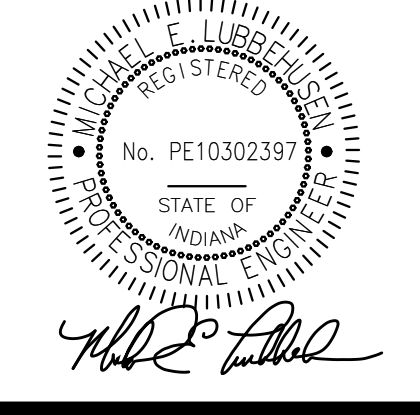
- DEMOLITION PLAN NOTES**
1. DISCONNECT MECHANICAL EQUIPMENT AND REMOVE ASSOCIATED DISCONNECT. EXISTING BRANCH CIRCUIT SHALL REMAIN AND BE UTILIZED FOR NEW MECHANICAL EQUIPMENT.
  2. DISCONNECT TRASH COMPACTOR. REMOVE DISCONNECT AND BRANCH CIRCUITRY BACK TO MECHANICAL ROOM AND JUNCTION. SALVAGE EXISTING DISCONNECT TO BE INSTALLED IN A NEW...

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**SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH CHOOOL RENOVATIONS  
1 TROJAN ROAD**



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PROJECT: #23138  
DATE: 09/23/2024  
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**ELECTRICAL DEMOLITION PLAN - FIRST FLOOR - UNIT J**

**E101J**  
PRIMARY JOB # 24584



- PLAN NOTES
1.

CONTRACTOR SHALL MAKE FINAL CONNECTION TO ILLUMINATED SIGN. COORDINATE CONNECTION REQUIREMENTS WITH SIGN INSTALLER PRIOR TO ROUGH-IN.
2.

PROVIDE AND INSTALL 20A/1P BREAKER IN PANEL DESIGNATED, ROUTE 2-#10, 1-#10G FROM SIGN TO PANEL THROUGH NEW CONTACTOR LOCATED IN ROOM A137 FOR CONTROL.

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INDIANAPOLIS, IN 46204

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Fort Wayne

Indianapolis

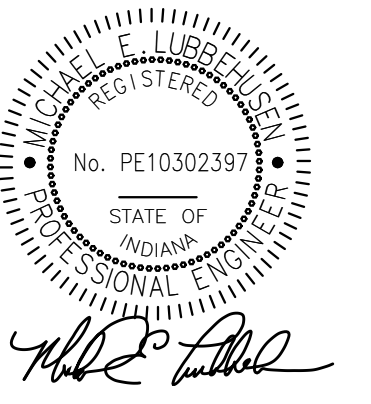
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1 TROJAN ROAD



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DATE: 09/23/2024

DRAWN BY: RHA

LIGHTING PLAN - FIRST FLOOR - UNIT P

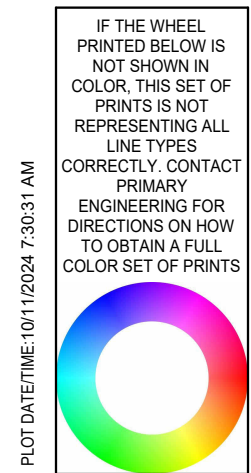
E301P

PRIMARY JOB # 24584



1 LIGHTING PLAN - FIRST FLOOR - UNIT P

SCALE: 1/8" = 1'-0"







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SCALE: 1/16" = 1'-0"

0 8 16 24 32  
SCALE: 3/32" = 1'-0"

0 8 16 24  
SCALE: 1/8" = 1'-0"

0 4 8 12  
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0 2 4  
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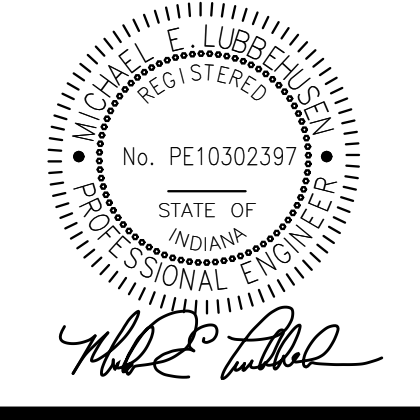
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ARCHITECTURE

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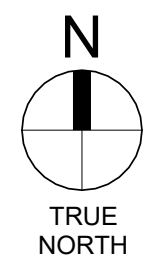
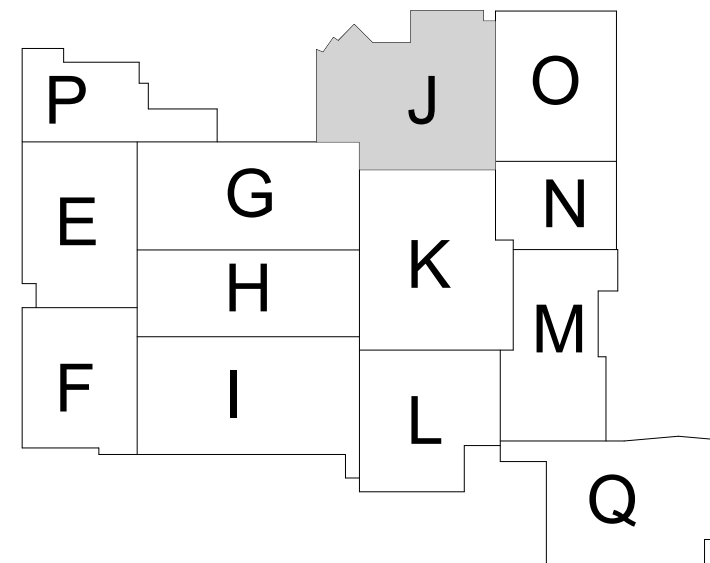
**100% CONSTRUCTION  
DOCUMENTS**

PROJECT: #23138
DATE: 09/23/2024
DRAWN BY: RHA

**SYSTEMS PLAN  
- SECOND  
FLOOR - UNIT J**

E402J

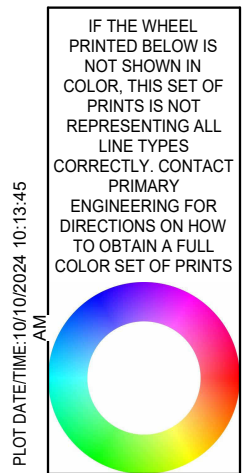
PRIMARY JOB # 24584









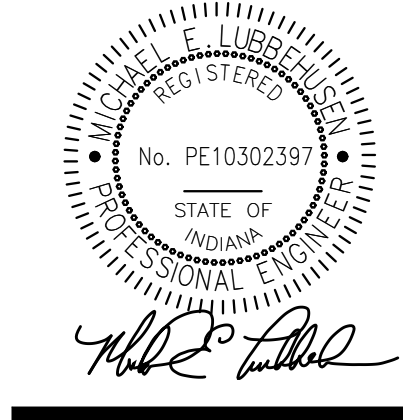


LIGHTING SENSOR SCHEDULE					
TAG	MANUFACTURER'S CATALOG NUMBER	INPUT VOLTAGE	MOUNT	REMARKS	REMARKS
O1	WATTSTOPPER #DT-300 SENSOR SWITCH #CMA-PDT-9-R GREENGATE #COC-DT-R HUBBELL #CMNI-DT-XXXX-RP	24V	CEILING	DUAL TECHNOLOGY CEILING SENSOR WITH A COMBINATION OF ULTRASONIC AND PASSIVE INFRARED. SENSOR TO BE EQUIPPED WITH SELF-ADJUSTING TECHNOLOGY AND ISOLATED RELAY OUTPUTS. SENSOR SHALL OPERATE AS AUTOMATIC 'ON' AND AUTOMATIC 'OFF' WITH A 15 MINUTE TIME DELAY.	1
O2	WATTSTOPPER #DW-100 SENSOR SWITCH #WSD-PDT GREENGATE #QNW-D-1001-MV HUBBELL #LH-MF-S-1 LITTRON #MS-B100	120/277V	WALL	DUAL TECHNOLOGY WALL SWITCH SENSOR WITH A COMBINATION OF ULTRASONIC AND PASSIVE INFRARED. SENSOR TO BE EQUIPPED WITH SELF-ADJUSTING TECHNOLOGY. SENSOR SHALL OPERATE AS AUTOMATIC 'ON' AND AUTOMATIC 'OFF' WITH A 15 MINUTE TIME DELAY. COLOR TO BE SELECTED BY ARCHITECT.	
PP	WATTSTOPPER #BZ150 SENSOR SWITCH #PP20 GREENGATE #SP20-MV HUBBELL	120/277V	4 SQUARE BOX ABOVE ACCESSIBLE CEILING	POWER PACK TO OPERATE LOW VOLTAGE (24VDC) OCCUPANCY SENSORS. RELAY TO BE 20A RATED.	
REMARKS: 1. PROVIDE POWER PACKS AS REQUIRED TO OPERATE LIGHTING AS SHOWN ON FLOOR PLANS 2. 120/277V SENSOR IN LIEU OF POWER PACK IS ACCEPTABLE. GENERAL NOTES: 1. CEILING MOUNTED OCCUPANCY SENSORS SHALL BE INSTALLED 6'-0" AWAY FROM ANY SUPPLY DIFFUSERS, COORDINATE WITH MECHANICAL CONTRACTOR					

LIGHT FIXTURE SCHEDULE									
TAG	MANUFACTURER'S CATALOG NUMBER	MAX. WATTS	MOUNT	MIN. LUMEN OUTPUT (FOI)	CCT	CRI	DESCRIPTION	REMARKS	
DL1	PORTFOLIO #LDC30D010-EUKC30409040-4LBM1H PRESOLITE #LF6MLDM1-4LML4K0KSS GOTHAM #EVO-40-30-6AR-MD-LD-MVOLT-G21	37	RECESSED	3,000	4000	90	120-277V, 6" DIAMETER DOWNLIGHT WITH MEDIUM DISTRIBUTION AND SELF-FLANGED SEMI-SPECULAR CLEAR REFLECTOR. ELECTRONIC 0-10V DIMMING DRIVER WITH RANGE FROM 100% TO 1% UL LISTED		
SAME AS DL1 EXCEPT WITH EMERGENCY BATTERY INVERTER									
DL1A	ALS #LPTW-4-WH-LD NEW STAR #AGG-G-24-OP-UN-TWO-CW56WATTS LITHONIA #CPXTW-2X4-TUWH-RHYR-600LM-80CRI-SWL-MVOLT-NLT	56	RECESSED	4750-5250	2700K-4000K	80	120-277V, 2X4' COLOR TUNNING FLAT PANEL. ELECTRONIC 0-10V DIMMING DRIVER WITH RANGE FROM 100% TO 10% UL LISTED		
SAME AS L1 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L1	METALUX #24FPLS25CT3-LOW COLUMBIA #CFP24-LSCS LITHONIA #CPX-2X4-AL08-80CRI-SWW7-SWL-MVOLT	27	RECESSED	3,150	4000	80	120-277V, 2X4' LED FLAT PANEL WITH SELECTABLE LUMENS AND COLOR TEMPERATURE. 0-10V ELECTRONIC DIMMING TO 10% UL LISTED. COLOR TEMPERATURE AND LUMEN OUTPUT TO BE SET AT FACTORY AS INDICATED.		
SAME AS L2 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L2	METALUX #24FPLS25CT3-MID COLUMBIA #CFP24-LSCS LITHONIA #CPX-2X4-AL08-80CRI-SWW7-SWL-MVOLT	40	RECESSED	4,291	4000	80	120-277V, 2X4' LED FLAT PANEL WITH SELECTABLE LUMENS AND COLOR TEMPERATURE. 0-10V ELECTRONIC DIMMING TO 10% UL LISTED. COLOR TEMPERATURE AND LUMEN OUTPUT TO BE SET AT FACTORY AS INDICATED.		
SAME AS L3 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L3	METALUX #24FPLS25CT3-HIGH COLUMBIA #CFP24-LSCS LITHONIA #CPX-2X2-AL07-80CRI-SWW7-SWL	56	RECESSED	6,011	4000	80	120-277V, 2X4' LED FLAT PANEL WITH SELECTABLE LUMENS AND COLOR TEMPERATURE. 0-10V ELECTRONIC DIMMING TO 10% UL LISTED. COLOR TEMPERATURE AND LUMEN OUTPUT TO BE SET AT FACTORY AS INDICATED.		
SAME AS L4 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L4	LUMENWERX #VIA4R-HLO-FH-SW-80-1500-40-8FT LITECONTROL #4L-LG-D-8-8-SOF-C1-40K-D150-D01-1C-UNV-W1 MARK LIGHTING #SL4L-LOP-8FT-FLP-XX-80CRI-40K-1500LMF-MIN1-120-ZT	120	RECESSED	12,000	4000	80	120V - 277V, 4'x 8'-0", RECESSED LINEAR FIXTURE WITH FLUSH LENS, WHITE FINISH, 0-10V DIMMING DRIVER, DIMMABLE TO 1%, ELECTRONIC DRIVER WITH <20% THD. UL LISTED. CONTROL WIRING REQUIRED FOR OPERATION OF 0-10V DIMMING.		
SAME AS L5-8 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L5-8	LUMENWERX #VIA4R-HLO-FH-SW-80-1500-40-10FT LITECONTROL #4L-LG-D-10-2-SOF-C1-40K-D150-D01-1C-UNV-W1 MARK LIGHTING #SL4L-LOP-10FT-FLP-XX-80CRI-40K-1500LMF-MIN1-120-ZT	150	RECESSED	15,000	4000	80	120V - 277V, 4'x 10'-0", RECESSED LINEAR FIXTURE WITH FLUSH LENS, WHITE FINISH, 0-10V DIMMING DRIVER, DIMMABLE TO 1%, ELECTRONIC DRIVER WITH <20% THD. UL LISTED. CONTROL WIRING REQUIRED FOR OPERATION OF 0-10V DIMMING.		
SAME AS L5-10 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L5-10	LUMENWERX #VIA4R-HLO-FH-SW-80-1500-40-12FT LITECONTROL #4L-LG-D-12-4-SOF-C1-40K-D150-D01-1C-UNV-W1 MARK LIGHTING #SL4L-LOP-12FT-FLP-XX-80CRI-40K-1500LMF-MIN1-120-ZT	180	RECESSED	18,000	4000	80	120V - 277V, 4'x 12'-0", RECESSED LINEAR FIXTURE WITH FLUSH LENS, WHITE FINISH, 0-10V DIMMING DRIVER, DIMMABLE TO 1%, ELECTRONIC DRIVER WITH <20% THD. UL LISTED. CONTROL WIRING REQUIRED FOR OPERATION OF 0-10V DIMMING.		
SAME AS L5-12 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L5-12	LUMENWERX #VIA4R-HLO-FH-SW-80-1500-40-16FT LITECONTROL #4L-LG-D-16-4-SOF-C1-40K-D150-D01-1C-UNV-W1 MARK LIGHTING #SL4L-LOP-16FT-FLP-XX-80CRI-40K-1500LMF-MIN1-120-ZT	240	RECESSED	18,000	4000	80	120V - 277V, 4'x 16'-0", RECESSED LINEAR FIXTURE WITH FLUSH LENS, WHITE FINISH, 0-10V DIMMING DRIVER, DIMMABLE TO 1%, ELECTRONIC DRIVER WITH <20% THD. UL LISTED. CONTROL WIRING REQUIRED FOR OPERATION OF 0-10V DIMMING.		
SAME AS L5-16 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L5-16	METALUX #22FP24240C COLUMBIA #CFP22-LSCS LITHONIA #CPX-2X2-AL07-80CRI-SWW7-SWL	38	RECESSED	4,381	4000	80	120-277V, 2X2' RECESSED LED PANEL. ELECTRONIC 0-10V DIMMING DRIVER WITH RANGE FROM 100% TO 10% UL LISTED.		
SAME AS L8 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L8	LUMENWERX #VIA4W-DI-ARO2-AR02-H-CLO-SW-80CRI-1200LMF-1200LMF-40K-8FT-277-D1-2C-DMB-CF LITECONTROL MARK LIGHTING	196	WALL	9,800 /9,800	4000	80	120V - 277V, 4'x 8'-0", WALL MOUNTED DIRECT/INDIRECT LINEAR FIXTURE WITH ASYMMETRIC OPTIC DIRECT AND INDIRECT, WHITE FINISH, 0-10V DIMMING DRIVER, DIMMABLE TO 1%, ELECTRONIC DRIVER WITH <20% THD. UL LISTED. CONTROL WIRING REQUIRED FOR OPERATION OF 0-10V DIMMING.		
SAME AS L9 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L8A	METALUX #8SNLED-LD5-106SL-LN-UNV-L840-CD1 LITHONIA #TZLZD-L8-SMR-1000LMF-ST-MVOLT-40K-80CRI-WH COLUMBIA #CSL8-LSCS	82	SUSPENDED	10,000	4000	80	120-277V, 8' LINEAR STRIP FIXTURE WITH FROSTED LENS AND COLD ROLLED STEEL HOUSING. ELECTRONIC 0-10V DIMMING DRIVER WITH RANGE FROM 100% TO 10% UL LISTED		
SAME AS L10 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L10	METALUX #4VT3-SL3C3-W-UNV-L840-CD1 COLUMBIA LITHONIA	50	SUSPENDED	6,400	4000	80	120-277V, 4' LED VAPOR TIGHT STRIP LIGHT, FULLY GASKETED, FIBERGLASS HOUSING AND LENS. UL WET LOCATION LISTED.		
SAME AS L11 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L11	LUMENWERX #VIA4W-DI-ARO2-H-CLO-SW-80CRI-1200LMF-1200LMF-40K-4FT-277-D1-2C-DMB-CF LITECONTROL MARK LIGHTING	98	WALL	4,800 /4,800	4000	80	120V - 277V, 4'x 4'-0", WALL MOUNTED DIRECT/INDIRECT LINEAR FIXTURE WITH ASYMMETRIC OPTIC DIRECT AND INDIRECT, WHITE FINISH, 0-10V DIMMING DRIVER, DIMMABLE TO 1%, ELECTRONIC DRIVER WITH <20% THD. UL LISTED. CONTROL WIRING REQUIRED FOR OPERATION OF 0-10V DIMMING.		
SAME AS L12 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L12	METALUX #14FPLS19CT3 COLUMBIA LITHONIA #CPANL-1X4-AL01-SWW7-M4	22	RECESSED	2,070	4000	80	120-277V, 1X4' LED FLAT PANEL WITH SELECTABLE LUMENS AND COLOR TEMPERATURE. 0-10V ELECTRONIC DIMMING TO 10% UL LISTED. COLOR TEMPERATURE AND LUMEN OUTPUT TO BE SET AT FACTORY AS INDICATED.		
SAME AS L13 EXCEPT WITH EMERGENCY BATTERY INVERTER									
L13	MCGRAW EDISON #ISS-SA1-A-740-U-T4W BEACON #OSP1-24L-2S-4K7-4-UNV LITHONIA #WSD-LED-P2-40K-SR4-XX	29	WALL	2,780	4000	70	120-277V, SMALL QUARTER SPHERE DIE CAST ALUMINUM. ELECTRONIC DRIVER. UL LISTED. COLOR BY ARCHITECT. MOUNT FIXTURE AT 10'-0" A.F.G. UNLESS OTHERWISE NOTED.		
SAME AS BL1 EXCEPT WITH EMERGENCY BATTERY INVERTER									
BL1	LUMENWERX #VIA4PD-FH-SW-80-1200-40-12FT LITECONTROL #4L-P-D-12-6-SOF-C1-40K-D120-D01-1C-UNV-W1-FA1 MARK LIGHTING #S4PD-LP-12FT-MSL8-80CRI-40K-1200LMF-SCT-MIN1-FLL-MVOLT-WHTT-ZT	132	PENDANT	14,400	4000	80	120V - 277V, 4'x 12'-0", DIRECT LINEAR FIXTURE WITH FLUSH LENS, WHITE FINISH, 0-10V DIMMING DRIVER, DIMMABLE TO 1%, ELECTRONIC DRIVER WITH <20% THD. UL LISTED. CONTROL WIRING REQUIRED FOR OPERATION OF 0-10V DIMMING. PROVIDE WITH 2 CIRCUITS.		
BL1A	LUMENWERX #VIA4PD-FH-SW-80-1200-40-16FT LITECONTROL #4L-P-D-16-6-SOF-C1-40K-D120-D01-1C-UNV-W1-FA1 MARK LIGHTING #S4PD-LP-16FT-MSL8-80CRI-40K-1200LMF-SCT-MIN1-FLL-MVOLT-WHTT-ZT	172	PENDANT	19,200	4000	80	120V - 277V, 4'x 12'-0", DIRECT LINEAR FIXTURE WITH FLUSH LENS, WHITE FINISH, 0-10V DIMMING DRIVER, DIMMABLE TO 1%, ELECTRONIC DRIVER WITH <20% THD. UL LISTED. CONTROL WIRING REQUIRED FOR OPERATION OF 0-10V DIMMING. PROVIDE WITH 2 CIRCUITS.		
PD1-12	LUMARK #PRV-X-C75-740-D-UNV-T4-MA-XX-HSS LITHONIA EXO	176	POLE	26,068	4000	70	120-277V, TYPE IV DISTRIBUTION WITH HOUSE SIDE SHIELD AND STRAIGHT SQUARE STEEL AT 30'-0" IN LENGTH. COLOR TO BE SELECTED BY ARCHITECT.		
SAME AS SL2 EXCEPT WITH EMERGENCY BATTERY INVERTER									
SL2	STERNBERG #PT-ML780-32L-40-TS-MDL104-CA-XX US ARCHITECTURAL LIGHTING #RZR-PTY-LED-V-SQ-W-40LED-1050MA-277-RAL-XXXX	134	PENDANT	1,362	4000	70	277V, SQUARE POST-TOP MOUNT FIXTURE WITH STAINLESS STEEL HARDWARE. TOOLLESS ACCESS. ELECTRONIC DRIVER, UL LISTED. MOUNTED ON 12'-0" SQUARE POLE.		
SURE-LITE-WLR-1-60									
EX1	LITHONIA #LOM-S-W-3-R-120/277-EL-N-SD DUAL LITE #EVE-U-R-W-E-I		UNIVERSAL	0	-	-	120-277V, WHITE POLYCARBONATE SELF-POWERED EXIT SIGN WITH RED LED LENSES AND NICKEL CADMIUM BATTERY. EXIT SIGN SHALL HAVE SELF DIAGNOSTIC UL LISTED		
EX2	LIFE SAFETY LIGHTING #LSWLEZTEU-R-G-EM-CW-SDT BEGHELLI #PXA-R-SA-AT LITHONIA #WLTE-GY-1-R-EL-SD	4	WALL	0	-	-	120-277C, POLYCARBONATE HOUSING WITH UV-STABILIZED POLYCARBONATE MOUNTING CANOPY WITH CLEAR LENSE. UL LISTED FOR WET LOCATIONS.		
GENERAL REMARKS: 1. CONTRACTOR SHALL REFER TO DRAWINGS FOR LOCATIONS THAT REQUIRE DRYWALL FRAMES FOR RECESSED FIXTURES.									

SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL HIGH CHOOOL RENOVATIONS

1 TROJAN ROAD



REVISIONS:	DESIGN:
#	DATE
1	10/17/24

100% CONSTRUCTION DOCUMENTS
PROJECT: #23138
DATE: 08/23/2024
DRAWN BY: RHA

SCHEDULES

E702

PRIMARY JOB # 24584

LANCER ASSOCIATES ARCHITECTURE

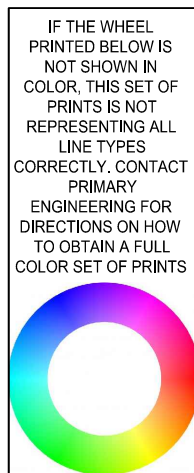
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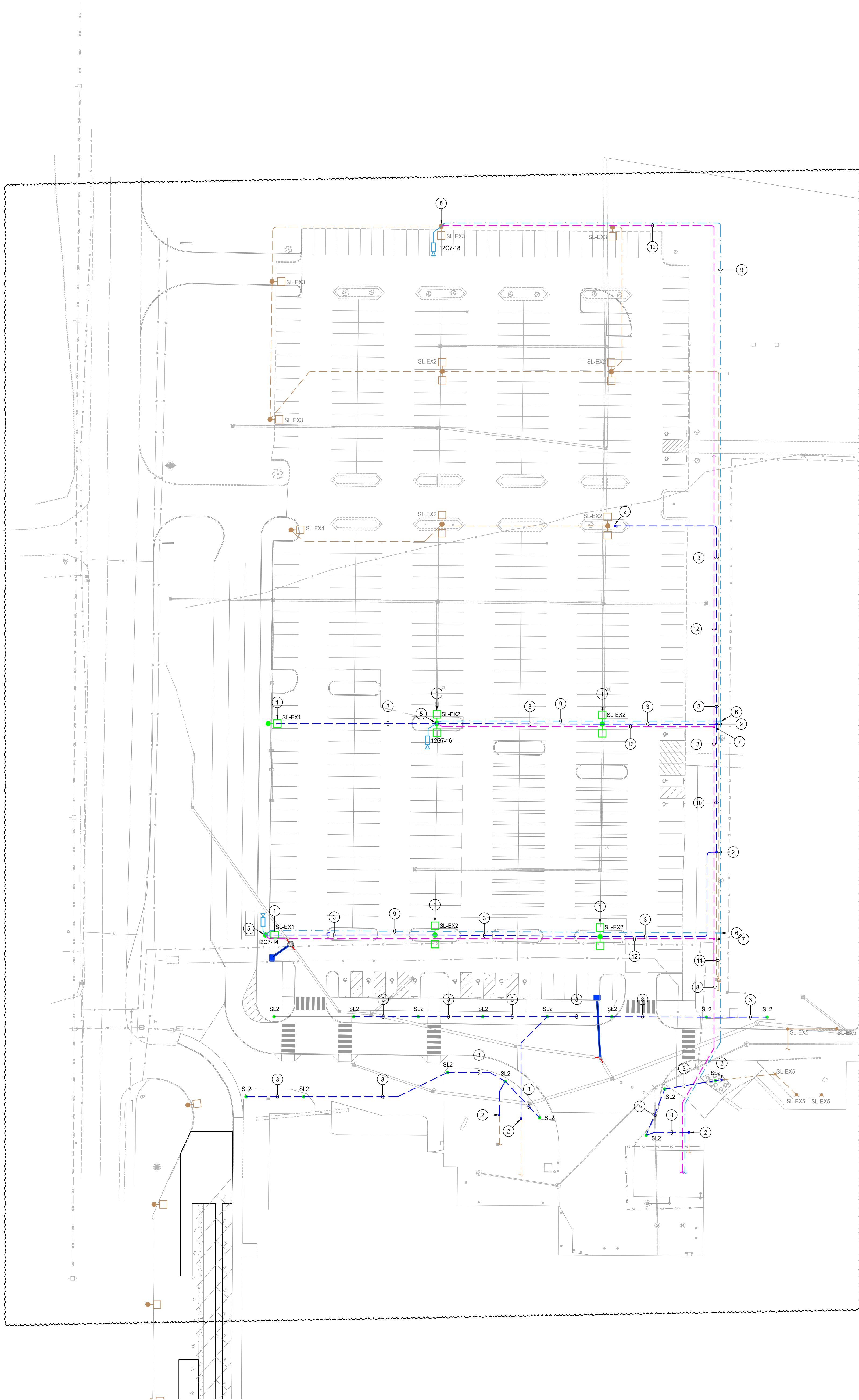


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0 10' 20' 30' 0 20' 40' 60' 0 30' 60' 90' 0 40' 80' 120' 0 50' 100' 150' 0 60' 120' 180' 0 70' 140' 210'

SCALE: 1" = 10'-0" SCALE: 1" = 20'-0" SCALE: 1" = 30'-0" SCALE: 1" = 40'-0" SCALE: 1" = 50'-0" SCALE: 1" = 60'-0" SCALE: 1" = 70'-0"

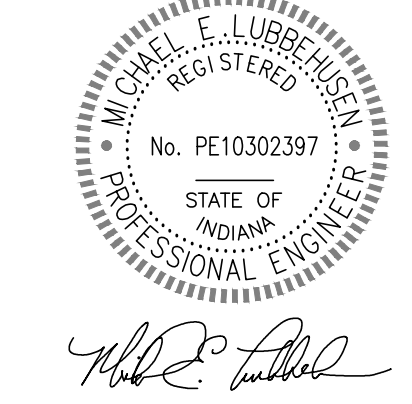


1 ELECTRICAL SITE PLAN - HIGH SCHOOL PARKING  
SCALE: 1" = 40'-0"

## PLAN NOTES

1. INSTALL SALVAGED POLE AND FIXTURE HEAD ON NEW CONCRETE POLE BASE.
2. PROVIDE AND INSTALL 12"x12" IN-GROUND PULL BOX WITH OPEN BOTTOM TO SERVE SITE LIGHTING CIRCUIT(S). EQUAL TO PG SERIES. LD SHALL BE MARKED "LIGHTING." CONTRACTOR SHALL BUTT SPLICE AND HEAT SHRINK WRAP NEW CONDUCTORS TO EXISTING TO REMAIN BRANCH CIRCUIT.
3. PROVIDE AND INSTALL 2-#6 1-#6G IN 1" RNC AT -24" BELOW GRADE TO SERVE SITE FIXTURE(S). CONNECT TO BRANCH CIRCUIT/CONTRACTOR TO SITE FIXTURE(S) AS INDICATED.
4. PROVIDE AND INSTALL ONE (1) 1" CONDUIT WITH 2-STRANDS OF OS2 OPTICAL FIBER AT -24" BELOW GRADE FROM ENCLOSURE MOUNTED ON POLE TO THE TELECOMMUNICATION RACK IN PRESSBOX.
5. PROVIDE AND INSTALL 15"x12"x6 NEMA 4X ALUMINUM ENCLOSURE WITH LOCKABLE DOOR AND POLE MOUNT KIT ON SITE POLE FOR MEDIA CONVERTER, DIN RAIL, AND POWER SUPPLY. PROVIDE AND INSTALL A ANTARA ALPN-075G-SFP-24-T OR EQUAL WITH DIN RAIL, MEAN WELL RSDR-240-24 POWER SUPPLY AND ANTARA ASFP-10-T TRANSCEIVER IN THE ENCLOSURE. PROVIDE NECESSARY CONNECTIONS AND PATCH CORDS FOR A COMPLETE SYSTEM. MOUNT ENCLOSURE AT +8'-0" ABOVE GRADE.
6. PROVIDE AND INSTALL 12"x12" IN-GROUND PULL BOX WITH OPEN BOTTOM TO SERVE OPTICAL FIBER, EQUAL TO PG SERIES. LD SHALL BE MARKED "OPTICAL FIBER."
7. PROVIDE AND INSTALL 12"x12" IN-GROUND PULL BOX WITH OPEN BOTTOM TO SERVE OPTICAL FIBER, EQUAL TO PG SERIES. LD SHALL BE MARKED "POWER."
8. PROVIDE AND INSTALL ONE (1) 1-1/4" CONDUIT WITH 6-#6 1-#6G FROM PANEL 12G7 LOCATED IN HIGH SCHOOL. ROUTE BRANCH CIRCUIT TO SECURITY CAMERA ENCLOSURE TO POWER MEDIA CONVERTERS. REFER TO DRAWINGS FOR CIRCUIT DESIGNATION FOR EACH ENCLOSURE.
9. PROVIDE AND INSTALL ONE (1) 1" CONDUIT WITH 2-STRANDS OF OS2 OPTICAL FIBER AT -24" BELOW GRADE TO THE HIGH SCHOOL AND TERMINATE IN TELECOMMUNICATION RACK TRG.
10. PROVIDE AND INSTALL ONE (1) 1" CONDUIT WITH 4-STRANDS OF OS2 OPTICAL FIBER AT -24" BELOW GRADE F TO THE HIGH SCHOOL AND TERMINATE IN TELECOMMUNICATION RACK TRG.
11. PROVIDE AND INSTALL ONE (1) 1" CONDUIT WITH 6-STRANDS OF OS2 OPTICAL FIBER AT -24" BELOW GRADE TO THE HIGH SCHOOL AND TERMINATE IN TELECOMMUNICATION RACK TRG.
12. PROVIDE AND INSTALL ONE (1) 1" CONDUIT WITH 2-#6 1-#6G AT -24" BELOW GRADE FROM PULL BOX TO SECURITY CAMERA ENCLOSURE FOR BRANCH CIRCUIT AS DESIGNATED.
13. PROVIDE AND INSTALL ONE (1) 1-1/4" CONDUIT WITH 4-#6 1-#6G AT -24" BELOW GRADE FROM PULL BOX TO SECURITY CAMERA ENCLOSURE FOR BRANCH CIRCUIT AS DESIGNATED.

## SUNMAN-DEARBORN COMMUNITY SCHOOLS EAST CENTRAL HIGH SCHOOL RENOVATION 1 TROJAN ROAD



#	Date	Desc.
1	10/11/24	ADDENDUM #1

100% CONSTRUCTIONS DOCUMENTS

PROJECT:	#22130
DATE:	09/23/2024
DRAWN BY:	Author

## ELECTRICAL SITE PLAN HIGH SCHOOL PARKING LOT

ES201

PRIMARY JOB # 24584

**LANCER ASSOCIATES**  
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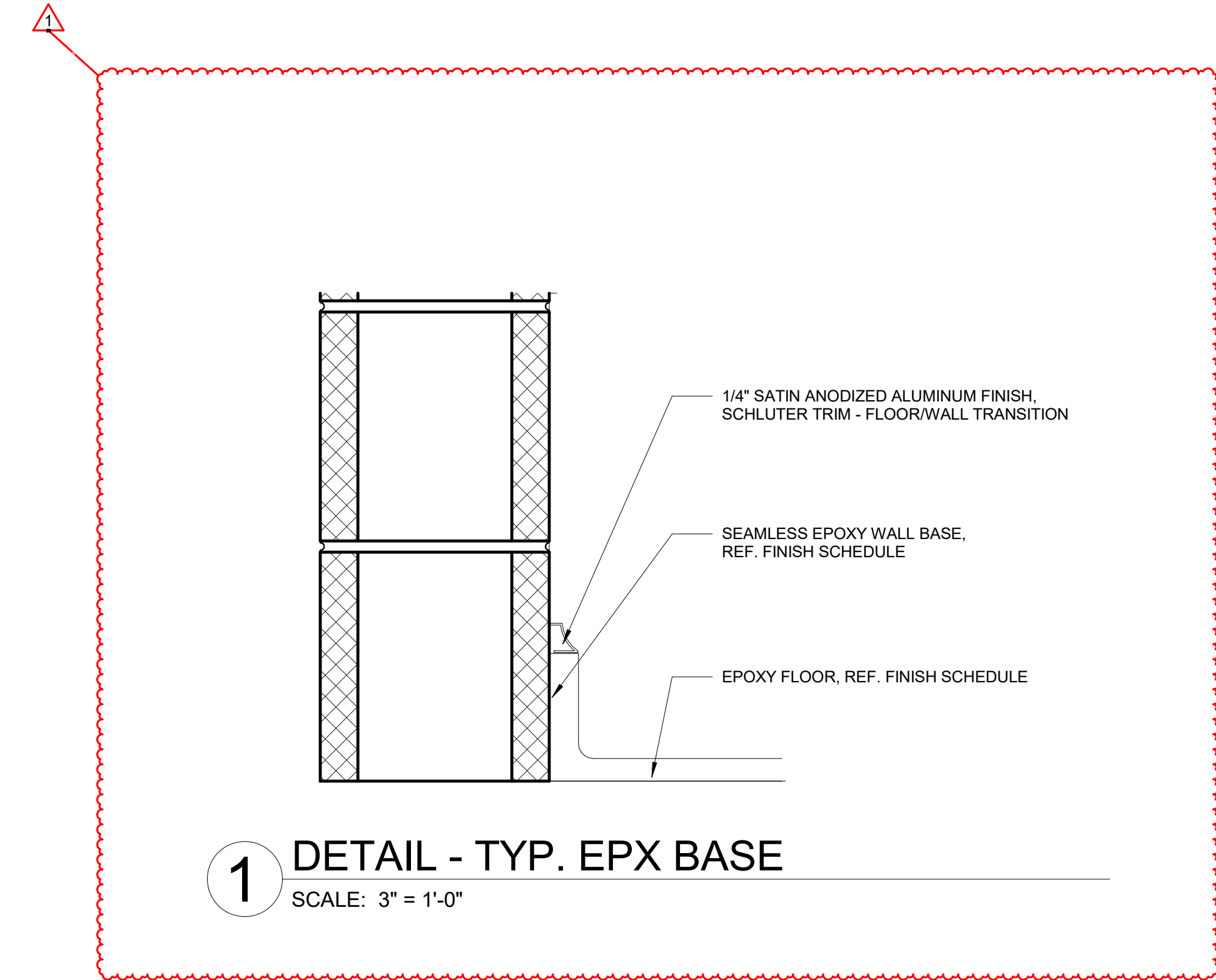
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**ECMS ADDENDUM #1 DRAWINGS**  
**10/11/24**





### GENERAL NOTES

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPAIR ALL EXISTING WALLS, SLAB, AND CEILINGS TO A CONDITION SUITABLE FOR ACCEPTING NEW FINISHES AS PER MANUFACTURER'S RECOMMENDED INSTALLATION METHODS. MINIMUM LEVEL 4 FINISH ON EXISTING AND NEW WALLS, UNLESS NOTED OTHERWISE.
- B. ALL FLOORING TRANSITIONS TO COMPLY WITH ADA GUIDELINES AND TO OCCUR UNDER CENTER OF DOORWAYS AND OR AT CENTERLINE OF WALL, UNLESS INDICATED DIFFERENTLY ON FINISH PLANS. PROVIDE REDUCER STRIPS WHEREVER CARPET OR LVT MEET CONCRETE.
- C. CONTRACTOR TO PROVIDE PROTECTION AS NEEDED DURING CONSTRUCTION. IF, ANY, TO PRESERVE NEW FINISHES WHILE COMPLETING CONSTRUCTION.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS INDICATED ON THE FINISH PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND DESIGNERS. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL, UNLESS NOTED OTHERWISE.
- E. WHERE WALLS ARE INDICATED TO RECEIVE PAINT FINISH, PRIME AND PAINT GRILLES, FIRE EXTINGUISHER CABINETS, AND OTHER ITEMS EMBEDDED IN WALL CONSTRUCTION TO MATCH SURFACE ON WHICH THEY OCCUR.
- F. CONTRACTOR TO PROVIDE DRYWALL REVEAL JOINT WHERE DRYWALL MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- G. CONTRACTOR TO PROVIDE SCHLUTER EDGE WHERE TILE MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- H. DO NOT INSTALL GYPSUM BOARD BEHIND TILE BACKER BOARD LOCATIONS.
- I. IF ONLY PAINT IS INDICATED AS THE FINISH, REFER TO ARCHITECTURAL FLOOR PLANS FOR SUBSTRATE INFORMATION.
- J. ALL MECHANICAL CLOSETS TO HAVE A SEALED CONCRETE FLOOR FINISH. PROVIDE RESILIENT TRANSITION STRIP TO MATCH RB-1.
- K. ALL WALLS, COLUMNS, AND CEILINGS TO BE PAINTED PT-1, UNLESS NOTED OTHERWISE.
- L. PAINT ALL HM DOOR FRAMES WITHIN SCOPE PT-4, IF NOT ALREADY PAINTED PT-4.

### FINISH LEGEND

#### NOTES

ETR EXISTING TO REMAIN  
TBD TO BE DETERMINED

#### FLOOR COVERING

##### RESILIENT FLOOR

LVT-1: MFG: INTERFACE  
TYPE: 25CM X 1M RESILIENT PLANK  
PATTERN: A007 STUDIO SET  
COLOR: A00702 PEWTER  
INSTALL: ASHLAR, REF. PLAN FOR DIRECTION  
LOCATION: FACS  
CONTACT: JAE PARK 317-459-8782

LVT-2: MFG: INTERFACE  
TYPE: 25CM X 1M RESILIENT PLANK  
PATTERN: A007 STUDIO SET  
COLOR: A00710 POPPY  
INSTALL: ASHLAR, REF. PLAN FOR DIRECTION  
LOCATION: FACS  
CONTACT: JAE PARK 317-459-8782

EPX-1: MFG: SHERWIN WILLIAMS HIGH PERFORMANCE FLOORING  
TYPE: RESUFLO 1/8" DECO FLAKE BC EPOXY SYSTEM  
COLOR: MIX TO MATCH EXISTING, SIMILAR COLOR TO PEBBLED PATH, DESIGNER TO APPROVE BEFORE INSTALL  
INSTALL: MONOLITHIC, 6" INTEGRAL COVE BASE, REF. SPECS  
LOCATION: AGRICULTURE STORAGE AND OFFICE  
CONTACT: KAREN E. MOLWAIN 317-714-5610

#### WALL BASE

RB-1: MFG: TARKETT JOHNSONITE  
TYPE: 4" RESILIENT WALL BASE  
COLOR: 48 GREY  
LOCATION: TYPICAL, UNLESS NOTED OTHERWISE  
REMARKS: COLOR TO BE USED WITH ALL VINYL TRANSITION STRIPS

RB-2: MFG: TARKETT JOHNSONITE  
TYPE: 4" RESILIENT WALL BASE  
COLOR: T64 BLACK MAGIC  
LOCATION: TO USE AT ALL PL-2 LOCATIONS

EPOXY BASE  
EB-1: MFG: SHERWIN WILLIAMS HIGH PERFORMANCE FLOORING  
TYPE: RESUFLO 1/8" DECO FLAKE BC EPOXY SYSTEM  
COLOR: MIX TO MATCH EXISTING, SIMILAR COLOR TO PEBBLED PATH, DESIGNER TO APPROVE BEFORE INSTALL  
INSTALL: MONOLITHIC, 6" INTEGRAL COVE BASE, REF. SPECS  
LOCATION: AGRICULTURE STORAGE AND OFFICE  
CONTACT: KAREN E. MOLWAIN 317-714-5610

#### PAINT/WALL FINISH

PAINT  
PT-1: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW7570 EGRET WHITE  
LOCATION: TYPICAL

PT-2: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW7066 GRAY MATTERS  
LOCATION: ACCENT  
REMARKS: TO PATCH EXISTING PAINT AS NEEDED.

PT-3: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW7067 CITYSCAPE  
LOCATION: ACCENT  
REMARKS: TO PATCH EXISTING PAINT AS NEEDED.

PT-4: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW7068 GRIZZLE GRAY  
LOCATION: HM DOOR FRAMES  
REMARKS: TO PATCH EXISTING PAINT AS NEEDED.

#### PLASTIC LAMINATE/SOLID SURFACE

PLASTIC LAMINATE  
PL-1: MFG: FORMICA  
TYPE: PLASTIC LAMINATE  
COLOR: DANISH MAPLE 8506-58  
INSTALL: MONOLITHIC, VERTICAL GRAIN  
LOCATION: FACS  
CONTACT: KYLIE LEYBA 317-869-8717

PL-2: MFG: FORMICA  
TYPE: PLASTIC LAMINATE  
COLOR: TERRI, 2207-58  
INSTALL: MONOLITHIC, VERTICAL GRAIN  
LOCATION: AGRICULTURE  
CONTACT: KYLIE LEYBA 317-869-8717

SOLID SURFACE  
SS-1: MFG: CORIAN  
TYPE: 1/2" SOLID SURFACE  
COLOR: ASH CONCRETE  
INSTALL: MONOLITHIC, HORIZONTAL GRAIN  
LOCATION: FACS

STAINLESS STEEL COUNTERTOP  
STS-1: TYPE: STAINLESS STEEL COUNTERTOP  
REMARKS: TO INCLUDE 4" STAINLESS STEEL BACKSPLASH  
LOCATION: AGRICULTURE

WOOD COUNTERTOP  
WD-1: TYPE: BUTCHER BLOCK COUNTERTOP  
COLOR: NATURAL AND SEALED  
INSTALL: MONOLITHIC, HORIZONTAL GRAIN  
LOCATION: AGRICULTURE

#### MISC.

TACKBOARD  
TB-1: MFG: GUILFORD OF MAINE  
TYPE: TACKABLE SURFACE FABRIC  
PATTERN: FR701  
COLOR: BLACK 408  
LOCATION: DISPLAY CASE

TEXTILE  
TEX-1: MFG: SWF CONTRACT  
TYPE: MANUAL ROLLER SHADES - 3% OPENNESS  
PATTERN: CROSSHATCH R  
COLOR: WHITE/FOG C8214  
LOCATION: SECOND FLOOR CLASSROOMS



REVISIONS:			
#	Date	Desc.	
1	Date 1	Revision 1	

100% CONSTRUCTION DOCUMENTS	
PROJECT: #23138	
DATE: 09/26/2024	
DRAWN BY: Author	

FINISH LEGEND  
& INTERIOR  
DETAILS

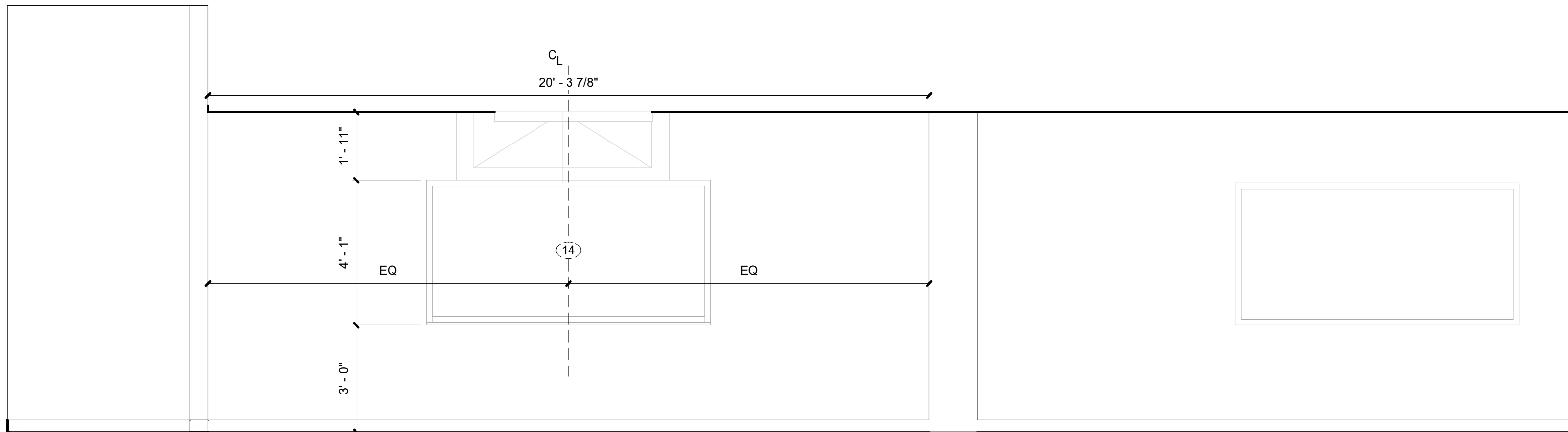


GENERAL CASEWORK NOTES		
1. FABRICATE WOODWORK/MILLWORK ITEMS TO ACTUAL FIELD DIMENSIONS. CONTRACTOR SHALL SUBMIT FOR DESIGNERS APPROVALS SHOP DRAWING SAMPLES OR MANUFACTURER'S LITERATURE FOR ALL ITEMS. SHOP DRAWINGS SHALL SHOW SUFFICIENT DETAIL TO DETERMINE COMPLIANCE WITH STANDARDS AND DESIGN INTENT.	7. ALL PLASTIC LAMINATE SURFACES ON EXTERIOR OF CABINETS SHALL BE A STANDARD COLOR AS LISTED ON THE FINISH LEGEND: PL-1: FACS CLASSROOM CASEWORK CABINETS PL-2: AGRICULTURE CLASSROOM CASEWORK CABINETS	
2. PROVIDE ALL NECESSARY FURRING AND GROUNDS FOR WOODWORK AND FINISH ITEMS. COORDINATE LOCATION OF BLOCKING WITHIN FRAMED WALLS AS NECESSARY FOR ITEMS TO BE SECURED TO SURFACE. ALL FASTENERS SHALL BE CONCEALED.	8. ALL INTERIORS BEHIND DOORS/ DRAWERS AND NOT VISIBLE SHALL BE WHITE, UNLESS NOTED OTHERWISE.	
3. FINISH ALL SIDES AND BACK OF MILLWORK/ CASEWORK.	9. ALL SOLID SURFACE COUNTERTOPS SHALL BE A STANDARD COLOR AS LISTED ON THE FINISH LEGEND: SS-1: FACS COUNTERTOPS WD-1: AGRICULTURE COUNTERTOPS	
4. PROVIDE GROMMETS IN COUNTERTOPS ABOVE ALL ELECTRICAL RECEPTICALS AND TELEPHONE DATA ROUTINGS.	10. SEE ELEC. DWGS FOR ELECTRICAL DEVICES.	
5. ALL PULLS TO BE 4" SATIN NICKEL SOLID WIRE PULL.	11. SEE PLUMBING DWGS FOR PLUMBING FIXTURES.	
6. PROVIDE LOCKS FOR ALL DRAWERS AND DOORS.		

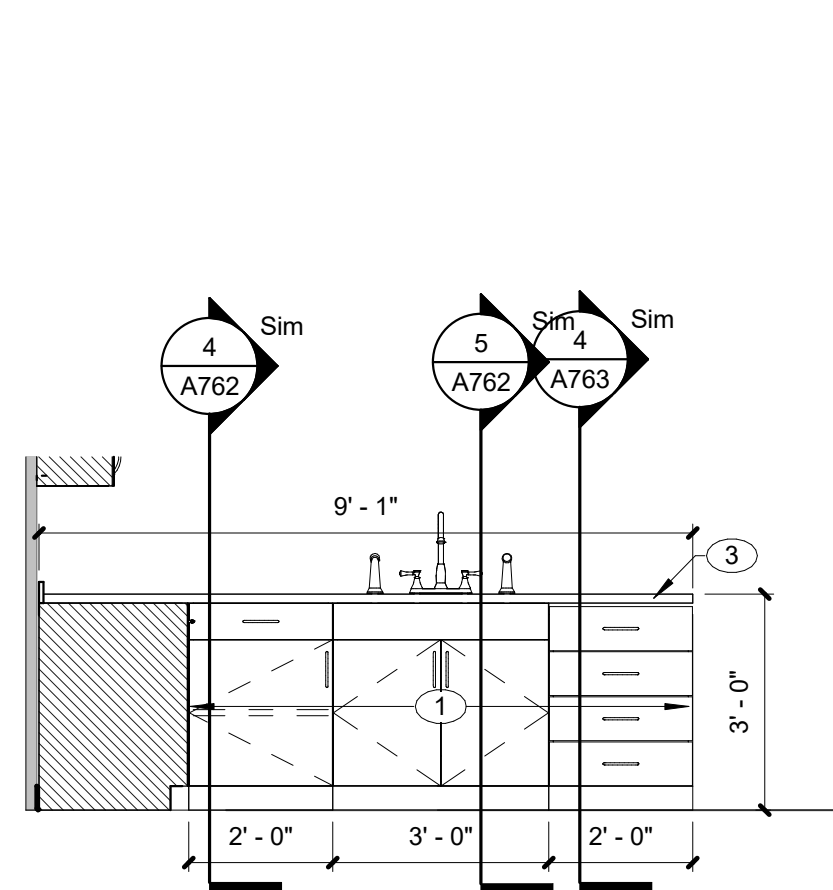
GENERAL NOTES
A. CONTRACTOR TO PROVIDE SCHLUTER TRIM WHERE TILE MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
B. DO NOT INSTALL GYPSUM BOARD BEHIND BACKER BOARD WHERE TILE FINISH IS INDICATED.
C. CONTRACTOR TO PROVIDE DRYWALL REVEAL JOINT WHERE DRYWALL MEETS DISSIMILAR MATERIALS.
D. IF ONLY PAINT IS INDICATED AS THE FINISH, REFER TO ARCHITECTURAL FLOOR PLANS FOR SUBSTRATE INFORMATION.
E. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS INDICATED ON THE FINISH PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND DESIGNERS.
F. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL. UNLESS NOTED OTHERWISE.
G. ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER CABINETS, ETC., ARE TO BE PRIMED AND PAINTED TO MATCH THE SURFACE ON WHICH THEY OCCUR.
H. ALL WALLS AND COLUMNS TO BE PAINTED PT-1, UNLESS NOTED OTHERWISE.

ELEVATION NOTES - INTERIOR

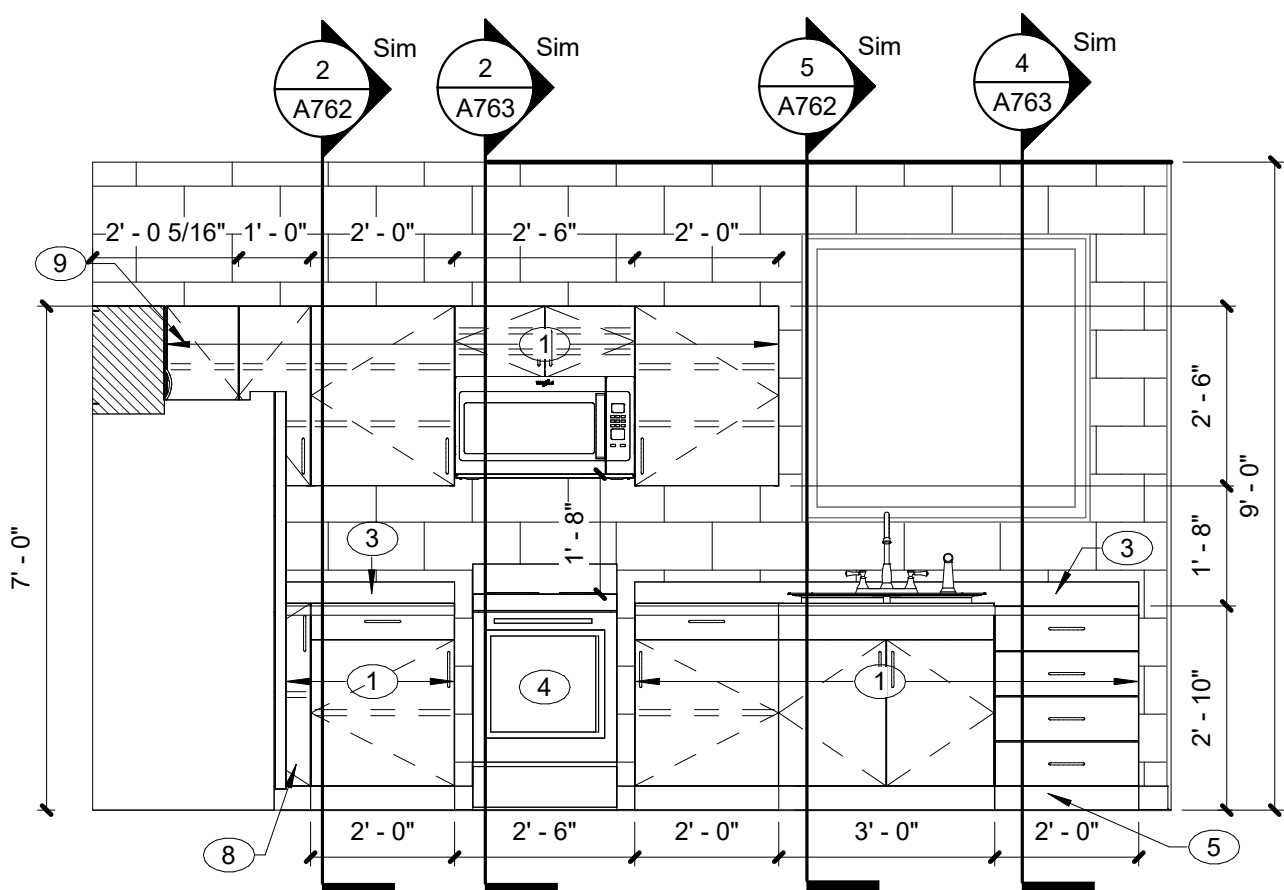
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2. PLASTIC LAMINATE CASEWORK, PL-2 AT THIS LOCATION. REFER TO FINISH LEGEND.
3. SOLID SURFACE, SS-1 AT THIS LOCATION. REFER TO FINISH LEGEND.
4. SPACE FOR OWNER PROVIDED, CONTRACTOR INSTALLED APPLIANCE.
5. 4" HIGH RESILIENT WALL BASE, RB-1. REFER TO FINISH LEGEND.
6. 4" HIGH RESILIENT WALL BASE, RB-2. REFER TO FINISH LEGEND.
7. PROVIDE FINISHED PLASTIC LAMINATE END PANEL, PL-1.
8. PROVIDE BASE CORNER CABINET.
9. PROVIDE WALL CORNER CABINET.
10. WOOD BUTCHER BLOCK COUNTERTOP, WD-1 AT THIS LOCATION. REFER TO FINISH LEGEND.
11. PROVIDE GARBAGE DISPOSAL.
12. TALL TOTE TRAY CABINET.
13. TALL WARDROBE CABINET.
14. 4THXSL MARKERBOARD.
15. STAINLESS STEEL COUNTERTOP, STS-1 AT THIS LOCATION. REFER TO FINISH LEGEND.
16. TALL TOTE TRAY AND SHELVING CABINET.
17. EPOXY BASE, EB-1. REFER TO FINISH LEGEND.



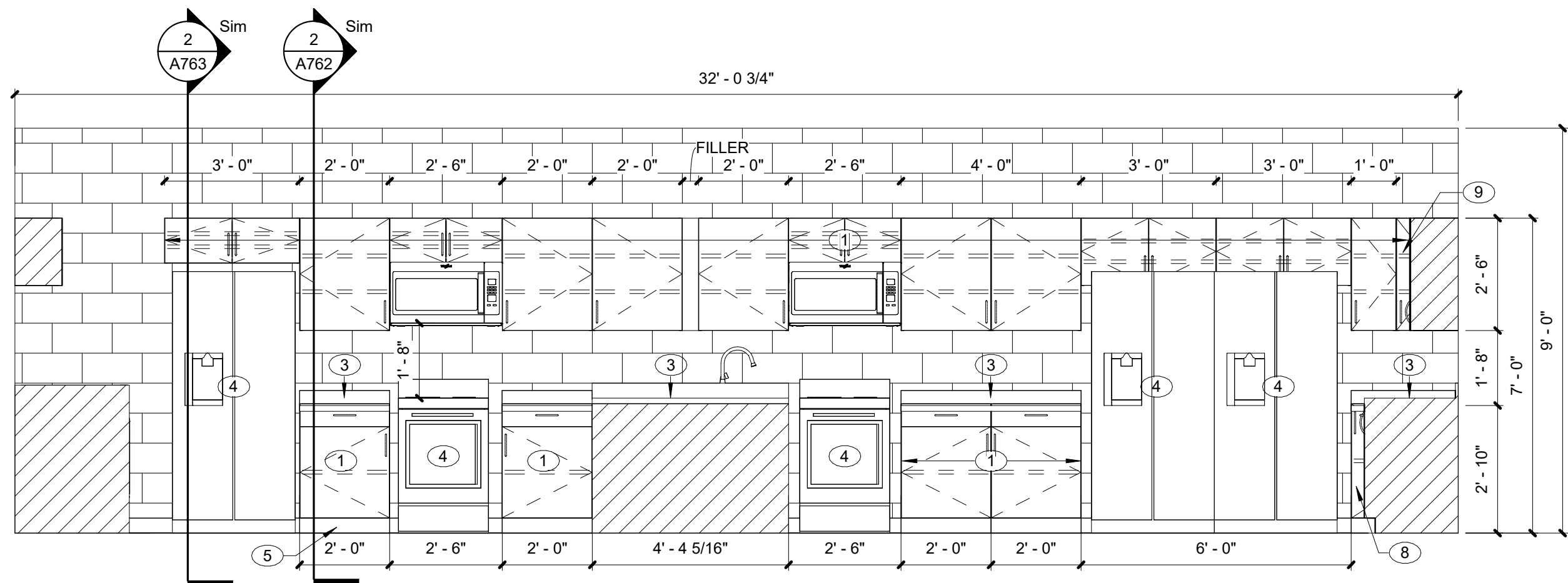
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SCALE: 3/8" = 1'-0" REF. 1 / A011



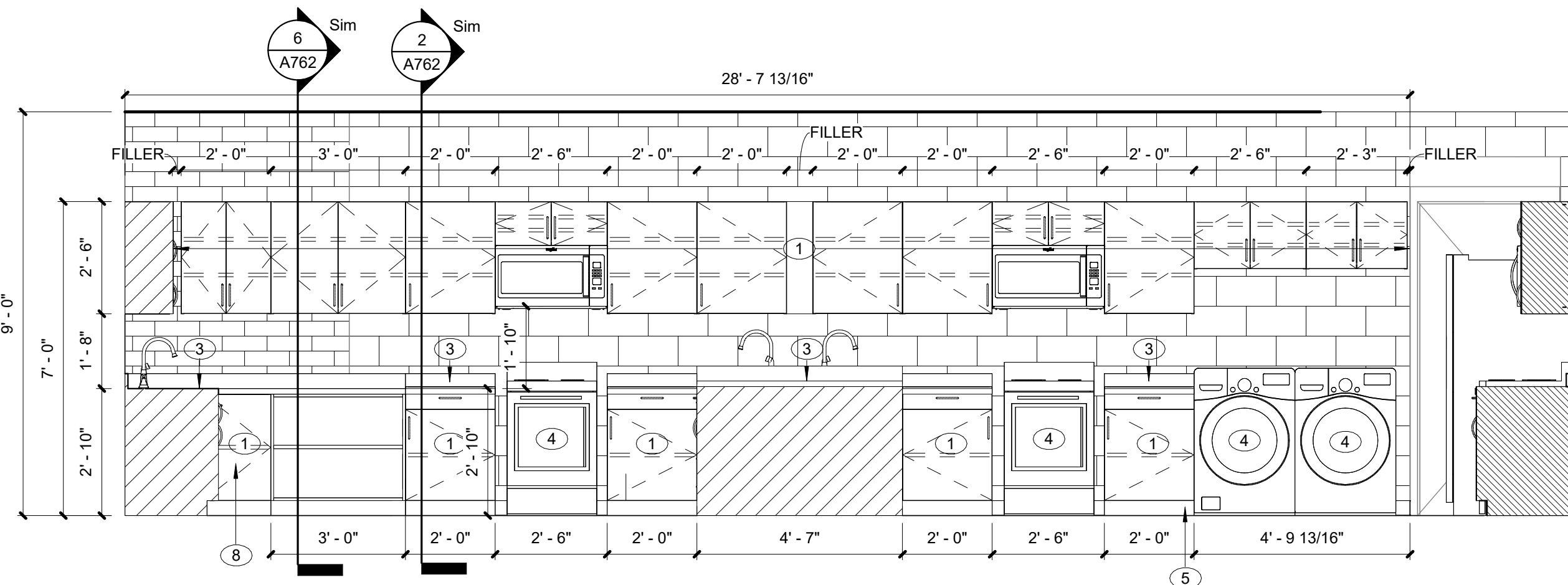
9 CSWK - TYP. COOKING ISLAND  
SCALE: 3/8" = 1'-0" REF. 1 / A011



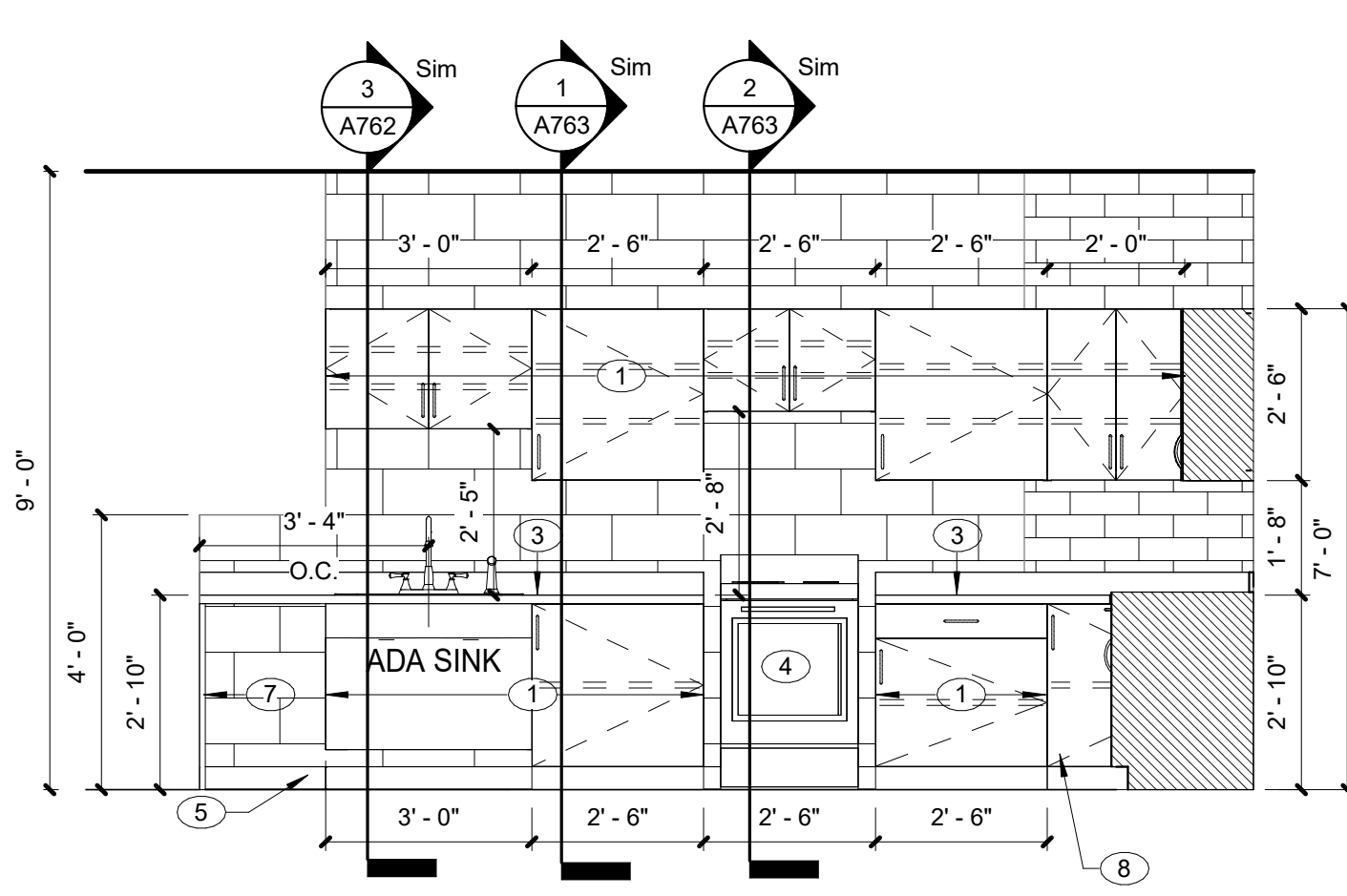
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SCALE: 3/8" = 1'-0" REF. 1 / A011



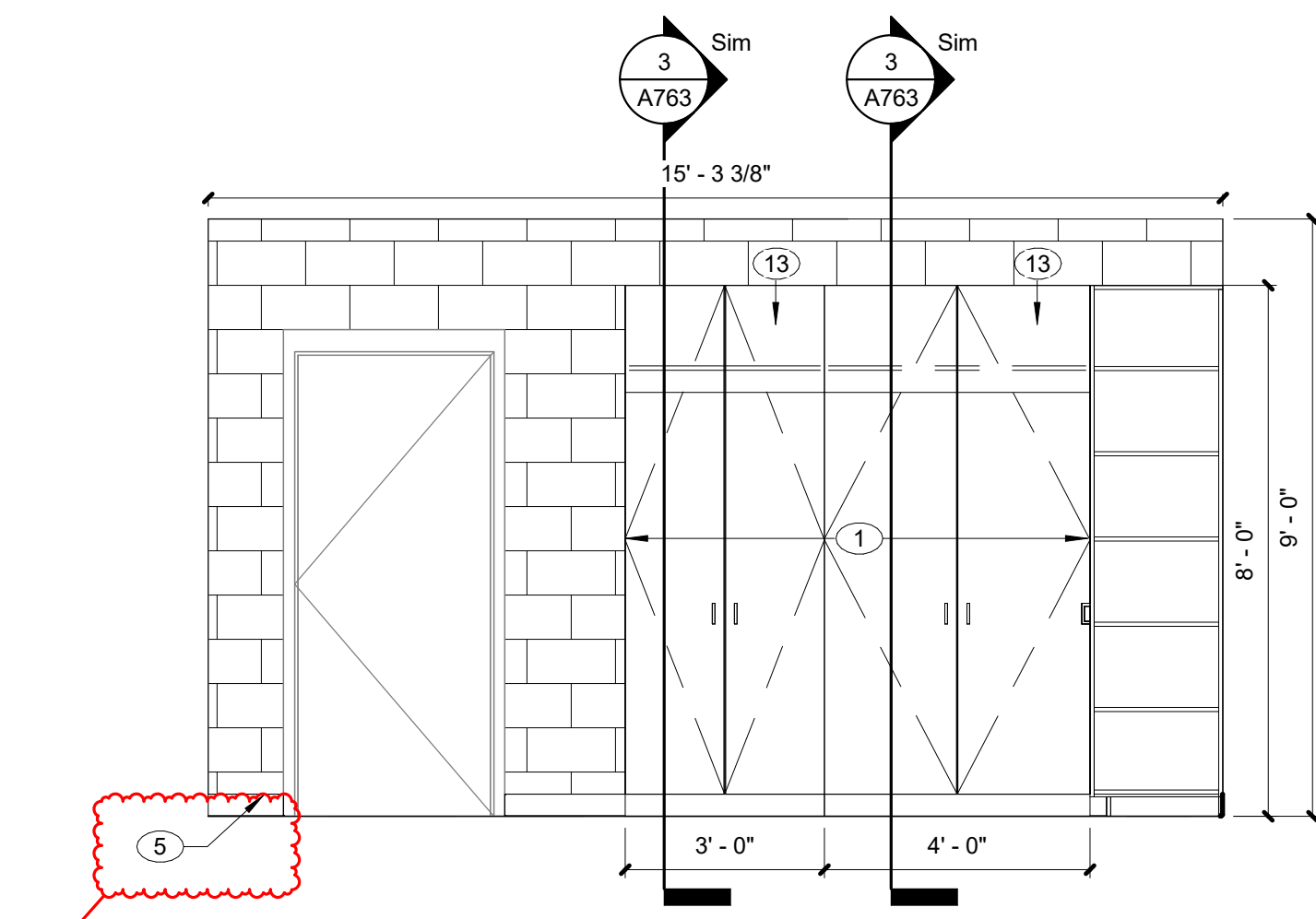
7 CSWK - FACS COOKING STATION SOUTH  
SCALE: 3/8" = 1'-0" REF. 1 / A011



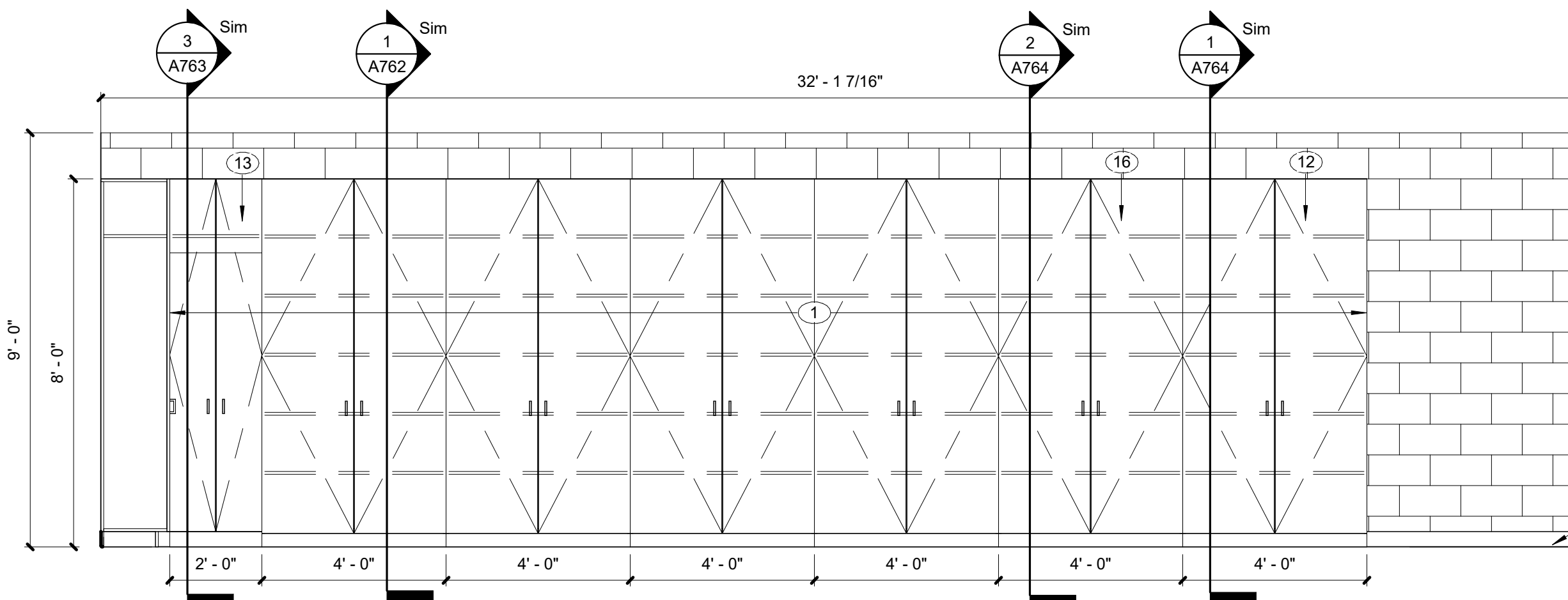
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SCALE: 3/8" = 1'-0" REF. 1 / A011



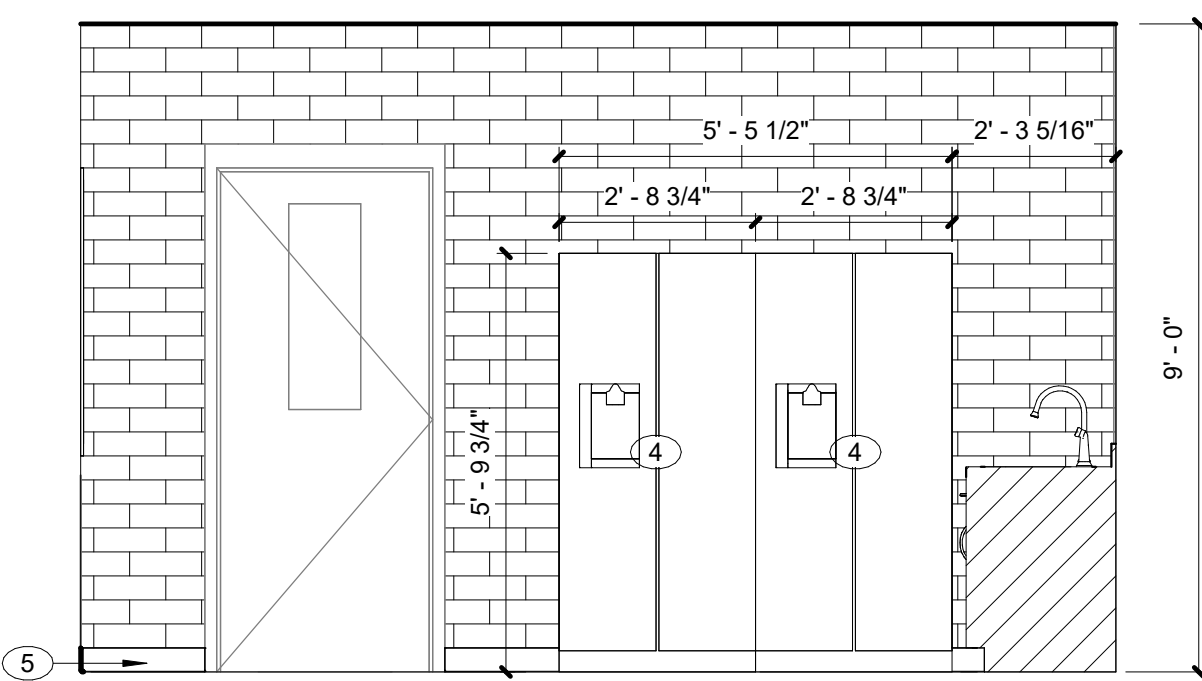
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SCALE: 3/8" = 1'-0" REF. 1 / A011



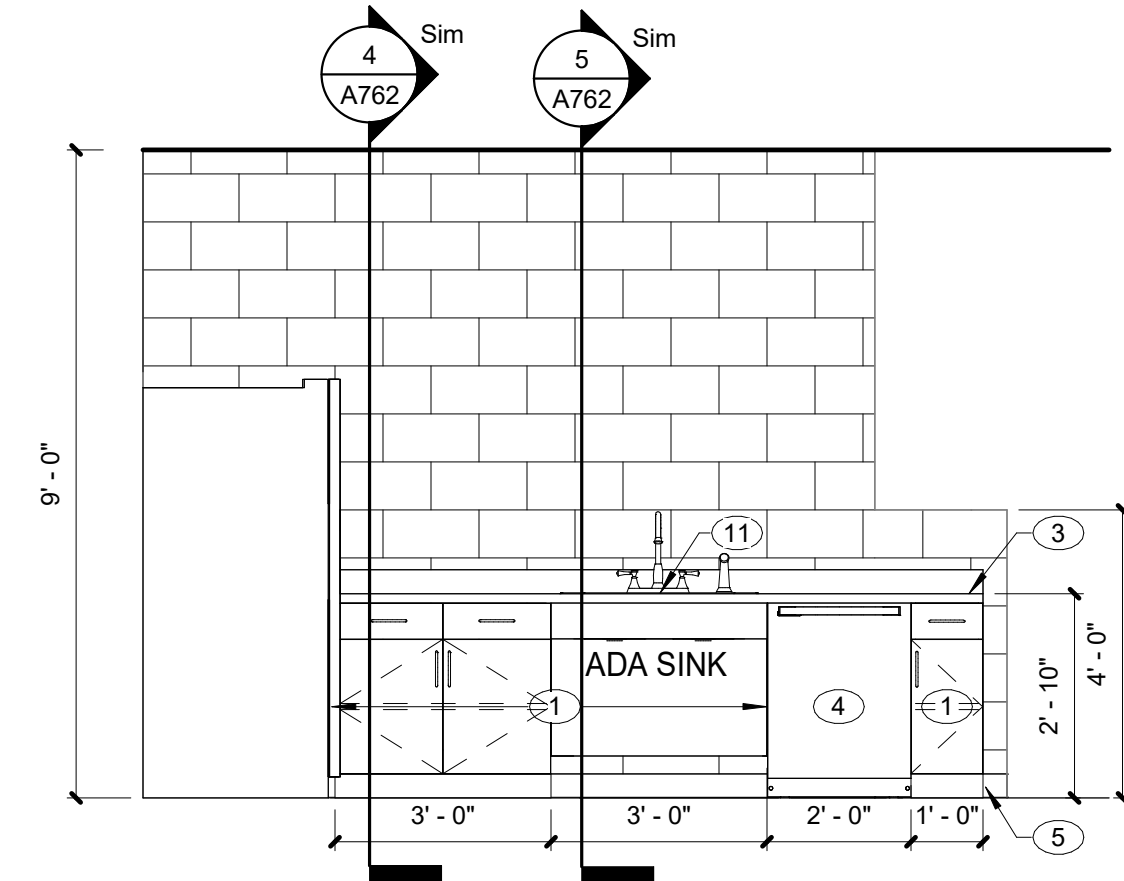
4 CSWK - FACS STORAGE SOUTH  
SCALE: 3/8" = 1'-0" REF. 1 / A011



3 CSWK - FACS STORAGE EAST  
SCALE: 3/8" = 1'-0" REF. 1 / A011



2 CSWK - FACS TEACHER STATION 2  
SCALE: 3/8" = 1'-0" REF. 1 / A011



1 CSWK - FACS TEACHER STATION 1  
SCALE: 3/8" = 1'-0" REF. 1 / A011



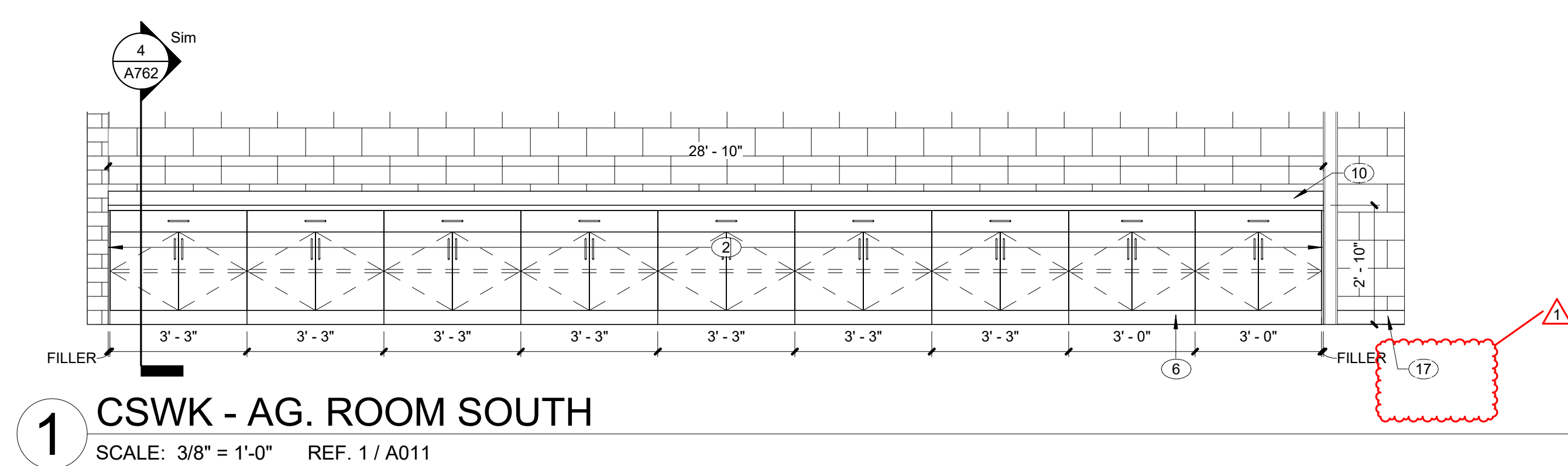
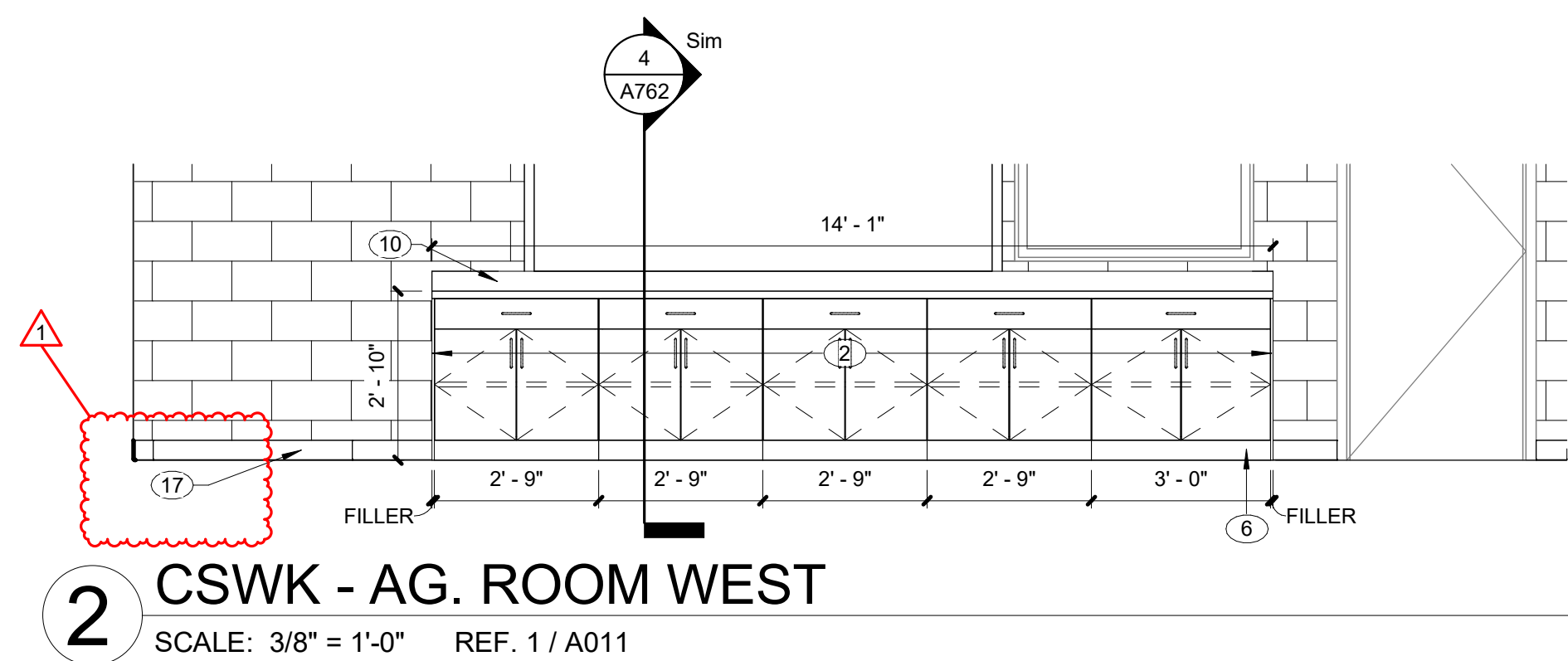
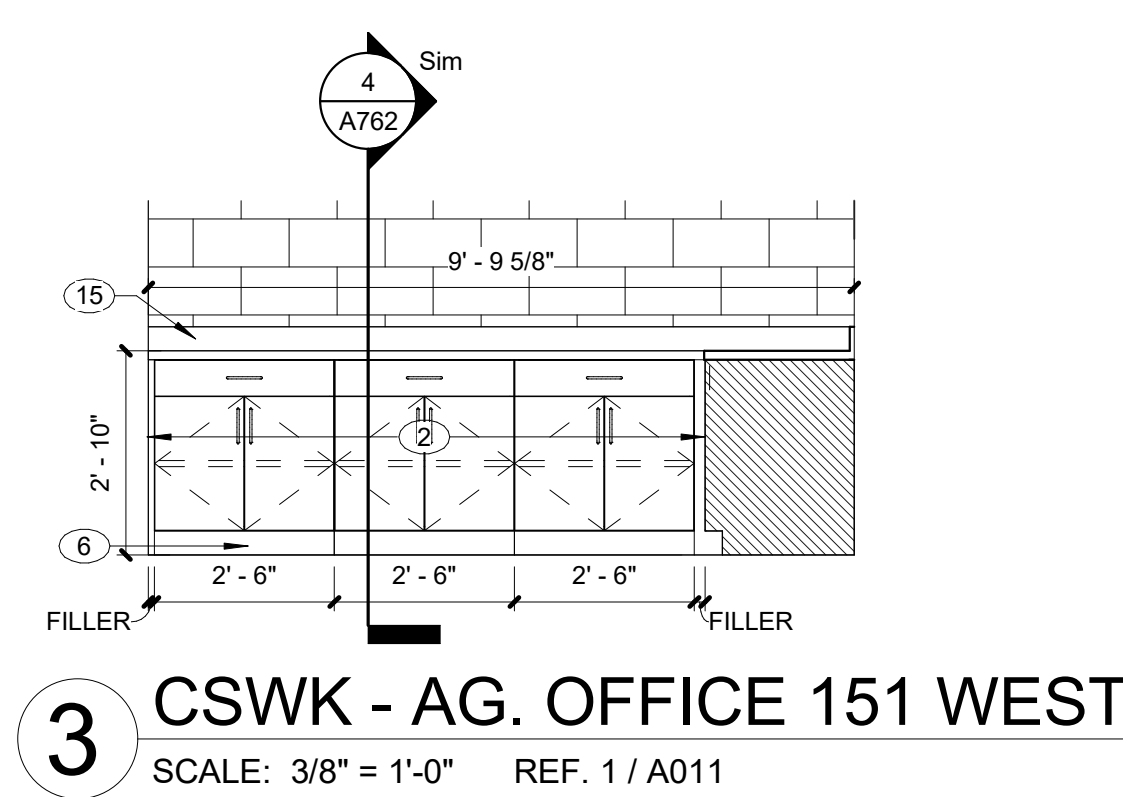
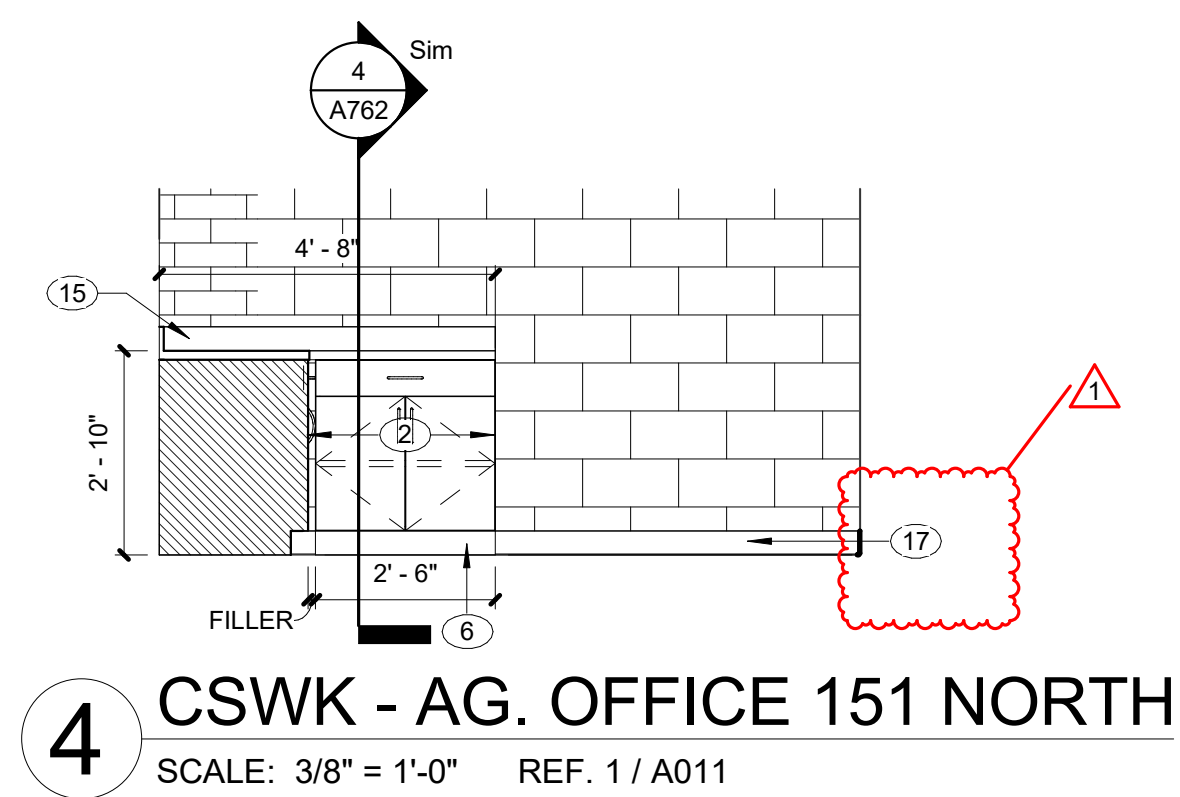
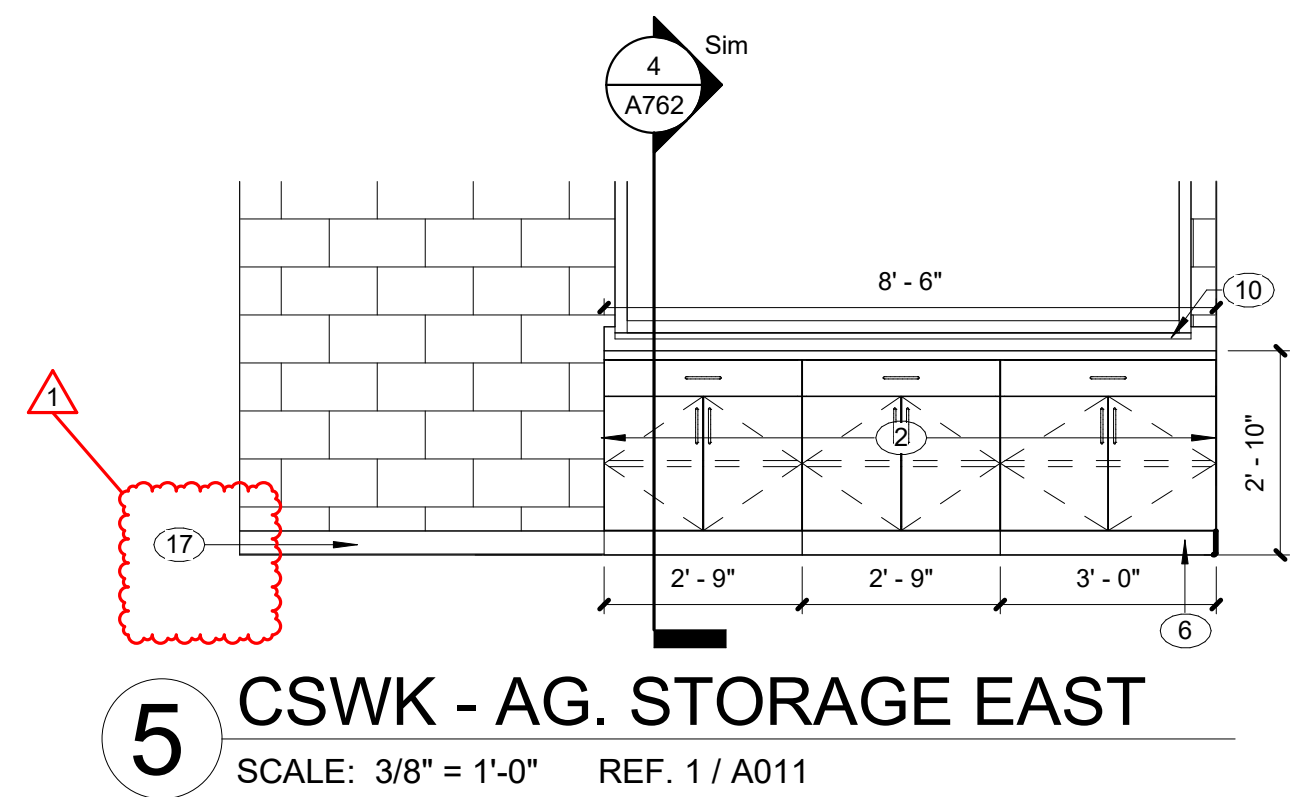
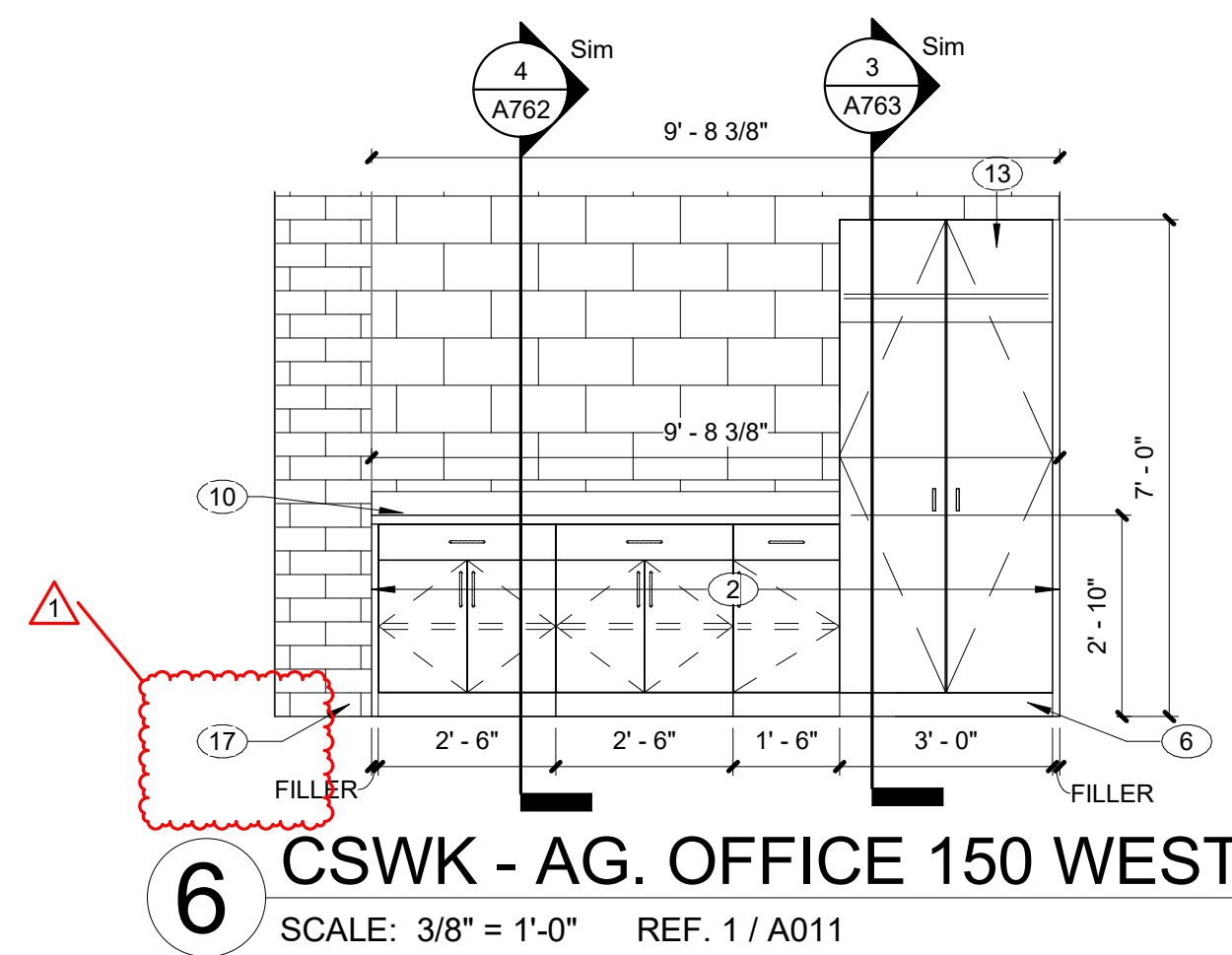
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5. ALL PULLS TO BE 4" SATIN NICKEL SOLID WIRE PULL.	10. SEE PLUMBING DWGS FOR PLUMBING FIXTURES.	
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## GENERAL NOTES

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## ELEVATION NOTES - INTERIOR

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2. PLASTIC LAMINATE CASEWORK, PL-2 AT THIS LOCATION. REFER TO FINISH LEGEND.
3. SOLID SURFACE, SS-1 AT THIS LOCATION. REFER TO FINISH LEGEND.
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7. PROVIDE FINISHED PLASTIC LAMINATE END PANEL, PL-1.
8. PROVIDE BASE CORNER CABINET.
9. PROVIDE WALL CORNER CABINET.
10. WOOD BUTCHER BLOCK COUNTERTOP, WD-1 AT THIS LOCATION. REFER TO FINISH LEGEND.
11. PROVIDE GARBAGE DISPOSAL.
12. TALL TOTE TRAY CABINET.
13. TALL WARDROBE CABINET.
14. 4"X8" MARKERBOARD.
15. STAINLESS STEEL COUNTERTOP, STS-1 AT THIS LOCATION. REFER TO FINISH LEGEND.
16. TALL TOTE TRAY AND SHELVING CABINET.
17. EPOXY BASE, EB-1. REFER TO FINISH LEGEND.



SUNMAN-DEARBORN COMMUNITY SCHOOLS  
EAST CENTRAL MIDDLE SCHOOL RENOVATIONS  
8356 SCHUMAN RD, BROOKVILLE, IN 47012



REVISIONS:		Disc.
#	Date	Revision
1		Revision 1

### 100% CONSTRUCTION DOCUMENTS

PROJECT: #23138  
DATE: 09/26/2024  
DRAWN BY: Author

CASEWORK  
ELEVATIONS

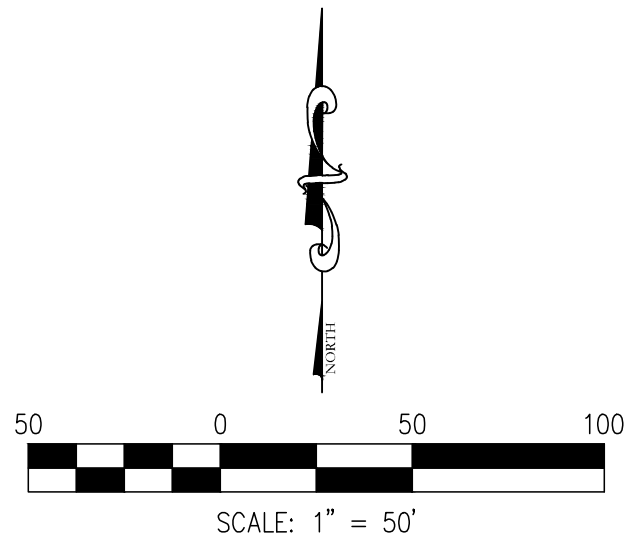
A761



**BES ADDENDUM #1 DRAWINGS**  
**10/11/24**



DIRECTORY PATH : R:\Active\Uncor+Beas\Sunman-Deaorborn\Design\CD\Plans  
PROJECT : SUNMAN-DEARBORN COMMUNITY SCHOOLS SURVEY & DEMO PLAN  
DATE/USER : 10/10/2024 11:14 PM / Broughan



EXISTING LEGEND		
	POWERPOLE W/RISE	-----800----- CONTOURS
	POWERPOLE W/LIGHT	----- PROPERTY LINE
	LIGHT POLE	----- SECTION LINE
	ELECTRIC METER	----- RIGHT-OF-WAY
	ELECTRIC BOX	----- EASEMENT
	YARD LIGHT	----- ADJOINER LINE
	GUY WIRE	----- PAVEMENT LINE
	TELEPHONE MANHOLE	----- FIELD LINE
	TELEPHONE RISER	----- PRIVACY FENCE
	WATER VALVE	----- CHAINLINK FENCE
	FIRE HYDRANT	----- SPLIT RAIL FENCE
	WELL	----- WIRE FENCE
	WATER MANHOLE	----- DITCH
	WATER METER	----- GAS LINE
	GAS VALVE	----- TELEPHONE LINE
	GAS METER	----- WATER LINE
	CABLE TV RISER	----- CTV CTV CTV CTV CABLE TV LINE
	CLEANOUT	----- E E E E ELECTRIC LINE
	SIGN	----- DHU DHU DHU DHU OVERHEAD UTILITY LINE
	MAILBOX	----- TREE LINE
	STORM ROUND INLET	----- SANITARY SEWER
	STORM CURB INLET	----- W/MANHOLE
	RIGHT-OF-WAY MARKER	----- STORM SEWER W/ MANHOLE & END SECTION
	TREE, BUSH & STUMP	----- (PS) PLAT SURVEY
	TEMP. BENCHMARK	
	MONUMENT FOUND	
	ASPHALT	(D) DEED (M) MEASURE
	BUILDING	
	GRAVEL	
	REMOVAL/DEMOLISH	
	CONCRETE	

- TOPOGRAPHICAL NOTES
1. CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.

2. UTILITIES ARE GRAPHICAL REPRESENTATION PER SURVEY AND MAPPING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

3. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR SERVICE DIS-CONNECTIONS.

FLOODPLAIN INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS TRACT OF LAND DESCRIBED HEREON LIES WITHIN ZONE "X" (AREAS OUTSIDE THE 500-YEAR FLOODPLAIN) AND IS NOT IN A SPECIAL FLOOD HAZARD AREA AS PLOTTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR DEARBORN & RIPLEY COUNTIES, INDIANA, COMMUNITY PANEL NO. 180038, 180596, & 180600, WHICH BEARS AN EFFECTIVE DATE OF APRIL 16, 2014.

UTILITY CONTACTS				
Note: Listed below are the Indiana Underground Plant Protection Services Contacts. Others not listed may exist. The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities comprise all such utilities in the area shown in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.				
UTILITY	COMPANY	CONTACT	PHONE	EMAIL
COMMUNICATIONS	Southeastern IN REMC		(812) 689-4111	contact_us@seiremc.com
ELECTRIC	Southeastern IN REMC		(812) 689-4111	contact_us@seiremc.com
SANITARY	St. Leon Wastewater Utility		(812) 637-2150	
WATER	North Dearborn Water Corp.	Gary Gaynor	(812) 576-2177	ndw@northdearbornwater.com
GAS	Ohio Valley Gas Corp.		(765) 825-1148	
FIRE DEPARTMENT	WFA District 19	Ben Stevending	(812) 621-1150	district19@wfa.org

EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL, PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.



CROSSROAD  
ENGINEERS, PC  
Professional Engineering  
Development Consultants  
115 S. 17th Street, Suite 200 • Ellettsburg, IA 52601  
Phone: 319.333.8888 • Fax: 319.333.8889

BRIGHT ELEM. TOPOGRAPHIC  
SURVEY & DEMO PLAN

SUNMAN-DEARBORN COMMUNITY SCHOOLS

JOE No. \_\_\_\_\_

DATE SEPTEMBER 24, 2024

CHECKED GJJ

DESIGNED BTW

DRAWN \_\_\_\_\_

APPROVED GJJ

BE 200

SHEET

9

8

7

6

5

4

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2

1

NO.

REVISIONS FOR ADDENDUM #1

DATE

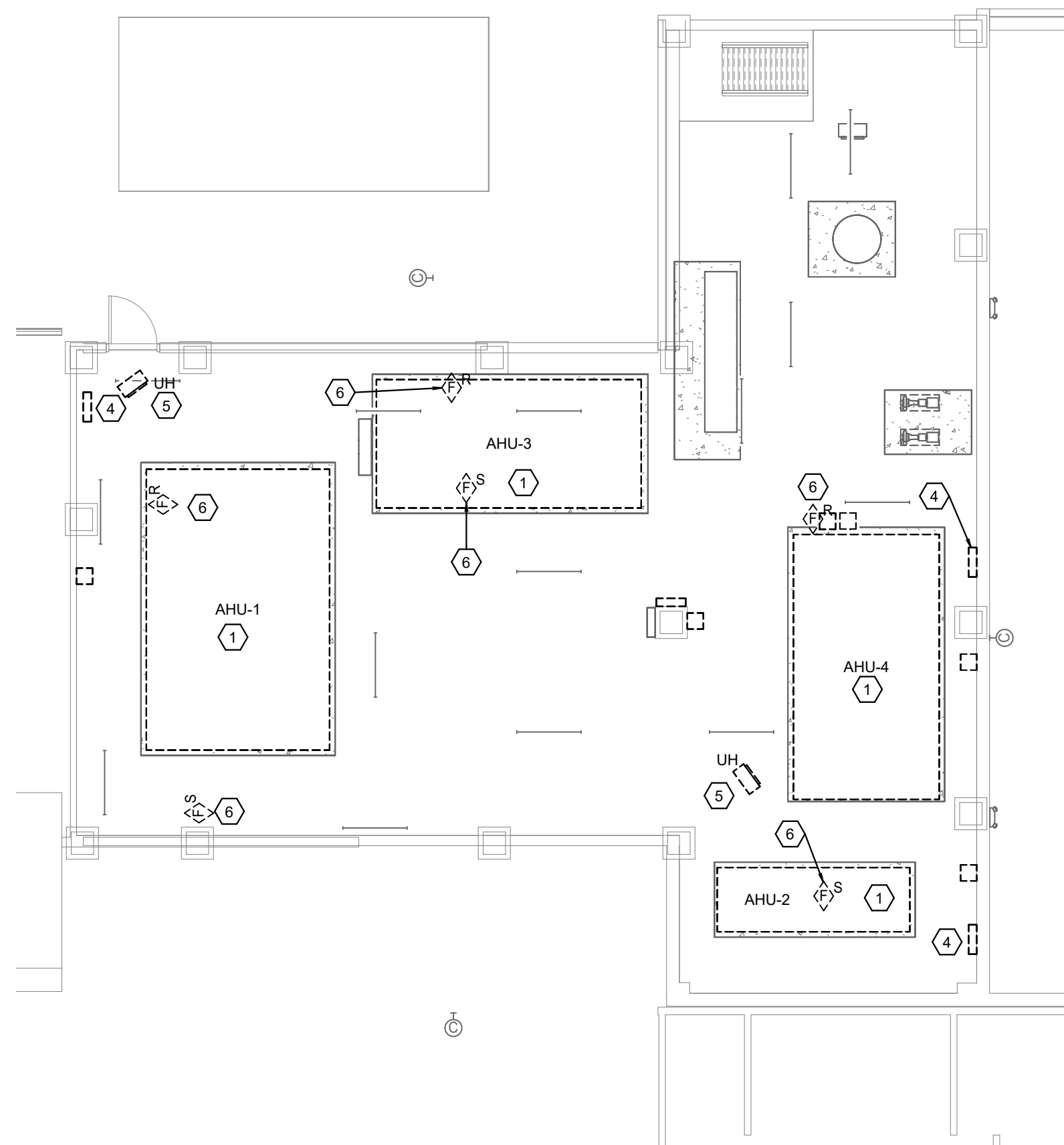
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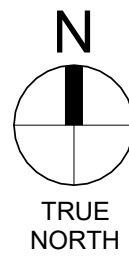
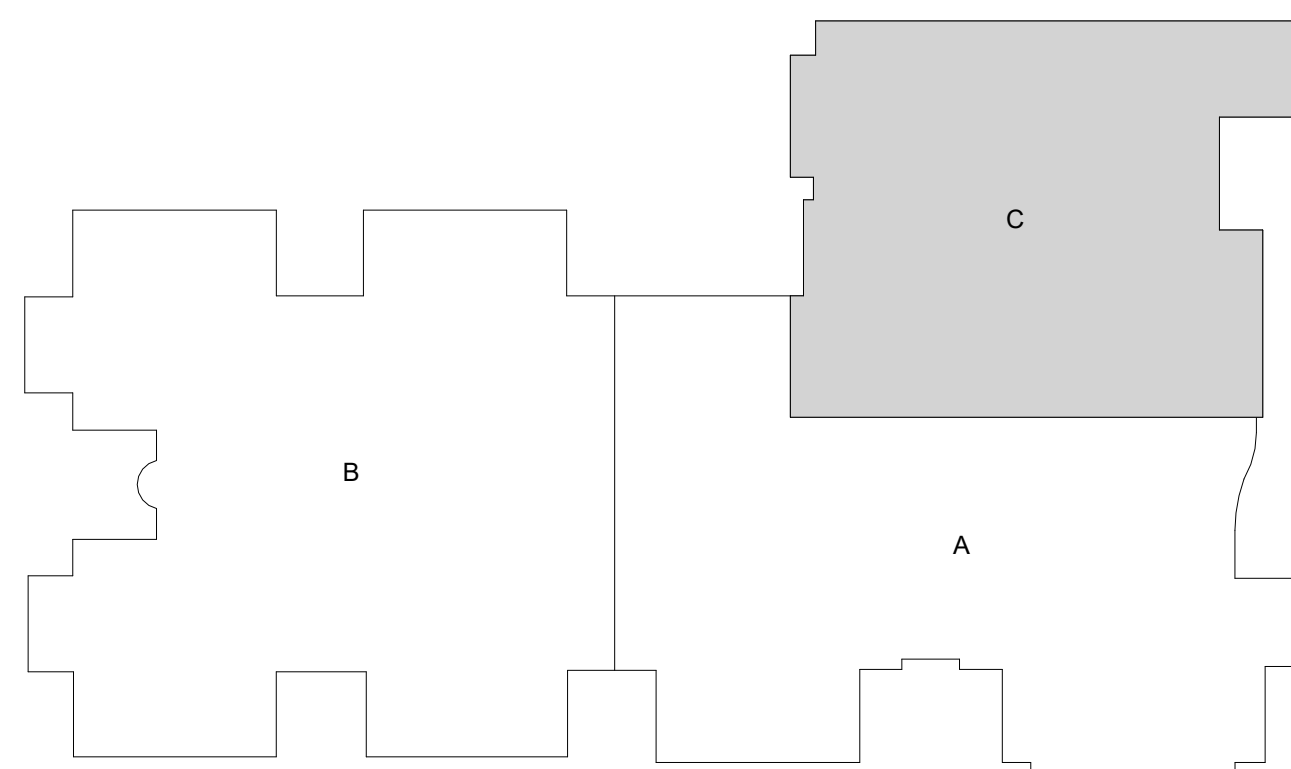
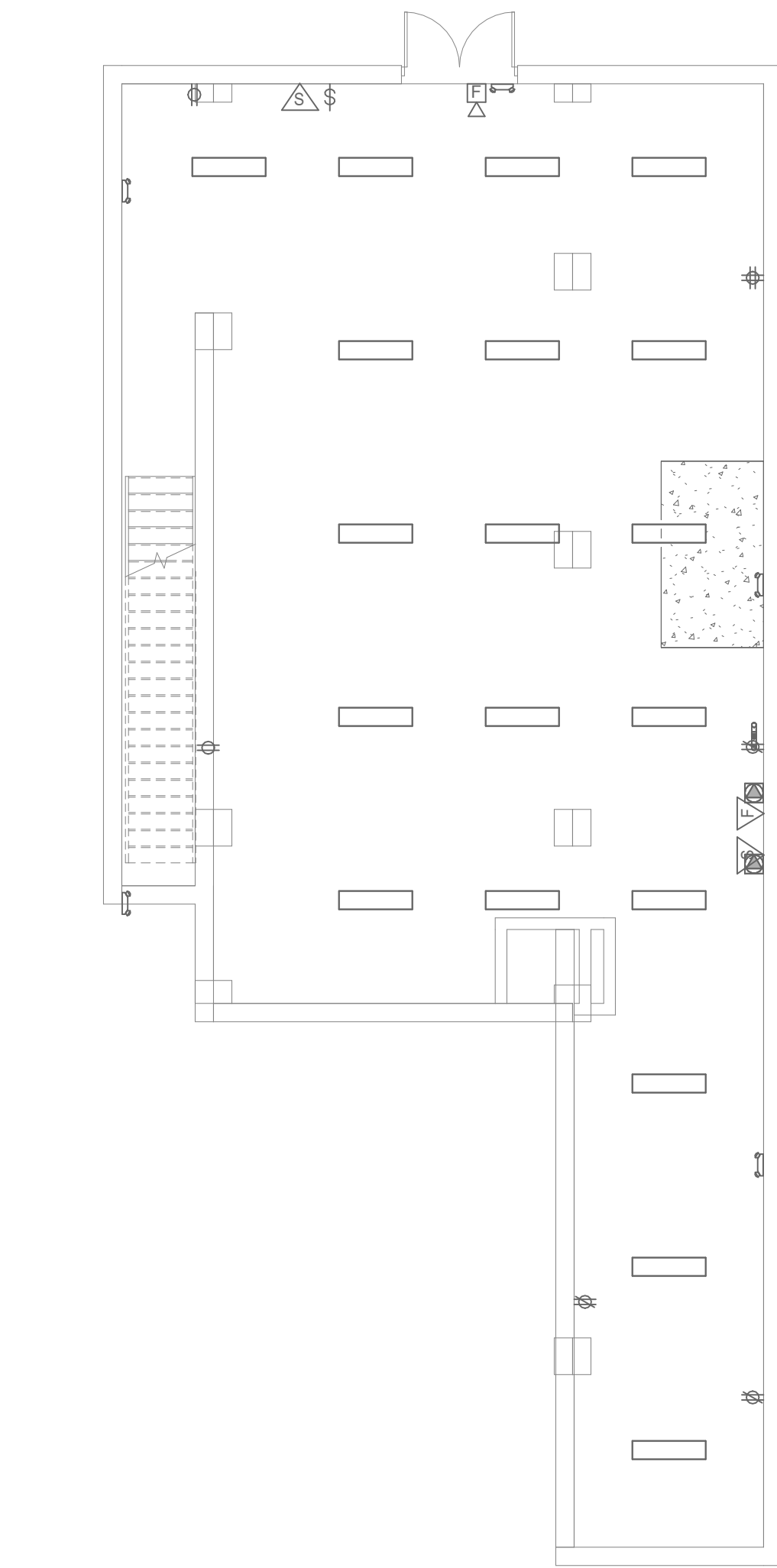
**3 ELECTRICAL DEMOLITION PLAN - MEZZANINE LEVEL - UNIT C**  
SCALE: 1/8" = 1'-0"



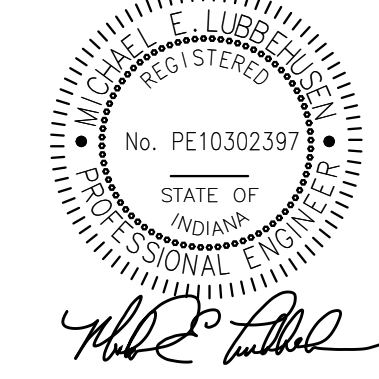
**1 ELECTRICAL DEMOLITION PLAN - FIRST FLOOR - UNIT C**  
SCALE: 1/8" = 1'-0"

- DEMOLITION PLAN NOTES**
1. DISCONNECT BRANCH CIRCUIT FROM AIR HANDLER. REMOVE ASSOCIATED VARIABLE SPEED DRIVE, CONDUCTORS AND CONDUIT BACK TO DRIVE. JUNCTION EXISTING BRANCH CIRCUIT, AS REQUIRED, TO BE EXTENDED TO NEW VARIABLE SPEED DRIVE.
  2. DISCONNECT FIRE ALARM CONTROL, CABLING FROM AIR HANDLER THAT SERVES DUCT DETECTOR SHUT-DOWN. JUNCTION CABLING, AS REQUIRED, TO EXTEND TO NEW AIR HANDLER.
  3. DISCONNECT GAS WATER HEATER. REMOVE ASSOCIATED DISCONNECT, CONDUCTORS AND CONDUIT BACK TO SOURCE.
  4. DISCONNECT TEMPERATURE CONTROL PANEL. JUNCTION BRANCH CIRCUIT, AS REQUIRED, TO BE EXTENDED TO NEW TEMPERATURE CONTROL PANEL.
  5. DISCONNECT UNIT HEATER. JUNCTION BRANCH CIRCUIT, AS REQUIRED, TO BE EXTENDED TO NEW UNIT HEATER.
  6. DISCONNECT FIRE ALARM CONTROL, CABLING FROM AIR HANDLER THAT SERVES DUCT DETECTOR SHUT-DOWN. REMOVE DUCT DETECTOR AND ASSOCIATED SAMPLING TUBE FROM DUCTWORK. JUNCTION CABLING, AS REQUIRED, TO EXTEND TO NEW AIR HANDLER.
  7. REMOVE LIGHT FIXTURE AND ASSOCIATED FIXTURE WHIP BACK TO JUNCTION BOX.

**2 ELECTRICAL DEMOLITION PLAN - BASEMENT - UNIT C**  
SCALE: 1/8" = 1'-0"



SUNMAN-DEARBORN COMMUNITY SCHOOLS  
BRIGHT ELEMENTARY SCHOOL  
22593 STATE LINE RD, LAWRENCEBERG, IN



REVISIONS:		DESC:	
#	DATE		
1	10/1/24	ADDENDUM #1	

100% CONSTRUCTION DOCUMENTS  
PROJECT: #19150  
DATE: 09/23/2024  
DRAWN BY: SBA

ELECTRICAL DEMOLITION PLANS - BASEMENT, FIRST FLOOR & MEZZ. - UNIT C  
**E101C**

PRIMARY JOB # 24586

**PRIMARY ENGINEERING INC.**  
Fort Wayne Indianapolis  
2828 Lake Ave. 8765 Conquest Blvd, Suite 103  
Fort Wayne, Indiana 46826 Indianapolis, Indiana 46206  
260-424-0444 (ph) 317-224-1221 (ph)  
info@primaryeng.com www.primaryeng.com

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LANCER ASSOCIATES ARCHITECTURE

145 NORTH EAST STREET  
INDIANAPOLIS, IN 46204





PLAN NOTES

1. EXTEND EXISTING UNSWITCHED BRANCH CIRCUIT, AS REQUIRED, TO CONNECT NEW EXIT SIGN.

LANCER ASSOCIATES ARCHITECTURE

145 NORTH EAST STREET  
INDIANAPOLIS, IN 46204

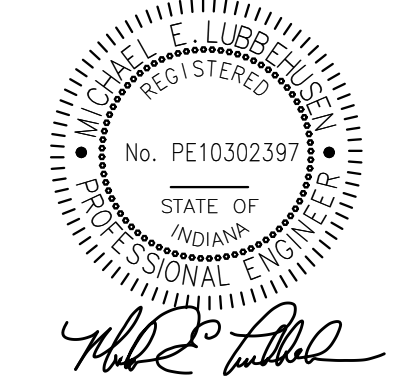
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SUNMAN-DEARBORN COMMUNITY SCHOOLS  
BRIGHT ELEMENTARY SCHOOL  
22593 STATE LINE RD, LAWRENCEBERG, IN



REVISIONS:	
#	Date
1	10/7/24

100% CONSTRUCTION DOCUMENTS

PROJECT: #19150  
DATE: 09/23/2024  
DRAWN BY: SBA

LIGHTING PLANS  
-BASEMENT,  
FIRST FLOOR &  
MEZZ. - UNIT C

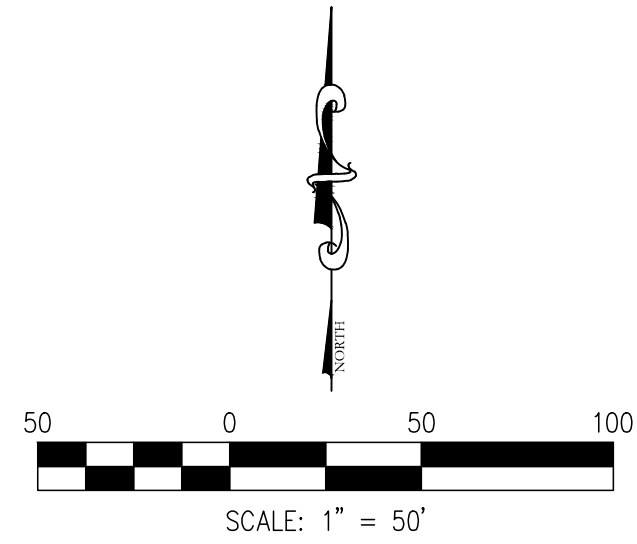
E301C

PRIMARY JOB # 24586



**NDES ADDENDUM #1 DRAWINGS**  
**10/11/24**





# EXISTING LEGEND

	POWERPOLE	-----800-----	CONTOURS
	POWERPOLE W/ RISER	_____	PROPERTY LINE
	POWERPOLE W/LIGHT	_____	SECTION LINE
	LIGHT POLE	_____	RIGHT-OF-WAY
	ELECTRIC METER	_____	EASEMENT
	ELECTRIC BOX	_____	ADJOINER LINE
	YARD LIGHT	_____	PAVEMENT LINE
	GUY WIRE	_____	FIELD LINE
	TELEPHONE MANHOLE	□ □ □	PRIVACY FENCE
	TELEPHONE RISER	○ ○	CHANKLIN FENCE
	WATER VALVE	/ / / /	SPLIT RAIL FENCE
	FIRE HYDRANT	x x x x	WIRE FENCE
	WELL	_____	DITCH
	WATER MANHOLE	G G G G	GAS LINE
	WATER METER	T T T T	TELEPHONE LINE
	GAS VALVE	v v	WATER LINE
	GAS METER	CIV CIV CIV CIV	CABLE TV LINE
	CABLE TV RISER	E E E E	ELECTRIC LINE
	CLEANOUT	OH OH OH OH	OVERHEAD UTILITY LINE
	SIGN	~~~~~	TREE LINE
	MAILBOX	⊙	SANITARY SEWER
	STORM ROUND INLET	⊙	W/MANHOLE
	STORM CURB INLET	⊙	STORM SEWER W/
	RIGHT-OF-WAY MARKER	⊙	MANHOLE & END SECTION
	TREE, BRUSH & STUMP	(D) DEED	(M) MEASURE
	TEMP. BENCHMARK	(PS) PLAT SURVY	
	MONUMENT FOUND		ASPHALT
			BUILDING
			CONCRETE
			GRAVEL
			REMOVAL/DEMOLISH

## TOPOGRAPHICAL NOTES

1. CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
2. UTILITIES ARE GRAPHICAL REPRESENTATION PER SURVEY AND MAPPING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR SERVICE DIS-CONNECTIONS.

## FLOODPLAIN INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS TRACT OF LAND DESCRIBED HEREON LIES WITHIN ZONE 'X' (AREAS OUTSIDE THE 500-YEAR FLOODPLAIN) AND IS NOT IN A SPECIAL FLOOD HAZARD AREA AS PLOTTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR DEARBORN & RIPLEY COUNTIES, INDIANA, COMMUNITY PANEL NO. 180038, 180596, & 180600, WHICH BEARS AN EFFECTIVE DATE OF APRIL 16, 2014.

## UTILITY CONTACTS

Note: Listed below are the Indiana Underground Plant Protection Services Contacts; Others not listed may exist. The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

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WATER	North Dearborn Water Corp.	Gary Gaynor	(812) 576-2177	ndw@northdearbornwater.com
GAS	Ohio Valley Gas Corp.		(765) 825-1148	
FIRE DEPARTMENT	IVFA District 19	Ben Sieverding	(812) 621-1150	district19@ivfa.org

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SECTION LINES, PROPERTY LINES, AND  
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IMAGERY. CONTRACTOR WILL NEED TO FIELD  
VERIFY BEFORE CONSTRUCTION BEGINS.

EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL, PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.





GENERAL NOTES

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPAIR ALL EXISTING WALLS, SLAB, AND CEILINGS TO A CONDITION SUITABLE FOR ACCEPTING NEW FINISHES AS PER MANUFACTURER'S RECOMMENDED INSTALLATION METHODS. MINIMUM LEVEL 4 FINISH ON EXISTING AND NEW WALLS, UNLESS NOTED OTHERWISE.
- B. ALL FLOORING TRANSITIONS TO COMPLY WITH ADA GUIDELINES AND TO OCCUR UNDER CENTER OF DOORWAYS AND OR AT CENTERLINE OF WALL, UNLESS INDICATED DIFFERENTLY ON FINISH PLANS. PROVIDE REDUCER STRIPS WHEREVER CARPET OR LVT MEET CONCRETE.
- C. CONTRACTOR TO PROVIDE PROTECTION AS NEEDED DURING CONSTRUCTION. IF, ANY, TO PERSERVE NEW FINISHES WHILE COMPLETING CONSTRUCTION.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS INDICATED ON THE FINISH PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND DESIGNERS. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL, UNLESS NOTED OTHERWISE.
- E. WHERE WALLS ARE INDICATED TO RECEIVE PAINT FINISH, PRIME AND PAINT GRILLES, FIRE EXTINGUISHER CABINETS, AND OTHER ITEMS EMBEDDED IN WALL CONSTRUCTION TO MATCH SURFACE ON WHICH THEY OCCUR.
- F. CONTRACTOR TO PROVIDE DRYWALL REVEAL JOINT WHERE DRYWALL MEETS DISSIMILAR MATERIALS.
- G. CONTRACTOR TO PROVIDE SCHLUTER EDGE WHERE TILE MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- H. DO NOT INSTALL GYPSUM BOARD BEHIND TILE BACKER BOARD LOCATIONS.
- I. IF ONLY PAINT IS INDICATED AS THE FINISH, REFER TO ARCHITECTURAL FLOOR PLANS FOR SUBSTRATE INFORMATION.
- J. ALL MECHANICAL CLOSETS TO HAVE A SEALED CONCRETE FLOOR FINISH. PROVIDE RESILIENT TRANSITION STRIP TO MATCH RB-1.
- K. ALL WALLS, COLUMNS, AND CEILINGS TO BE PAINTED PT-1, UNLESS NOTED OTHERWISE.

FINISH LEGEND

NOTES

ETR EXISTING TO REMAIN  
TBD TO BE DETERMINED

FLOOR COVERING

**RESILIENT FLOOR**  
EPX-1: MFG: SHERWIN WILLIAMS HIGH PERFORMANCE FLOORING  
TYPE: RESUFLO DECOR QUARTZ BC23  
EPOXY SYSTEM  
COLOR: MIX TO MATCH EXISTING, SIMILAR COLOR TO PEBBLED PATH. DESIGNER TO APPROVE BEFORE INSTALL.  
INSTALL: MONOLITHIC, 6" INTEGRAL COVE  
BASE, REF. SPECS  
LOCATION: RESTROOM  
CONTACT: KAREN E. GALVIN 317-714-5610

RUB-1: MFG: NORA  
TYPE: RUBBER SHEET  
PATTERN: NORAPLAN CONVIA  
COLOR: PEARL GRAY 7351  
INSTALL: MONOLITHIC, 6" INTEGRAL COVE  
BASE, REF. SPECS  
LOCATION: QUIET ROOM  
CONTACT: ROB GROM 317-764-9025

WALL BASE

**RESILIENT BASE**  
RB-1: MFG: TARKETT JOHNSONITE  
TYPE: 4" RESILIENT WALL BASE  
COLOR: 20 CHARCOAL  
LOCATION: TYPICAL, UNLESS NOTED OTHERWISE  
REMARKS: TO PATCH EXISTING BASE AS NEEDED.

RB-2: MFG: NORA  
TYPE: INTEGRAL RUBBER WALL BASE  
PATTERN: NORAPLAN CONVIA  
COLOR: PEARL GRAY 7351  
INSTALL: MONOLITHIC, 6" INTEGRAL COVE  
BASE, REF. SPECS  
LOCATION: QUIET ROOM  
REMARKS: CAP RUBBER BASE WITH SCHLUTER RONDEC-MC TRIM. COLOR TO BE ANODIZED ALUMINUM BRUSHED NICKEL.  
CONTACT: ROB GROM 317-764-9025

**EPOXY BASE**  
EB-1: MFG: SHERWIN WILLIAMS HIGH PERFORMANCE FLOORING  
TYPE: RESUFLO DECOR QUARTZ BC23  
EPOXY SYSTEM  
COLOR: MIX TO MATCH EXISTING, SIMILAR COLOR TO PEBBLED PATH. DESIGNER TO APPROVE BEFORE INSTALL.  
INSTALL: MONOLITHIC, 6" INTEGRAL COVE  
BASE, REF. SPECS  
LOCATION: RESTROOM  
CONTACT: KAREN E. GALVIN 317-714-5610

PAINT/WALL FINISH

**PAINT**  
PT-1: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: TO MATCH SCHOOL STANDARD WHITE WALL PAINT  
TYPICAL  
REMARKS: COLOR AND SHEEN TO MATCH SCHOOL STANDARD CLASSROOM WALL PAINT. COLOR TO BE APPROVED BY DESIGNER.

**WALL TILE**  
WT-1: MFG: DALTILE  
TYPE: 12" X 24" GLAZED PORCELAIN TILE  
PATTERN: VOLUME 1.0  
COLOR: STEREO GREY VL73  
GROUT: MAPEI 83 WARM GRAY  
INSTALL: HORIZONTAL 1/3 OFFSET  
LOCATION: RESTROOM WALLS  
CONTACT: ROBIN BRADFORD 317-846-0823



SUNMAN-DEARBORN COMMUNITY SCHOOL CORP.  
NORTH DEARBORN ELEM SCHOOL RENOVATION  
27650 SAWMILL RD,  
WEST HARRISON, IN 47060



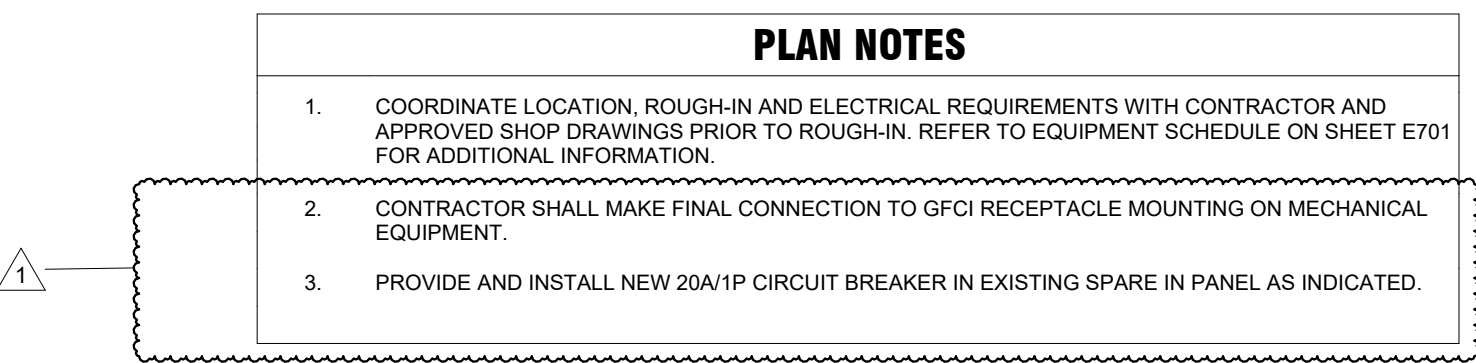
REVISIONS:			
#	Date	Desc.	Revision
1	Date 1		Revision 1

100% CONSTRUCTION DOCUMENTS	
PROJECT:	#23138
DATE:	09/26/2024
DRAWN BY:	Author

FINISH LEGEND

LANCER ASSOCIATES  
ARCHITECTURE  
145 N EAST STREET  
INDIANAPOLIS, IN 46204





LANCER ASSOCIATES  
ARCHITECTURE

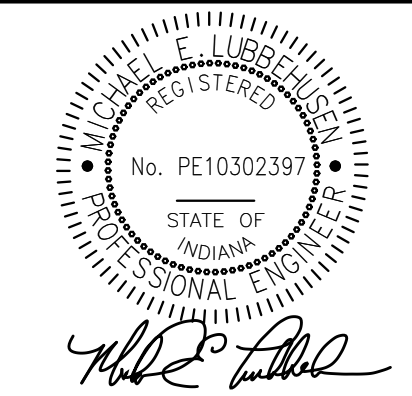
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SUNMAN-DEARBORN COMMUNITY SCHOOL CORP.  
NORTH DEARBORN ELEM SCHOOL RENOVATION  
27650 SAWMILL RD, WEST HARRISON, IN 47060



#	Date	Desc.
1	10/17/18	ADDENDUM #1

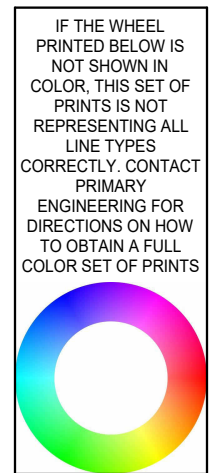
<b>100% CONSTRUCTION DOCUMENTS</b>	
PROJECT: #23138	
DATE: 09/23/2024	
DRAWN BY: RHA	

POWER AND  
SYSTEMS PLAN  
- MEZZANINE -  
UNIT C

E202C

PRIMARY JOB # 24587


PLOT DATE/TIME: 10/8/2024 10:50:37 AM Autodesk Docs:\24587 SDCS North Dearborn ES\_Remo\587 SDCS North Dearborn ES\_Elec\_v23.rvt





Plot Date/Time: 10/20/24 10:50:37 AM Autodesk AutoCAD 2024 15023 North Davidson ES Revit.dwg 10/20/24 North Davidson ES\_Rvt\_02.rvt

IF THE WHEN PRINTED BELOW IS NOT SHOWN IN COLOR, THE SET OF PRINTS IS NOT REPRESENTING ALL LINE TYPES CORRECTLY. CONTACT PRIMARY ENGINEERING FOR DIRECTION ON HOW TO OBTAIN A FULL COLOR SET OF PRINTS.

LIGHT FIXTURE SCHEDULE									
TAG	MANUFACTURER'S CATALOG NUMBER	MAX. WATTS	MOUNT	MIN. LUMEN OUTPUT *(D/I)	CCT	CRI	DESCRIPTION	REMARKS	
L1	ALS #LPTW-4-WH-UD NEW STAR #AGG-G-24-OP-UN-TW0-CW56WATTS LITHONIA #CPXTW 2X4 TUWH RHYR 6000LM 80CRI SWL MVOLT NLT	56	RECESSED	4750-5250	2700K-6000K	80	120-277V, 2'X4' COLOR TUNNING FLAT PANEL, ELECTRONIC 0-10V DIMMING DRIVER WITH RANGE FROM 100% TO 10%. UL LISTED		
L1A	SAME AS L1 EXCEPT WITH EMERGENCY BATTERY INVERTER								
L2	METALUX #24FSL29CT3-MED COLUMBIA #CFP24-L5CS LITHONIA #CPX-2X4-AL08-80CRI-SWW7-SWL-MVOLT	40	RECESSED	4,291	4000	80	120-277V, 2'X4' LED FLAT PANEL WITH SELECTABLE LUMENS AND COLOR TEMPERATURE. 0-10V ELECTRONIC DIMMING TO 10% UL LISTED. COLOR TEMPERATURE AND LUMEN OUTPUT TO BE SET AT FACTORY AS INDICATED.		
L2A	SAME AS L2 EXCEPT WITH EMERGENCY BATTERY INVERTER								
GENERAL REMARKS:									
1. CONTRACTOR SHALL REFER TO DRAWINGS FOR LOCATIONS THAT REQUIRE DRYWALL FRAMES FOR RECESSED FIXTURES.									

LIGHTING SENSOR SCHEDULE					
TAG	MANUFACTURER'S CATALOG NUMBER	INPUT VOLTAGE	MOUNT	REMARKS	REMARKS
O1	WATTSTOPPER #DT-300 SENSOR SWITCH #CM-POT-3-R GREENGATE #04C-DT-R HUBBELL #OMNI-DT-XXXX-RP	24V	CEILING	DUAL TECHNOLOGY CEILING SENSOR WITH A COMBINATION OF ULTRASONIC AND PASSIVE INFRARED. SENSOR TO BE EQUIPPED WITH SELF-ADJUSTING TECHNOLOGY AND ISOLATED RELAY OUTPUTS. SENSOR SHALL OPERATE AS AUTOMATIC 'ON' AND AUTOMATIC 'OFF' WITH A 15 MINUTE TIME DELAY.	1
PP	WATTSTOPPER #B2150 SENSOR SWITCH #PP20 GREENGATE #SP20-MV HUBBELL	120/277V	4 SQUARE BOX ABOVE ACCESSIBLE CEILING	POWER PACK TO OPERATE LOW VOLTAGE (24VDC) OCCUPANCY SENSORS. RELAY TO BE 20A RATED.	
REMARKS: 1. PROVIDE POWER PACKS AS REQUIRED TO OPERATE LIGHTING AS SHOWN ON FLOOR PLANS 2. 120/277V SENSOR IN LIEU OF POWER PACK IS ACCEPTABLE.					
GENERAL NOTES: 1. CEILING MOUNTED OCCUPANCY SENSORS SHALL BE INSTALLED 6'-0" AWAY FROM ANY SUPPLY DIFFUSERS, COORDINATE WITH MECHANICAL CONTRACTOR.					

EQUIPMENT SCHEDULE														
EQUIPMENT DESIGNATION	EQUIPMENT LOCATION	EQUIPMENT LOAD	VOLTAGE/PHASE	CIRCUIT INFORMATION		DISCONNECT					VARIABLE FREQUENCY/SPEED DRIVE (VFD/VSD)		REMARKS	
				CONDUIT AND CONDUCTOR SIZE	BRANCH CIRCUIT DESIGNATION	PROVIDED BY	TESTED OR NON-FUSED	REMA ENCLOSURE	WIRING METHOD	WIRING SIZE	WIRING RATING	COUNTDOWN MOUNTED CONTROLS (H/L)		PROVIDED BY
ACCU-A1	UNIT B	20 MCA	480V/3PH	3/4"C-3-#10, 1-#10G	14C1-14(16,18)	EC	F	3R	20A	30A				1
ACCU-B1	UNIT A	47.7 MCA	480V/3PH	1/2"C-3-#8, 1-#10G	24B(27,29)	EC	F	3R	60A	100A				1
B-1	UNIT C	7.5 MCA	480V/3PH	3/4"C-3-#12, 1-#12G	14E2-1(3,5)									1.5
B-2	UNIT C	7.5 MCA	480V/3PH	3/4"C-3-#12, 1-#12G	14E2-7(9,11)									1.5
EF-1	UNIT C	2.0 HP	208V/1PH	3/4"C-3-#12, 1-#12G	12E2-37(39)	INT								2
EF-2	RM 224B	128 W	120V/1PH	3/4"C-2-#12, 1-#12G	22A1-38	EC	NF	1	20A					6
MAU-1	UNIT C	5.0 HP	208V/3PH	3/4"C-3-#8, 1-#10G	12DK1-28(30,32)									1.4
P-1	UNIT C	15.0 HP	480V/3PH	3/4"C-3-#8, 1-#10G	14E2-25(27,29)							MC	EC	1.3
P-2	UNIT C	15.0 HP	480V/3PH	3/4"C-3-#8, 1-#10G	14E2-31(33,35)							MC	EC	1.3
SCHEDULE ABBREVIATIONS														
A	AMPACITY	HLO	HIGH/LOW/OFF SWITCH	MHLO	MOMENTARY HIGH/LOW/OFF SWITCH									
EC	ELECTRICAL CONTRACTOR	HOA	HAND/OFF/AUTO	NF	NON-FUSED									
EX	EXISTING EQUIPMENT	HP	HORSE POWER	O	OWNER FURNISHED AND INSTALLED									
F	FUSED	INT	INTEGRAL WITH EQUIPMENT	RLA	RUNNING LOAD AMPS									
FLA	FULL LOAD AMPS	LOR	LOCAL/OFF REMOTE SWITCH	S	ON/OFF SWITCH									
FVNR	FULL VOLTAGE NON-REVERSING	M	MOMENTARY ON/OFF SWITCH	W	WATTS									
FVR	FULL VOLTAGE REVERSING	MC	MECHANICAL CONTRACTOR	XA/YP	X AMP CIRCUIT BREAKER, Y POLE									
G	GENERAL CONTRACTOR	MCA	MIN CIRCUIT AMPACITY	XAF	SWITCH WITH X AMP FUSE(S)									
HL	HIGH/LOW SWITCH	MHL	MOMENTARY HIGH/LOW SWITCH											
REMARKS														
1. EXTEND EXISTING BRANCH CIRCUITS, AS REQUIRED, CONNECT NEW UNIT.														
2. PROVIDE AND INSTALL NEW 20A/3P CIRCUIT BREAKER TO SERVE NEW EXHAUST FAN. CONTRACTOR SHALL TERMINATE EXHAUST FAN TO TWO (2) PHASE OF CIRCUIT BREAKER.														
3. REPLACE EXISTING 30A/3P CIRCUIT BREAKER WITH NEW 40A/3P CIRCUIT BREAKER.														
4. REPLACE EXISTING 60A/3P WITH NEW 60A/3P CIRCUIT BREAKER.														
5. INTERCEPT EXISTING BRANCH CIRCUIT AND ROUTE THROUGH NEW CONTRACTOR FOR BOILER SHUT-OFF.														
6. PROVIDE POWER PACK AND WIRE TO LOW VOLTAGE OCCUPANCY SENSOR SERVING RESTROOMS.														

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REVISIONS:	#	DATE	DESC.
	1	10/7/24	ADDENDUM #1

100% CONSTRUCTION DOCUMENTS	
PROJECT:	#23138
DATE:	09/23/2024
DRAWN BY:	RHA

SCHEDULES

E701

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2828 Lake Ave.  
Fort Wayne, Indiana 46802  
260-424-0444 (ph)  
info@primary-eng.com

Indianapolis  
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Indianapolis, Indiana 46256  
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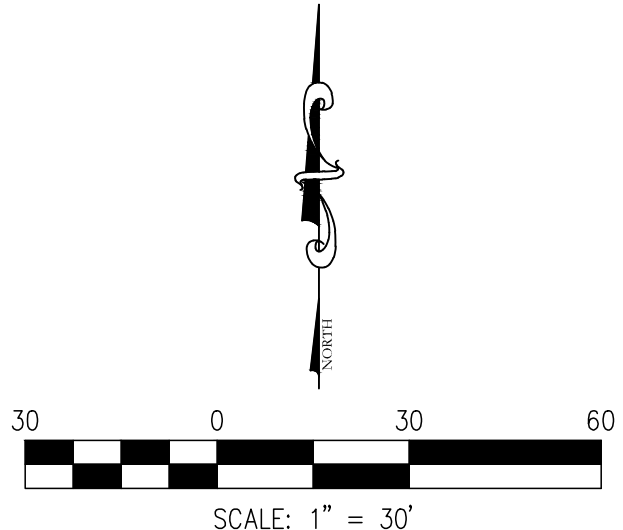


**SES ADDENDUM #1 DRAWINGS**  
**10/11/24**



DIRECTORY PATH : R:\Active\Users\Brida\Summen-Dearborn\Design\CD\Plans  
DATE/USER : 10/10/2024 2:42 PM / Broughan

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EXISTING LEGEND	
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	POWERPOLE W/ RISER
	POWERPOLE W/ LIGHT
	LIGHT POLE
	ELECTRIC METER
	ELECTRIC BOX
	YARD LIGHT
	GUY WIRE
	TELEPHONE MANHOLE
	TELEPHONE RISER
	WATER VALVE
	FIRE HYDRANT
	WELL
	WATER MANHOLE
	WATER METER
	GAS VALVE
	GAS METER
	CABLE TV RISER
	CLEANOUT
	SIGN
	MAILBOX
	STORM ROUND INLET
	STORM CURB INLET
	RIGHT-OF-WAY MARKER
	TREE, BUSH & STUMP
	TEMP. BENCHMARK
	MONUMENT FOUND
	CONTOURS
	PROPERTY LINE
	SECTION LINE
	RIGHT-OF-WAY
	EASEMENT
	ADJONER LINE
	PAVEMENT LINE
	FIELD LINE
	PRIVACY FENCE
	CHAINLINK FENCE
	SPLIT RAIL FENCE
	WIRE FENCE
	DITCH
	GAS LINE
	TELEPHONE LINE
	WATER LINE
	CABLE TV LINE
	ELECTRIC LINE
	OVERHEAD UTILITY LINE
	SANITARY SEWER W/ MANHOLE
	STORM SEWER W/ MANHOLE & END SECTION
	PLAT SURVEY
	ASPHALT
	BUILDING
	GRAVEL
	REMOVAL/DEMOLISH

TOPOGRAPHICAL NOTES	
1. CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.	
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AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL  
BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD  
VERIFY ALL SIZING AND MATERIAL INFORMATION  
PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM  
THAT INFORMATION SHOWN ON THE PLANS, THE  
CONTRACTOR SHALL, PRIOR TO THE INSTALLATION  
OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE  
DESIGN ENGINEER IMMEDIATELY.



		Development Consultants 101 N. 10th Street, Suite 200 • Indianapolis, IN 46204-1010		SHEET		SES 200	
SUNMAN ELEM. TOPOGRAPHIC SURVEY		SUNMAN-DEARBORN COMMUNITY SCHOOLS		JOB NO.		DRAWN	
				DATE		DESIGNED	
				SEPTEMBER 24, 2024		BTW	
				APPR.		GJJ	
				CHECKED		GJJ	
				DEP		BTW	
				NO.		DATE	
				1		10/10/2024	
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GENERAL NOTES

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPAIR ALL EXISTING WALLS, SLAB, AND CEILINGS TO A CONDITION SUITABLE FOR ACCEPTING NEW FINISHES AS PER MANUFACTURER'S RECOMMENDED INSTALLATION METHODS. MINIMUM LEVEL 4 FINISH ON EXISTING AND NEW WALLS, UNLESS NOTED OTHERWISE.
- B. ALL FLOORING TRANSITIONS TO COMPLY WITH ADA GUIDELINES AND TO OCCUR UNDER CENTER OF DOORWAYS AND OR AT CENTERLINE OF WALL, UNLESS INDICATED DIFFERENTLY ON FINISH PLANS. PROVIDE REDUCER STRIPS WHEREVER CARPET OR LVT MEET CONCRETE.
- C. CONTRACTOR TO PROVIDE PROTECTION AS NEEDED DURING CONSTRUCTION. IF, ANY, TO PERSERVE NEW FINISHES WHILE COMPLETING CONSTRUCTION.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS INDICATED ON THE FINISH PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND DESIGNERS. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL, UNLESS NOTED OTHERWISE.
- E. WHERE WALLS ARE INDICATED TO RECEIVE PAINT FINISH, PRIME AND PAINT GRILLES, FIRE EXTINGUISHER CABINETS, AND OTHER ITEMS EMBEDDED IN WALL CONSTRUCTION TO MATCH SURFACE ON WHICH THEY OCCUR.
- F. CONTRACTOR TO PROVIDE DRYWALL REVEAL JOINT WHERE DRYWALL MEETS DISSIMILAR MATERIALS.
- G. CONTRACTOR TO PROVIDE SCHLUTER EDGE WHERE TILE MEETS DISSIMILAR MATERIALS. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- H. DO NOT INSTALL GYPSUM BOARD BEHIND TILE BACKER BOARD LOCATIONS.
- I. IF ONLY PAINT IS INDICATED AS THE FINISH, REFER TO ARCHITECTURAL FLOOR PLANS FOR SUBSTRATE INFORMATION.
- J. ALL MECHANICAL CLOSETS TO HAVE A SEALED CONCRETE FLOOR FINISH. PROVIDE RESILIENT TRANSITION STRIP TO MATCH RB-1.
- K. ALL WALLS, COLUMNS, AND CEILINGS TO BE PAINTED PT-1, UNLESS NOTED OTHERWISE.

FINISH LEGEND

NOTES

ETR EXISTING TO REMAIN  
TBD TO BE DETERMINED

FLOOR COVERING

**CARPET TILE**  
CPT-1: MFG: INTERFACE  
TYPE: 50CM X 50CM CARPET TILE  
PATTERN: AE311  
COLOR: 104672 GREIGE  
INSTALL: MATCH EXISTING SCHOOL STANDARD  
LOCATION: CLASSROOMS  
REMARKS: TO PATCH EXISTING CARPET AS NEEDED  
CONTACT: JAE PARK 317-459-8762

WOM-1: MFG: MANNINGTON  
TYPE: 24"x24" CARPET TILE  
PATTERN: RECOARSE II  
COLOR: 1516 BYPASS BLACK  
INSTALL: NON-DIRECTIONAL  
LOCATION: VESTIBULES  
CONTACT: NEIL MACK 317-800-0680

WALL BASE

**RESILIENT BASE**  
RB-1: MFG: TARKETT JOHNSONITE  
TYPE: 4" RESILIENT WALL BASE  
COLOR: 48 GRAY  
LOCATION: CLASSROOMS  
REMARKS: NEW KNEE WALLS AND TO PATCH EXISTING BASE AS NEEDED.

PAINT/WALL FINISH

**PAINT**  
PT-1: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW1053 LIGHT MOVES  
LOCATION: TYPICAL

PT-2: MFG: SHERWIN WILLIAMS  
TYPE: REF. SPECS FOR TYPE  
COLOR: SW6666 SUNRISE  
LOCATION: ACCENT  
REMARKS: TO PATCH EXISTING PAINT AS NEEDED.

MISC.

**SOLID SURFACE**  
SS-1: MFG: CORIAN  
TYPE: 1/2" SOLID SURFACE  
COLOR: SILVER BIRCH  
INSTALL: MONOLITHIC, HORIZONTAL GRAIN  
LOCATION: NEW COUNTERTOPS

**WINDOW TREATMENTS**  
TEX-1: MFG: MECO SYSTEMS  
TYPE: MOTORIZED ROLLER SHADE - 3% OPENNESS, TENSIONED SKYLIGHTER  
COLOR: SCH01600  
PATTERN: DOVE GREY  
LOCATION: ART  
REMARKS: PROVIDE SIDE CHANNELS OR GUIDE CABLES

SUNMAN-DEARBORN COMM. SCHOOL CORP.  
RENOVATIONS TO SUNMAN ELEMENTARY SCHOOL  
925 N Meridian St, Sunman, IN 47041



REVISIONS:			
#	Date	Desc.	Revision 1
1	Date 1		Revision 1

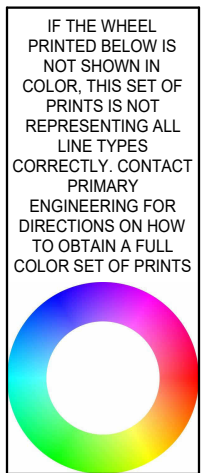
100% CONSTRUCTION DOCUMENTS	
PROJECT: #23138	
DATE: 09/26/2024	
DRAWN BY: Author	

FINISH LEGEND

LANCER ASSOCIATES  
ARCHITECTURE  
145 N EAST STREET  
INDIANAPOLIS, IN 46204



Plot Date/Time: 10/20/2024 10:42:29 AM Autodesk Docs:2545488-SDCS Sunman ES Revise08-SDCS Sunman ES\_Rvw\_0214



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SCALE: 1/16" = 1'-0"

0 8 16 24 32  
SCALE: 3/32" = 1'-0"

0 8 16 24  
SCALE: 1/8" = 1'-0"

0 4 8 12  
SCALE: 1/4" = 1'-0"

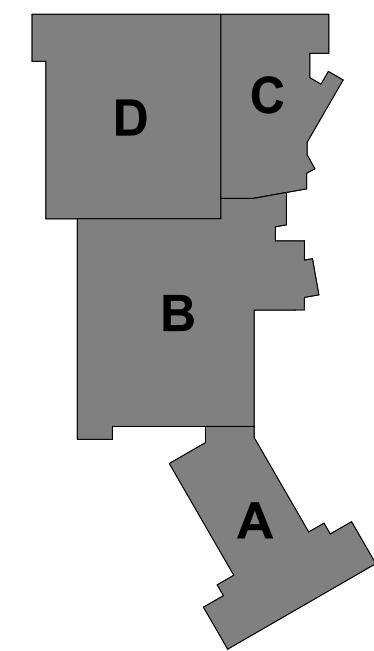
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SCALE: 3/4" = 1'-0"

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SCALE: 1" = 1'-0"

# 1 POWER AND SYSTEMS PLAN - ROOF - OVERALL

SCALE: 1" = 20'-0"

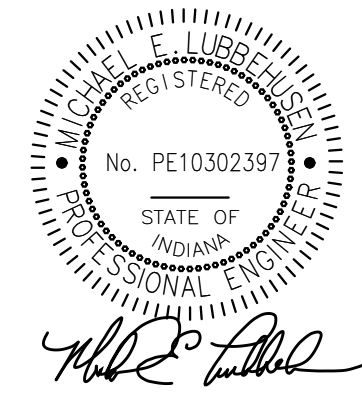


POWER AND SYSTEMS PLAN  
- ROOF -  
OVERALL

E202

PRIMARY JOB # 24588

SUNMAN-DEARBORN COMM. SCHOOL CORP.  
RENOVATIONS TO SUNMAN ELEMENTARY SCHOOL  
925 N Meridian St, Sunman, IN 47041



REVISIONS:	
#	Desc.
1	XXXXXXXXX ADDENDUM #1

100% CONSTRUCTION DOCUMENTS

PROJECT: #23138  
DATE: 08/23/2024  
DRAWN BY: RHA

POWER AND SYSTEMS PLAN  
- ROOF -  
OVERALL

E202

PRIMARY JOB # 24588



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PLAN NOTES

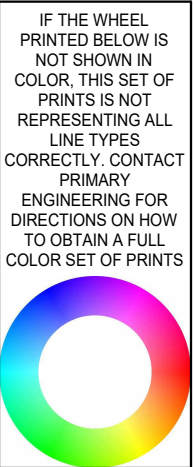
- COORDINATE LOCATION, ROUGH-IN AND ELECTRICAL REQUIREMENTS WITH CONTRACTOR AND APPROVED SHOP DRAWINGS PRIOR TO ROUGH-IN. REFER TO EQUIPMENT SCHEDULE ON SHEET E701 FOR ADDITIONAL INFORMATION.
- MAKE FINAL CONNECTIONS TO LIGHTING AND RECEPTACLE CIRCUIT ON MECHANICAL EQUIPMENT. PROVIDE AND INSTALL NEW 25A/1P CIRCUIT BREAKER IN EXISTING SPARE IN PANEL AS INDICATED.

LANCER ASSOCIATES  
ARCHITECTURE

145 NORTH EAST STREET  
INDIANAPOLIS, IN 46204



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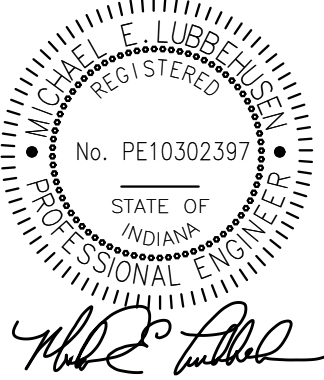


THE WHEN  
PRINTED BELOW IS  
NOT SHOWN IN  
COLOR. THE SET OF  
PRINTS IS NOT  
REPRESENTING ALL  
LINE TYPES  
CORRECTLY. CONTACT  
PRIMARY  
ENGINEERING FOR  
DIRECTION ON HOW  
TO OBTAIN A FULL  
COLOR SET OF PRINTS.

EQUIPMENT SCHEDULE												
EQUIPMENT DESIGNATION	EQUIPMENT LOCATION	EQUIPMENT LOAD	VOLTAGE/PHASE	CIRCUIT INFORMATION		DISCONNECT					VARIABLE FREQUENCY SPEED DRIVE (VFD/VSD)	REMARKS
				CONDUIT AND CONDUCTOR SIZE	BRANCH DESIGNATION	PROVIDED BY	FUSED OR UNFUSED	NEMA ENCLOSURE	DISCONNECT SWITCH SIZE	FUSE RATING	EQUIPMENT MOUNTED CONTROL PANEL	
B-1	RM. B131B	8.1 MCA	480V/3PH	3/4"C,3-#12.1-#12G	14B2-14(16,18)							1
B-2	RM. B131B	8.1 MCA	208V/3PH	3/4"C,3-#12.1-#12G	14B2-20(22,24)							1
ACCU-1	ROOF	40 MCA	480V/3PH	3/4"C,3-#8,1-#10G	14AD9-8(10,12)	EC	NF	3R	65A			1
ACCU-2	ROOF	28 MCA	480V/3PH	3/4"C,3-#10,1-#10G	14BDP-7	EC	F	3R	30A	30A		1
ACCU-3	ROOF	40 MCA	480V/3PH	3/4"C,3-#8,1-#10G	14BDP-8	EC	NF	3R	65A			1
ACCU-6	ROOF	11 MCA	208V/1PH	3/4"C,3-#10,1-#10G	12B5-1(9)	EC	NF	3R	30A			11
EF-1	ROOF	2.0 HP	208V/1PH	3/4"C,3-#12.1-#12G	12B5-25(27)	INT						8
FCU-1	UNIT B	1.58 FLA	120V/1PH	3/4"C,3-#12.1-#12G	12B5-29	INT						4
MAU-1	ROOF	18.8 MCA	208V/3PH	3/4"C,4-#10,1-#10G	12AK1-22(24,...)	INT						12
HVAC-1	UNIT B	1.0 MCA	208V/1PH	3/4"C,3-#12.1-#12G	ACCU-6	EC	NF	1	20A			9
DBP-1	RM. B131B	29 FLA	480V/3PH	3/4"C,3-#8,1-#10G	14B2-19(21,23)						INT	2
P-1	RM. B131B	15.0 HP	480V/3PH	3/4"C,3-#8,1-#10G	14B2-2(4,6)						MC	EC 3
P-2	RM. B131B	15.0 HP	480V/3PH	3/4"C,3-#8,1-#10G	14B2-8(10,12)						MC	EC 3
RTU-1	ROOF	45.6 MCA	480V/3PH	1"C,3-#6,1-#8G	14CDP-7	INT						1
RTU-2	ROOF	20.0 MCA	480V/3PH	3/4"C,3-#10,1-#10G	14CDP-10	INT						1.6
RTU-3	ROOF	33.0 MCA	480V/3PH	3/4"C,3-#8,1-#10G	14CDP-2	INT						1.5
RF-1	ROOF	2 HP	208V/1PH	3/4"C,3-#12.1-#12G	12B5-31(33,35)	INT						10
RF-2	ROOF	1 HP	120V/1PH	3/4"C,2-#12.1-#12G	12B5-32	INT						4
RF-3	ROOF	1 HP	120V/1PH	3/4"C,2-#12.1-#12G	12B5-34	INT						4
RF-4	ROOF	1 HP	120V/1PH	3/4"C,2-#12.1-#12G	12C1-35	INT						4
RF-5	ROOF	1 HP	120V/1PH	3/4"C,2-#12.1-#12G	12D3-19	INT						4
RF-6	ROOF	2 HP	208V/1PH	3/4"C,3-#12.1-#12G	12D3-21(23,25)	INT						10
UH-1	RM. B131B	1/3 HP	120V/1PH	3/4"C,2-#12.1-#12G	12B4-36	INT						1
UV-1	RM. 106	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14A1-25	INT						4
UV-2	RM. 106	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14A1-26	INT						4
UV-3	RM. 109	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14A1-27	INT						4
UV-4	RM. 110	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14A1-29	INT						4
UV-5	RM. 124	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14A1-30	INT						4
UV-6	RM. 126	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14A1-31	INT						4
UV-7	RM. 128	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14A1-32	INT						4
UV-8	RM. 129	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14B2-37	INT						4
UV-9	RM. 130	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14B2-38	INT						4
UV-10	RM. 131	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14B2-39	INT						4
UV-11	RM. 155b	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14C1-23	INT						4
UV-12	RM. 155a	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14C1-25	INT						4
UV-13	RM. 153	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14C1-27	INT						4
UV-14	RM. 151	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14D2-13	INT						4
UV-15	RM. 148	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14D2-15	INT						4
UV-16	RM. 146	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14D2-17	INT						4
UV-17	RM. 145	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14D2-19	INT						4
UV-18	RM. 144	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14D2-21	INT						4
UV-19	RM. 143	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14B1-28	INT						4
UV-20	RM. 141	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14B1-30	INT						4
UV-21	RM. 140	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14B1-32	INT						4
UV-22	RM. 139	4.23 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14B1-34	INT						4
UV-23	RM. 138	6.08 MCA	277V/1PH	3/4"C,2-#12.1-#12G	14B1-36	INT						4
VAV-1	UNIT C	1.0 KW	120V/1PH	3/4"C,2-#12.1-#12G	14C1-21	EC	NNF	1	20A			4
GWH-1	RM. B131B	15 MCA	120V/1PH	3/4"C,2-#12.1-#12G	12B5-17	EC	NF	1	20A			4
		3/4 HP	208V/3PH	3/4"C,3-#12.1-#12G	12B5-19(21,23)							7
GWH-2	RM. B131B	15 MCA	120V/1PH	3/4"C,2-#12.1-#12G	12B5-18	EC	NF	1	20A			4
		3/4 HP	208V/3PH	3/4"C,3-#12.1-#12G	12B5-20(22,24)							7
SCHEDULE ABBREVIATIONS												
A	AMPACITY	HLO	HIGH/LOW/OFF SWITCH	MHLO	MOMENTARY HIGH/LOW/OFF SWITCH							
EC	ELECTRICAL CONTRACTOR	HOA	HAND/OFF/AUTO	NF	NON-FUSED							
EX	EXISTING EQUIPMENT	HP	HORSE POWER	O	OWNER FURNISHED AND INSTALLED							
F	FUSED	INT	INTEGRAL WITH EQUIPMENT	RLA	RUNNING LOAD AMPS							
FLA	FULL LOAD AMPS	LOR	LOCAL/OFF REMOTE SWITCH	S	ON/OFF SWITCH							
FVNR	FULL VOLTAGE NON-REVERSING	M	MOMENTARY ON/OFF SWITCH	W	WATTS							
FVR	FULL VOLTAGE REVERSING	MC	MECHANICAL CONTRACTOR	XA/YP	X AMP CIRCUIT BREAKER, Y POLE							
G	GENERAL CONTRACTOR	MCA	MIN CIRCUIT AMPACITY	XAF	SWITCH WITH X AMP FUSE(S)							
HL	HIGH/LOW SWITCH	MHL	MOMENTARY HIGH/LOW SWITCH									
REMARKS												
1. EXTEND EXISTING BRANCH CIRCUIT, AS REQUIRED, TO CONNECT TO NEW MECHANICAL EQUIPMENT												
2. REPLACE EXISTING 40A/3P CIRCUIT BREAKER WITH NEW 20A/3P CIRCUIT BREAKER.												
3. REPLACE EXISTING 40A/3P CIRCUIT BREAKER WITH NEW 30A/3P CIRCUIT BREAKER.												
4. PROVIDE AND INSTALL NEW 20A/1P CIRCUIT BREAKER IN EXISTING SPACE AS INDICATED.												
5. REPLACE EXISTING 60A/3P CIRCUIT BREAKER WITH NEW 45A/3P CIRCUIT BREAKER.												
6. REPLACE EXISTING 30A/3P CIRCUIT BREAKER WITH NEW 25A/3P CIRCUIT BREAKER.												
7. PROVIDE AND INSTALL NEW 20A/3P CIRCUIT BREAKER IN EXISTING SPACE AS INDICATED.												
8. PROVIDE AND INSTALL NEW 20A/3P CIRCUIT BREAKER TO SERVE NEW EXHAUST FAN. CONTRACTOR SHALL TERMINATE EX-HAUST FAN TO TWO (2) PHASE OF CIRCUIT BREAKER.												
9. CONNECT INDOOR UNIT THROUGH OUTDOOR ACCU UNIT.												
10. PROVIDE AND INSTALL NEW 20A/3P CIRCUIT BREAKER IN EXISTING SPACE AS INDICATED. CONTRACTOR SHALL TERMINATE FAN TO TWO (2) PHASES OF CIRCUIT BREAKER.												
11. REPLACE EXISTING 20A/2P CIRCUIT BREAKER WITH NEW 25A/2P CIRCUIT BREAKER.												

SUNMAN-DEARBORN COMM. SCHOOL CORP.  
RENOVATIONS TO SUNMAN ELEMENTARY SCHOOL

925 N Meridian St, Sunman, IN 47041



REVISIONS:			
#	DATE	DESCRIPTION	
1	XXXXXX	ADDENDUM #1	

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DATE: 09/23/2024  
DRAWN BY: RHA

SCHEDULES

E701

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