



A D D E N D U M

Project No.: 2501101
Project: EACS Restroom Renovations

Addendum No: 02
Date: 04/02/2025

TO: ALL BIDDERS OF RECORD

ADDENDUM NO. 02, to Drawings and Specifications dated 03/12/2025, for the EACS Restroom Renovations for the East Allen County Schools; as prepared by ELEVATUS Architecture, 111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802

This ADDENDUM shall hereby be and become a part of the Contract Documents the same as if originally bound thereto.

The following clarifications, amendments, additions, revisions, changes, and modifications change the original Contract Documents only in the amount and to the extent hereinafter specified and set forth in this ADDENDUM.

Each Bidder shall acknowledge receipt of this ADDENDUM on the Bid Form.

DRAWINGS:

ITEM NO. 1.01 - DRAWING NO. A-001 Architectural Information Sheet

- A. Addition of vertical grab bars to ambulatory stall diagram on the Accessibility Diagrams.

ITEM NO. 1.02 - DRAWING NO. AD101 Architectural Demolition Plan – First Floor

- A. Addition of Demolition Plan Note 3.15 to Demolition Plan Notes Schedule.
- B. Addition of Demolition Plan Note 3.15 to First Floor Architectural Demolition Plan – Base Bid.
- C. Revision to Demolition Plan Note 3.13 on Demolition Plan Notes Schedule.
- D. Revision to the location of Demolition Plan Note 3.13 on First Floor Architectural Demolition Plan – Base Bid.

ITEM NO. 1.03 - DRAWING NO. A-111 Architectural Notation Plan – First Floor

- A. Addition of vertical grab bars in ambulatory stall in Girls RR.
- B. Revision of toilet partition door swing on ambulatory stall in Girls RR.
- C. Addition of ambulatory stall and associated grab bars in Boys RR.
- D. Revision of ADA toilet partition in Boys RR.
- E. Revision to location of Floor Plan Note 10.04 in Boys RR.

ITEM NO. 1.04 - DRAWING NO. A-121 Reflected Ceiling & Finishes Plans – First Floor

- A. Removal of "Alternate #1" text from Boys RR room on First Floor Reflected Ceiling Plan.
- B. Removal of "Alternate #1" text from Boys RR room on First Floor Finishes Plan.
- C. Revision of toilet partition layout in Girls RR and Boys RR rooms on First Floor Finishes Plan.

ITEM NO. 1.05 - Mechanical and Electrical Addendum

A. See supporting documentation.

BIDDING RFI LOG:

RFI 001

QUESTION: Could you please tell me if they are wanting new Sloan valves for all the fixtures on the plumbing schedule it just says existing? Are they requiring American made products on this project?

RESPONSE: The existing flush valves are to be reused for the project, as they are relatively new. No, American made products are not required.

Submitted By:

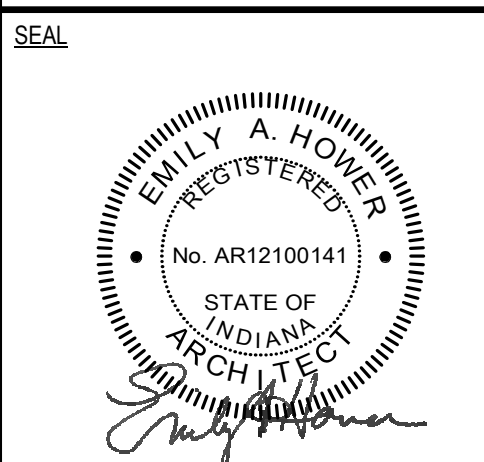
Abigail Redick, WELL AP, Assoc. IIDA

ELEVATUS
ARCHITECTURE

cc: File: "G:\002025\2501101 EACS Outbuildings and Restrooms\0800 Bidding\0810 Addenda\04-02-2025_Addendum #2\Supporting Docs\04-02-2025_EACS Restroom Renovations_Add 02.docx"
 Owner:
 Contractor:
 Consultant:
 Consultant:



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PROJECT NO. 2501101
ISSUE DATE: March 12, 2025
SUBMITTAL: Issue for Bids, Permits, and Construction

Architectural Information Sheet

East Allen County Schools
Restroom Renovations
13608 Monroeville Rd.
Monroeville, IN 46773

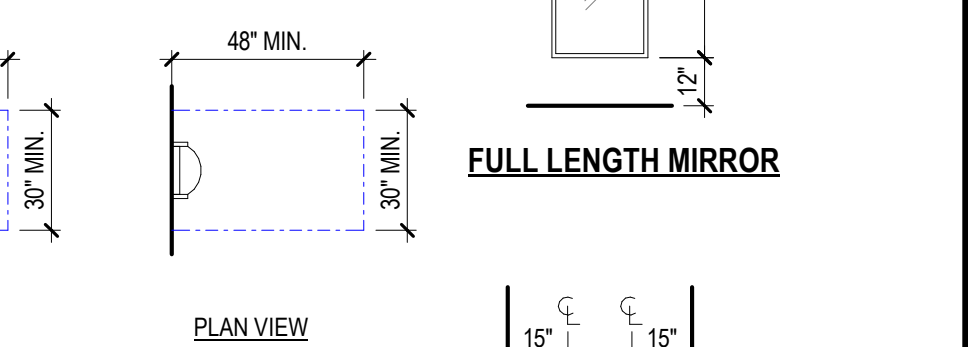
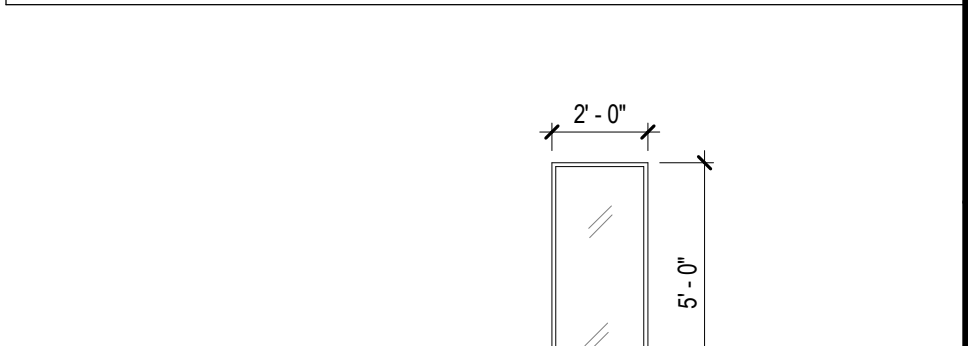
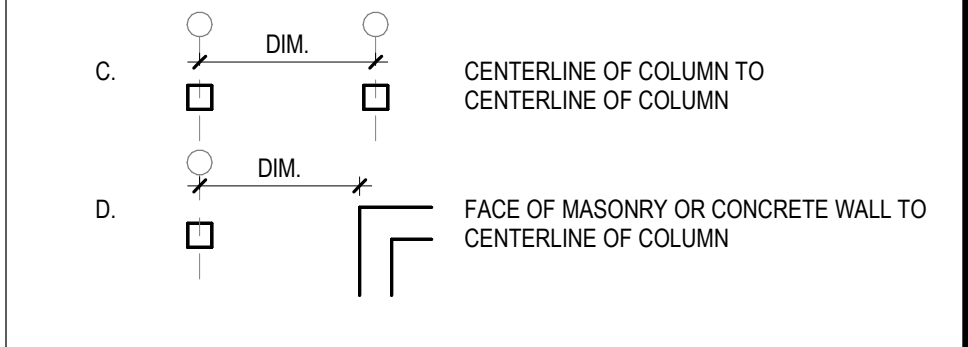
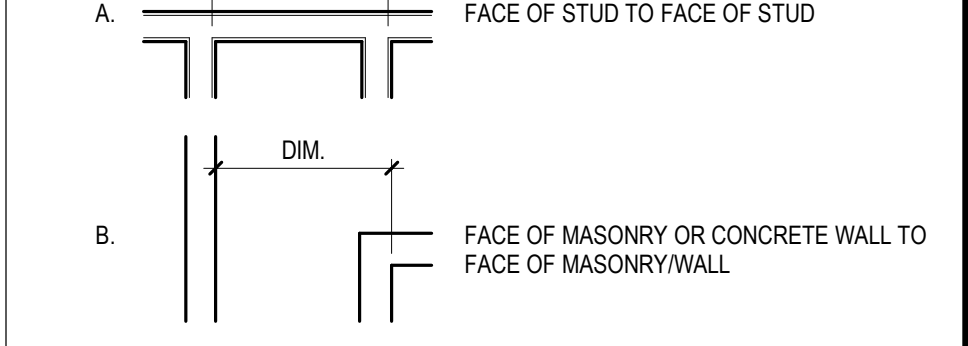
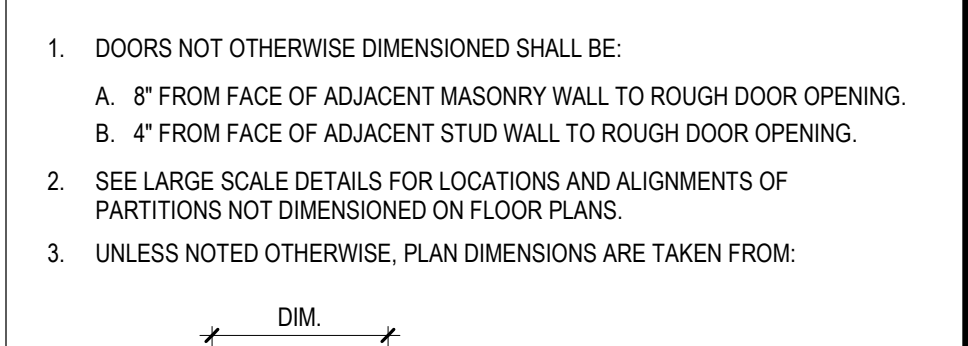
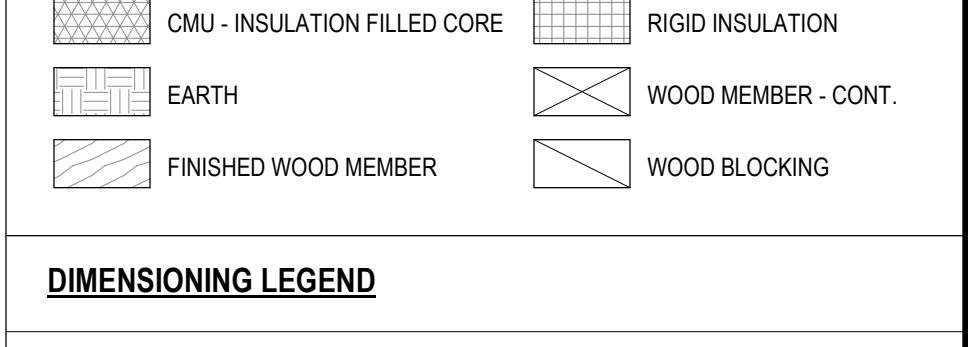
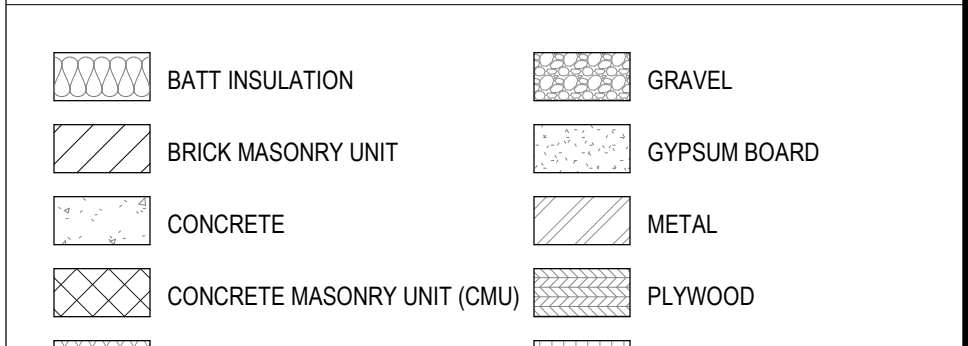
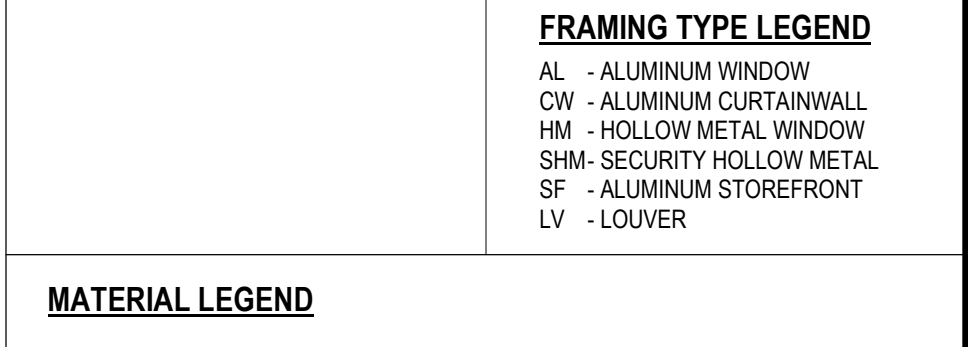
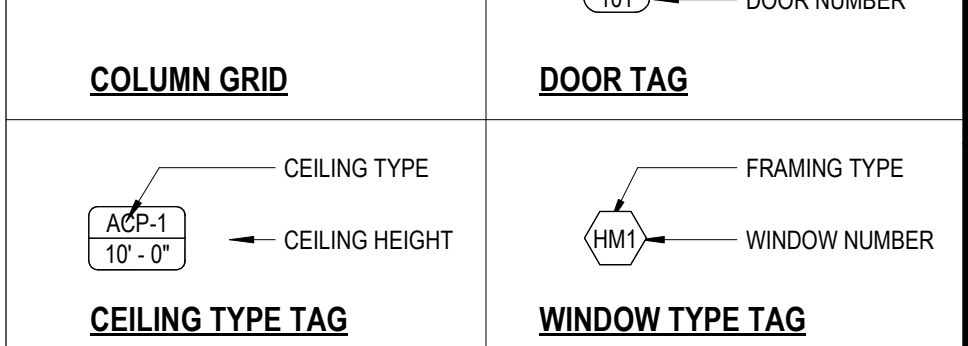
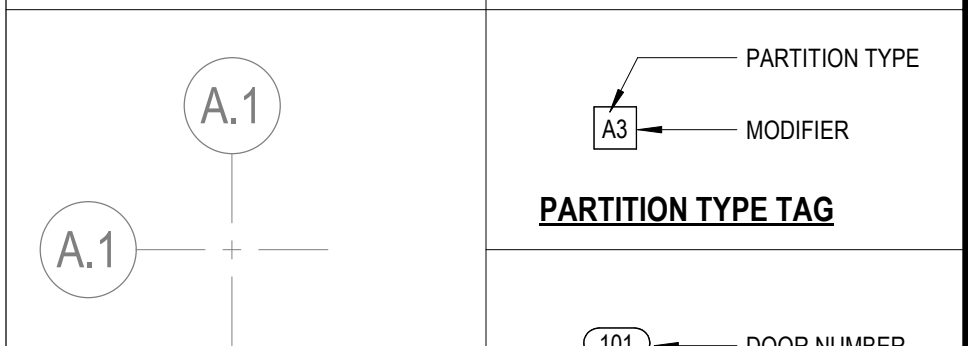
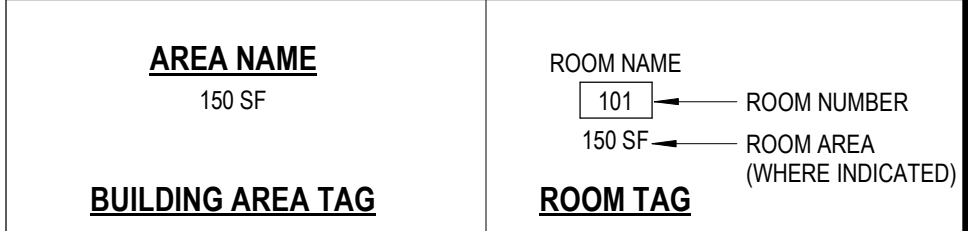
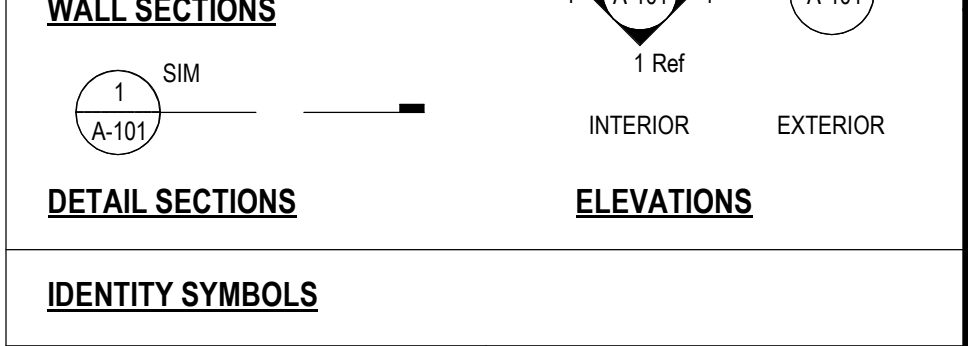
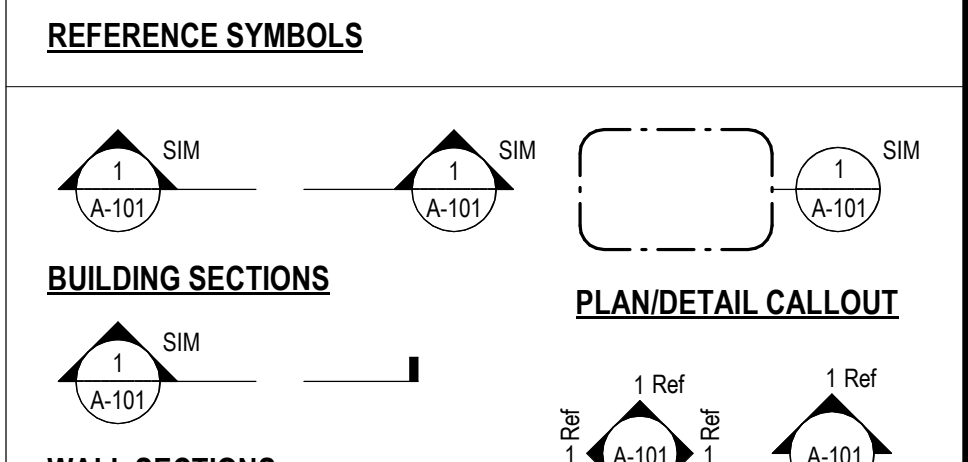
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PROJECT NO. 2501101
ISSUE DATE: March 12, 2025
SUBMITTAL: Issue for Bids, Permits, and Construction

Architectural Information Sheet

A-001

DRAWING CONVENTIONS



DESIGN CRITERIA table with columns: RATING, UL DESIGN #, STC, STC W/ SAB. Rows for 1 HR, 2 HR, 3 HR ratings.

CONSTRUCTION table with columns: SUFFIX, CMU SIZE, OVERALL WIDTH. Rows for 4, 6, 8, 10, 12 inch suffixes.

ABBREVIATIONS

Table of abbreviations for architectural elements, materials, and construction details.

Table of abbreviations for materials and construction details.

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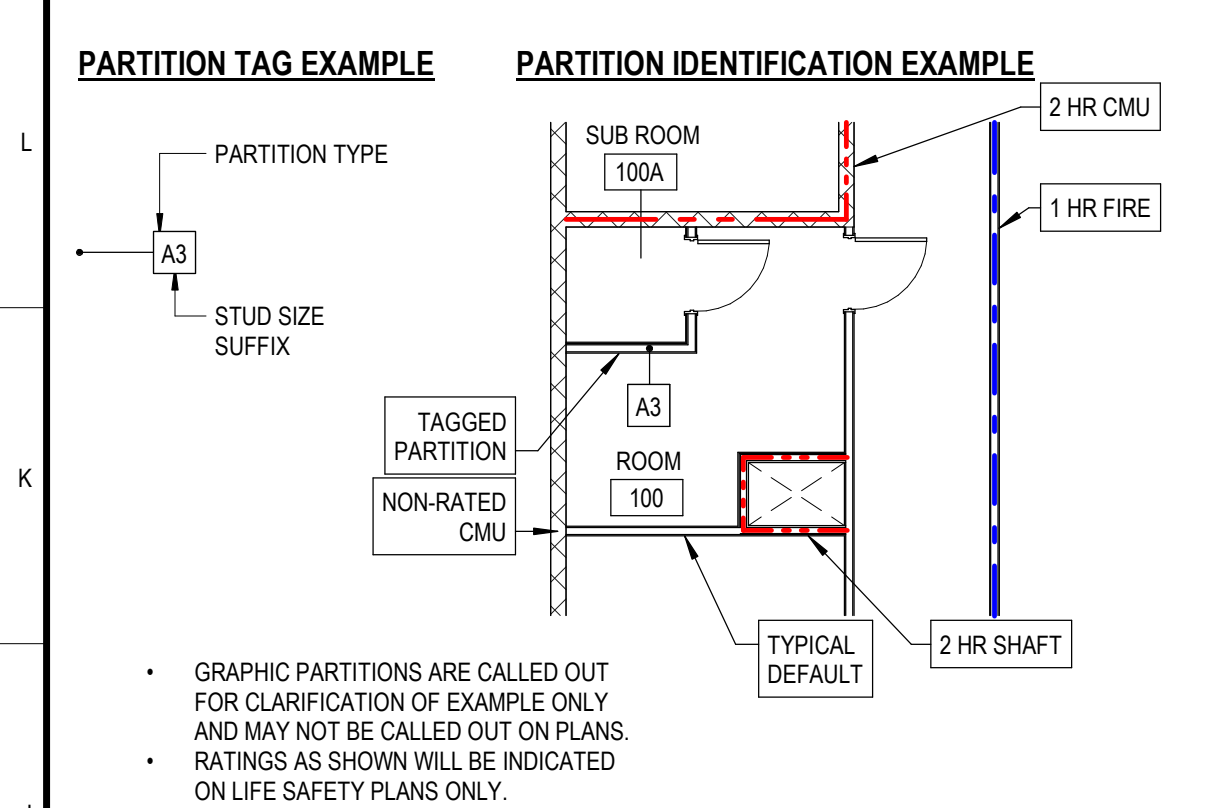
Table of abbreviations for materials and construction details.

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- GRAPHIC PARTITIONS ARE CALLED OUT FOR CLARIFICATION OF EXAMPLE ONLY AND MAY NOT BE CALLED OUT ON PLANS. RATINGS AS SHOWN WILL BE INDICATED ON LIFE SAFETY PLANS ONLY.

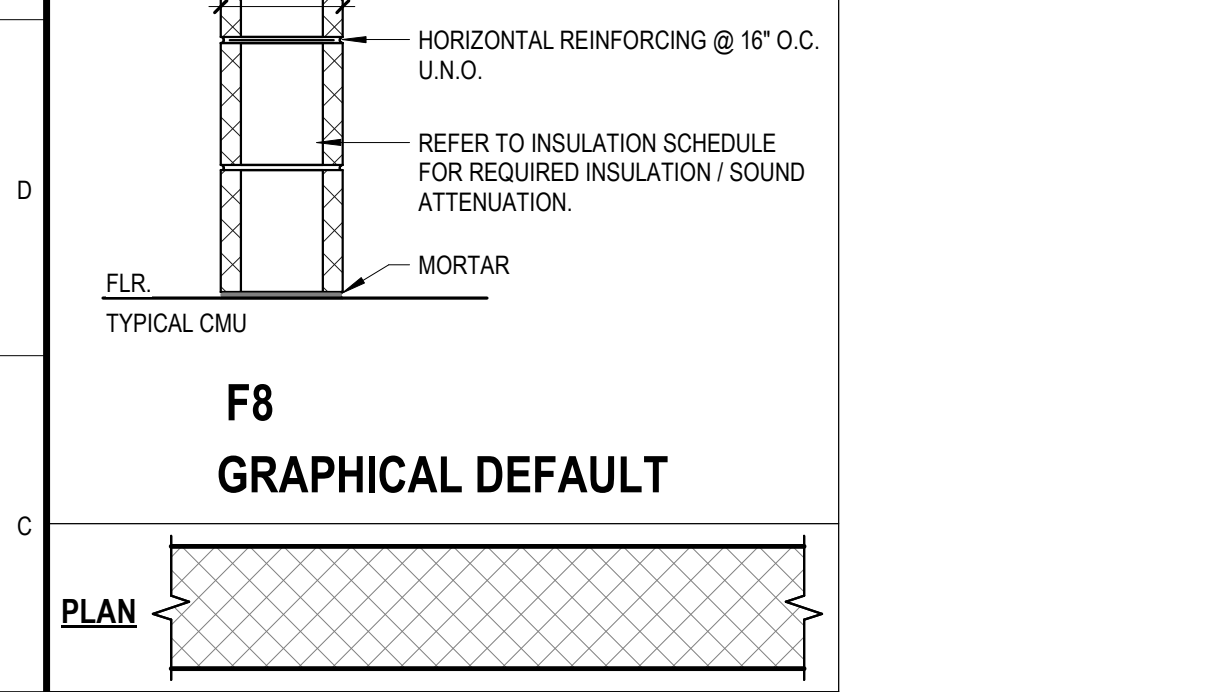
GENERAL NOTES - PARTITION TYPES

- 1. ALL PARTITION TYPES MAY NOT BE USED. REFER TO PLANS FOR APPLICABLE PARTITIONS.
2. F.L.R., C.L.G. AND STRUCT. DELINEATED IN PARTITION WALL SECTIONS ARE DIAGRAMMATIC AND DO NOT REFLECT EXACT CONSTRUCTION.
3. ALL NON-RATED PARTITIONS SHALL HAVE SEALANT AT THE HEAD, SILL, THROUGH PENETRATIONS, OPENINGS AND JUNCTURES WITH DISSIMILAR MATERIALS.

GENERAL NOTES - PARTITIONS

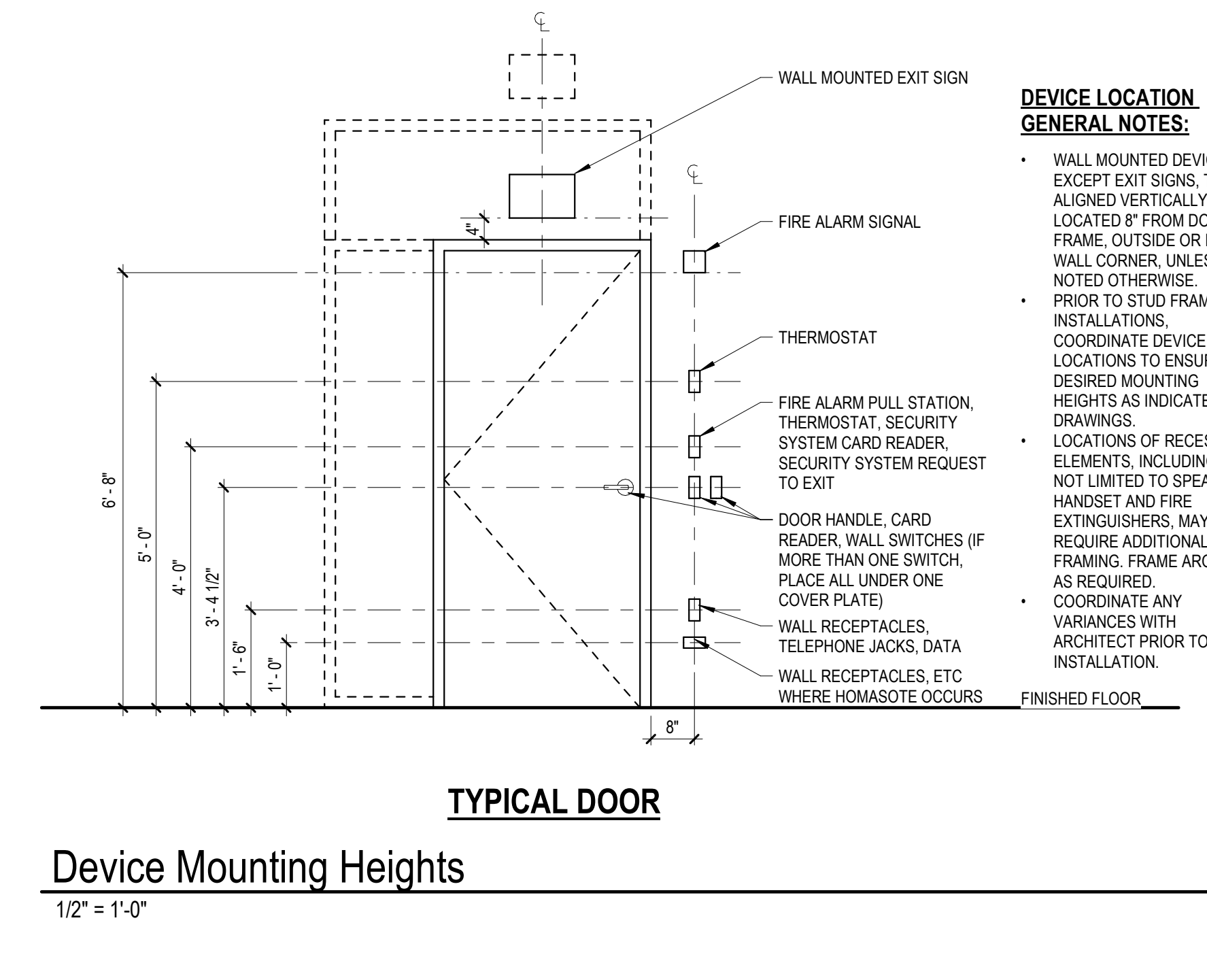
- 1. ALL PARTITION FRAMING FOR INTERIOR PARTITIONS ARE METAL STUDS UNLESS NOTED OTHERWISE AND DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.
2. ALL RATED PARTITIONS SHALL CONTINUE THROUGH THE INTERIOR FACE OF EXTERIOR WALL GYP. BD. AND SEAL TO THE INSIDE FACE OF THE EXTERIOR WALL SHEATHING OR MASONRY.
3. WHERE THICKNESS VARIES BETWEEN TWO PARTITIONS IN AN UNINTERRUPTED CONTINUOUS WALL PLANE - OFFSET STUDS AND ALIGN FACE OF PARTITION.

PARTITION TYPE F

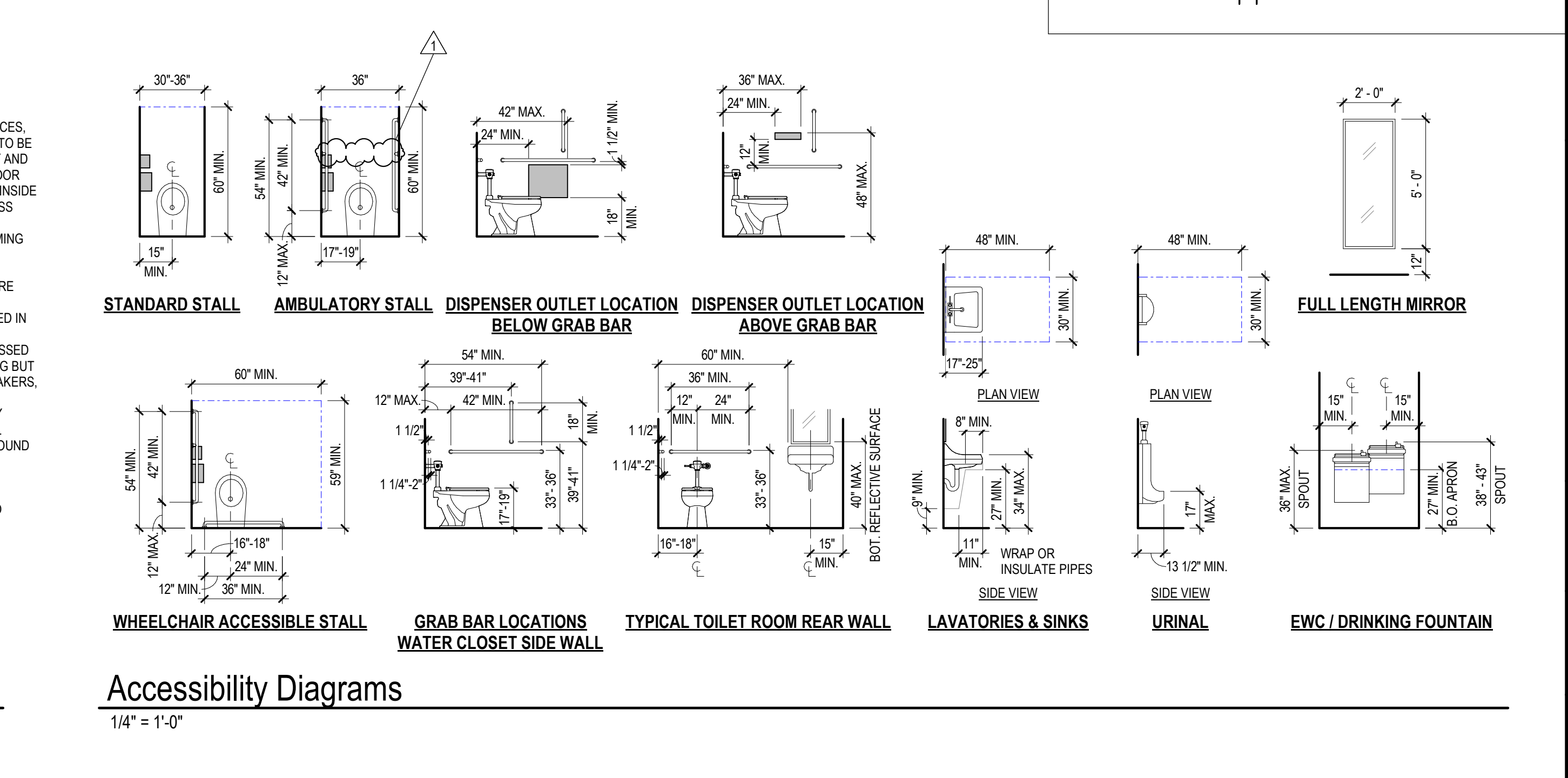


DESIGN CRITERIA table with columns: RATING, UL DESIGN #, STC, STC W/ SAB. Rows for 1 HR, 2 HR, 3 HR ratings.

CONSTRUCTION table with columns: SUFFIX, CMU SIZE, OVERALL WIDTH. Rows for 4, 6, 8, 10, 12 inch suffixes.



Device Mounting Heights
1/2" = 1'-0"



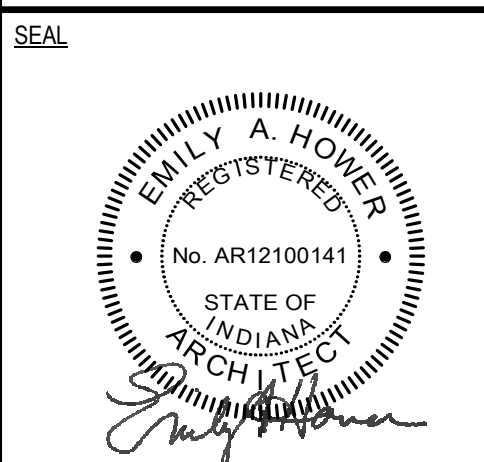
Accessibility Diagrams
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

- DEMOLITION PLANS SHALL SERVE TO AID IN EVALUATION OF THE WORK AND EXTENT OF DEMOLITION BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE. FIELD VERIFY EXISTING CONDITIONS, DEMOLITION AND REMOVALS AS REQUIRED FOR INSTALLATION OF THE NEW WORK AND FINISHES INDICATED WHETHER OR NOT SPECIFICALLY NOTED IN THESE DRAWINGS.
- SCHEDULE DEMOLITION WORK EFFECTING OCCUPIED AREAS OF THE FACILITY IN ADVANCE WITH THE OWNER THROUGH GENERAL CONTRACTOR.
- FINISH REMOVAL NOTES APPLY TO PARTITIONS/WALLS THAT REMAIN. REMOVE ALL FINISHES FROM WALLS THAT REMAIN WITHIN THE LIMIT OF CONSTRUCTION, UNLESS NOTED OTHERWISE.
- WHERE WALLS, PARTITIONS, FLOORING, ACCESSORIES OR OTHER TYPES OF CONSTRUCTION ARE REMOVED, PATCH AND REPAIR ADJACENT AREAS AS REQUIRED TO RECEIVE NEW CONSTRUCTION OR FINISHES AND TO MATCH ADJACENT SURFACES. MAINTAIN ALL EXISTING AND REQUIRED FIRE RATED CONSTRUCTION THROUGHOUT.
- WHERE NEW FLOOR FINISHES ARE SCHEDULED OR INDICATED, REMOVE ALL EXISTING FLOOR FINISHES AND PREPARE & CLEAN SLAB TO RECEIVE NEW FLOOR FINISHES IN ACCORDANCE WITH THE NEW FLOOR FINISH MANUFACTURER'S WRITTEN RECOMMENDATIONS UNLESS NOTED OTHERWISE. PROPER PREPARATION OF EXISTING SURFACES SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF ACCUMULATED ADHESIVES & MASTICS, FILLING AND REPAIR OF CRACKS & VOIDS, SURFACE RESTORATION, THOROUGH CLEANING, ETC. & OTHER PROCEDURES AS MAY BE RECOMMENDED BY MANUFACTURER OF NEW FLOORING.
- UNLESS NOTED OTHERWISE, REMOVE ALL EXISTING ACCESSORIES & HARDWARE. PATCH & REPAIR ALL SURFACES TO RECEIVE NEW FINISHES.
- OFFER REMOVED ITEMS SUCH AS DOORS, HARDWARE, PLUMBING FIXTURES AND TOILET ACCESSORIES TO OWNER BEFORE REMOVAL FROM THE SITE. DETERMINE SALVAGE ITEMS WITH THE OWNER BEFORE DEMOLITION BEGINS. ALL ITEMS NOT DESIRED BY OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF OFF SITE.
- PROTECT ALL ITEMS TO REMAIN AND REPAIR/REPLACE ANY DAMAGED ITEMS OR CONSTRUCTION. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH OTHER TRADES.
- CAP AND ROUTE EXISTING UTILITY SERVICES LOCATED IN WALLS, CEILING, OR FLOORS TO BE REMOVED, AS REQUIRED FOR NEW CONDITIONS AND IN ACCORDANCE WITH APPLICABLE CODES. SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- HOLES LEFT IN CONCRETE FLOORS FROM REMOVED ITEMS SUCH AS PLUMBING PIPES, CONDUITS, ETC. SHALL BE PATCHED BY GENERAL CONTRACTOR.
- REFER TO ENGINEERING DRAWINGS FOR RELATED WORK AND ITEMS TO BE REMOVED OR RE-INSTALLED IN NEW CONSTRUCTION. COORDINATE TEMPORARY LIGHTING, COMMUNICATION AND MECHANICAL SYSTEMS WITH OTHER TRADES. MAINTAIN ALL LIFE SAFETY DEVICES.
- REMOVE ABANDONED UTILITY SERVICES, SUCH AS ELECTRICAL, PLUMBING, GAS LINES, AND MECHANICAL DUCTWORK, DISCOVERED AND NOT SCHEDULED FOR REUSE BACK TO THEIR SOURCE INCLUDING ALL HANGARS, STRAPS, WIRES, ETC.). MAINTAIN ANY SYSTEM SERVING ADJACENT BUILDING AREAS THAT ARE NOT INCLUDED IN THE CONTRACT, REROUTE AS REQUIRED. SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE ALL NECESSARY DEMOLITION OF EXISTING CONSTRUCTION FOR NEW UTILITY SERVICES AS REQUIRED.

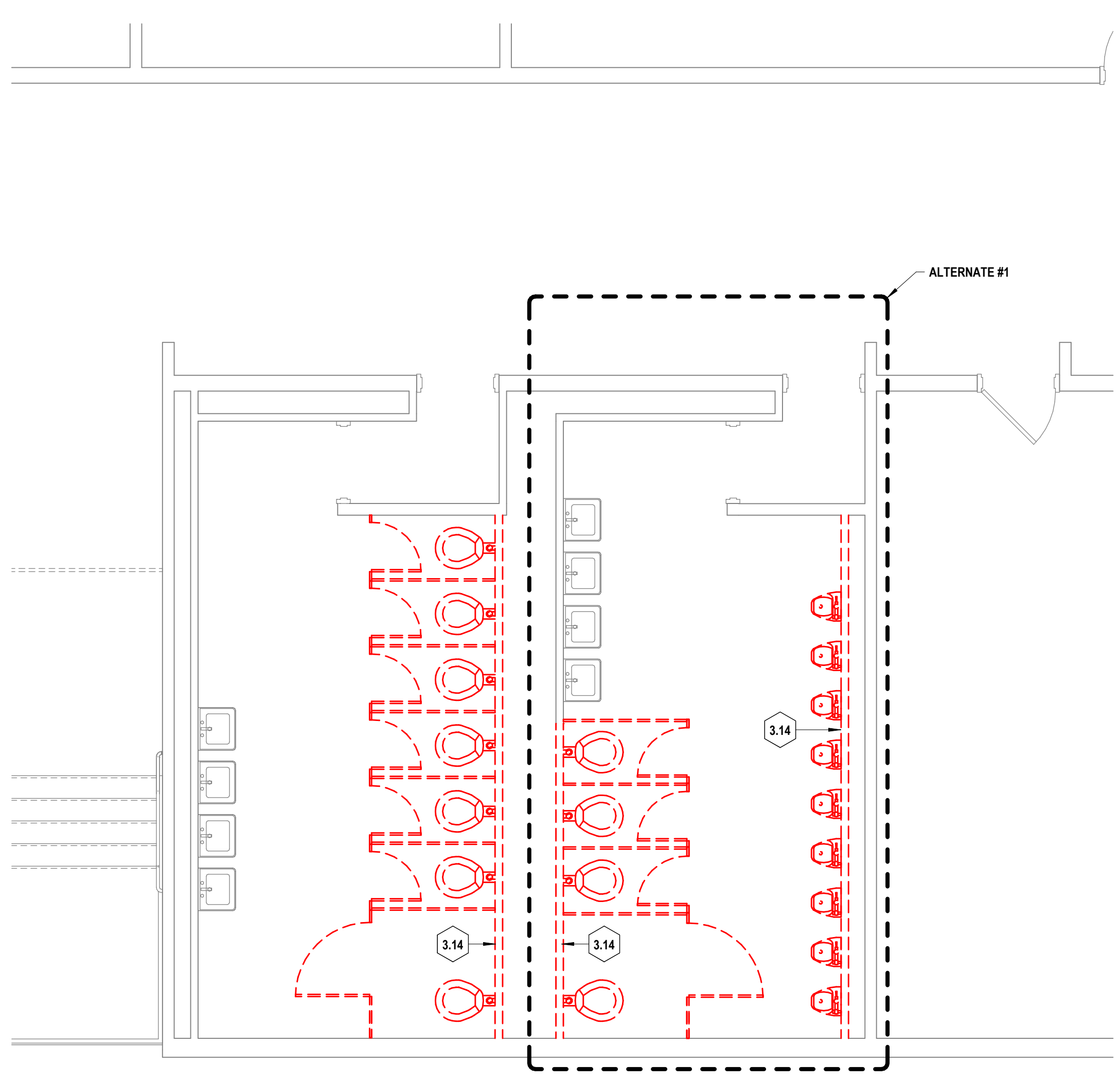


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 266.424.9500
 ElevatusArchitecture.com

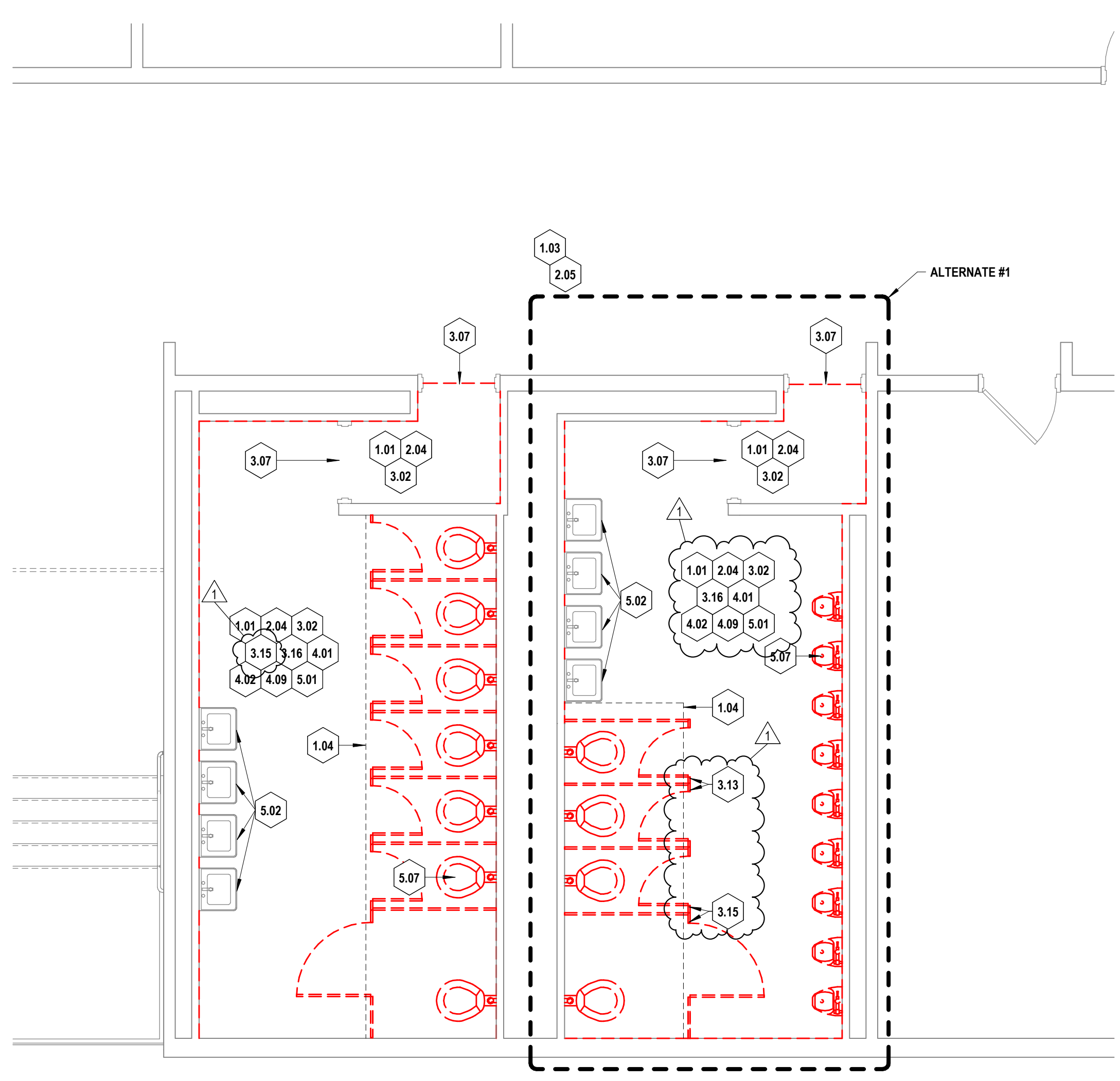


DEMOLITION PLAN NOTES

TAG	DESCRIPTION
CEILING DEMOLITION	
1.01	REMOVE ACOUSTICAL LAY-IN CEILING SYSTEM, PANELS, GRID SUSPENSION SYSTEM AND ALL RELATED HANGERS AND SUPPORTS.
1.03	ACOUSTICAL LAY-IN CEILING SYSTEM TO REMAIN. PROTECT DURING CONSTRUCTION. REPAIR ALL DAMAGED AREAS AT CONCLUSION OF THE WORK.
1.04	GYPSUM CEILING/BULKHEAD TO REMAIN. PROTECT DURING CONSTRUCTION. REPAIR ALL DAMAGED AREAS AND PAINT COLOR TO MATCH EXISTING OR AS SCHEDULED AT CONCLUSION OF THE WORK.
FLOORING DEMOLITION	
2.04	REMOVE CERAMIC TILE FLOORING. CLEAN/PREP SUBFLOOR TO ACCEPT NEW FLOORING AS SCHEDULED.
2.05	FLOOR FINISH TO REMAIN. PROTECT FLOORING DURING CONSTRUCTION. REPLACE DAMAGED FLOORING (MATCH EXISTING) AT CONCLUSION OF THE WORK.
PARTITION DEMOLITION	
3.02	REMOVE CERAMIC TILE WALL BASE. PATCH/REPAIR WALL SURFACE TO ACCEPT NEW FINISHES AS SCHEDULED.
3.07	REMOVE LOUVER INSIDE HOLLOW METAL TRANSOM. FRAME TO REMAIN. PROTECT DURING CONSTRUCTION. REPAIR/REPLACE DAMAGED COMPONENTS AT CONCLUSION OF THE WORK.
3.13	REMOVE TOILET PARTITIONS AND ALL RELATED SUPPORT HANGERS/BRACKETS AND SALVAGE ALL FOR REINSTALLATION IN NEW CONSTRUCTION. REPAIR/REPLACE DAMAGED COMPONENTS AT CONCLUSION OF THE WORK.
3.15	REMOVE ALL TOILET PARTITIONS AND ALL RELATED SUPPORT HANGERS/BRACKET. PATCH/REPAIR WALL SURFACES TO ACCEPT NEW FINISHES AS SCHEDULED. SALVAGE AND GIVE TO OWNER.
3.16	PATCH/REPAIR WEALED WALL SURFACE TO MATCH EXISTING SURROUNDINGS AS SCHEDULED.
FIXTURE DEMOLITION	
4.01	REMOVE ALL MIRRORS, PAPER TOWEL DISPENSERS, AND SOAP DISPENSERS AND SALVAGE FOR REINSTALLATION IN NEW CONSTRUCTION. REPAIR/REPLACE DAMAGED COMPONENTS AT CONCLUSION OF THE WORK.
4.02	REMOVE ALL REMAINING TOILET ACCESSORIES. OFFER TO OWNER BEFORE DISPOSING.
4.09	REMOVE ALL REMAINING FURNITURE AND EQUIPMENT IN SPACE. OFFER TO OWNER BEFORE DISPOSING.
UTILITY DEMOLITION	
5.01	REMOVE PLUMBING FIXTURE(S). SEE PLUMBING DOCUMENTS FOR MORE INFORMATION.
5.02	PLUMBING FIXTURE(S) TO REMAIN. PROTECT DURING CONSTRUCTION. REPAIR/REPLACE DAMAGED COMPONENTS AT CONCLUSION OF THE WORK.
5.07	REMOVE PLUMBING FIXTURE. PATCH/REPAIR WALL TO MATCH EXISTING SURROUNDINGS AS REQUIRED. OFFER FIXTURE AND FLUSH VALVE TO OWNER BEFORE DISPOSING. SEE PLUMBING DOCUMENTS FOR MORE INFORMATION.



PLAN NORTH
2 First Floor Architectural Demolition Plan - Alternate #2
 1/4" = 1'-0"



PLAN NORTH
1 First Floor Architectural Demolition Plan - Base Bid
 1/4" = 1'-0"

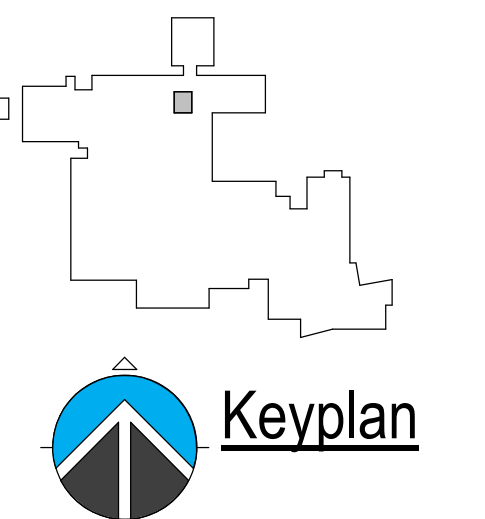
EACS East Allen County Schools
 Restroom Renovations
 13808 Monroeville Rd.
 Monroeville, IN 46773

REVISIONS		
NO.	DESCRIPTION	DATE
1	Addendum #2	04-02-2025

PROJECT NO. 2501101
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Architectural Demolition
 Plan - First Floor

AD101



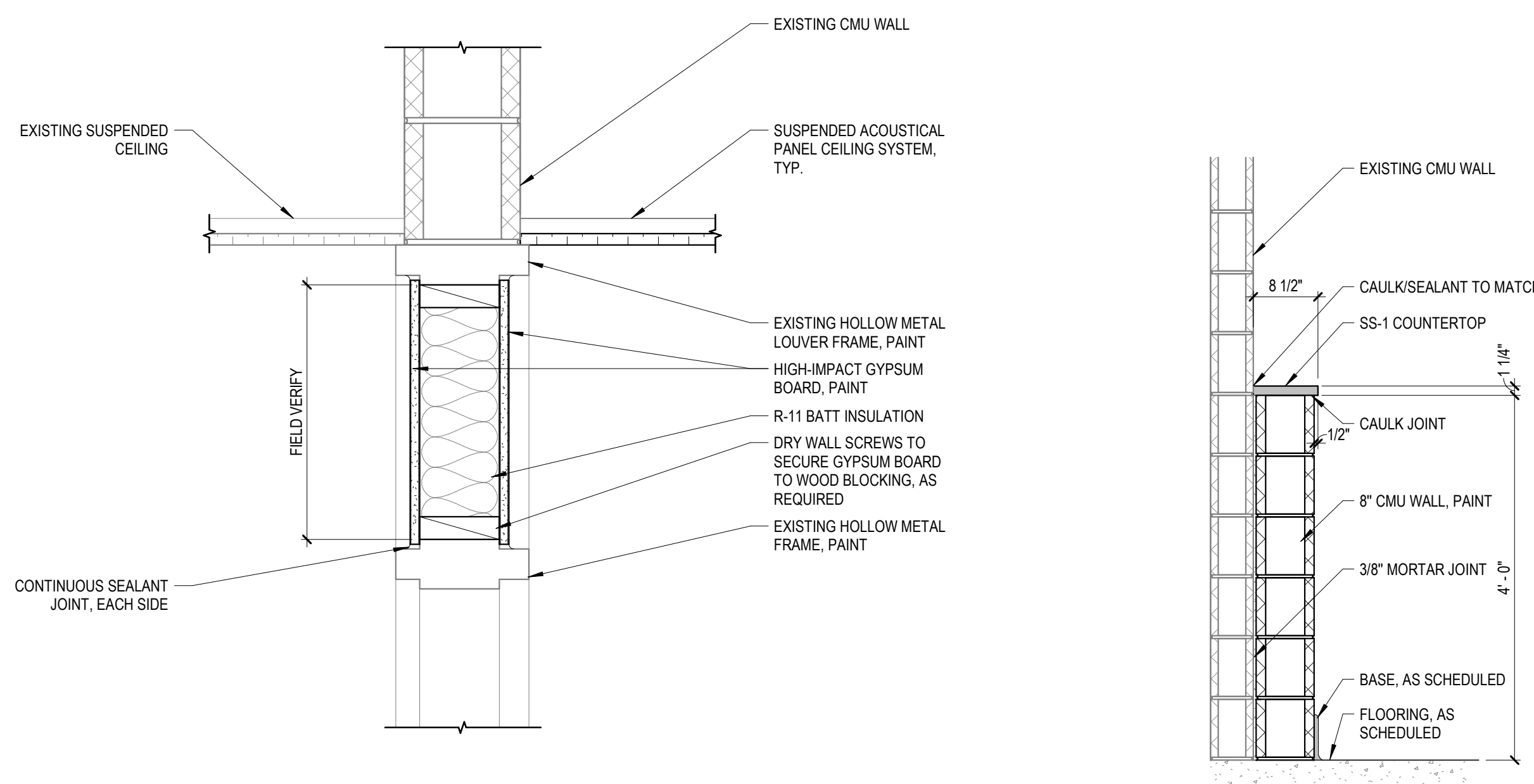
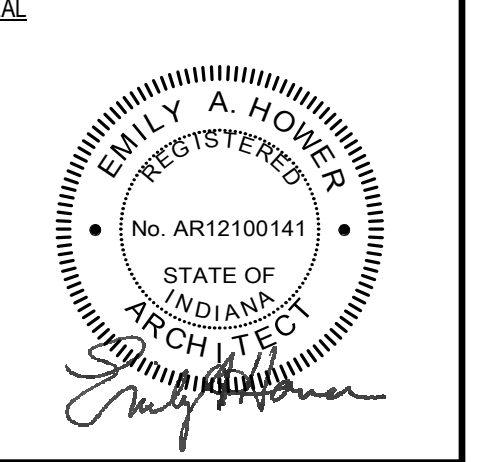
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TOILET ACCESSORIES SCHEDULE					
TAG	MODEL NO. (B=BOBRICK)	DESCRIPTION	SUPPLIED BY	INSTALLED BY	
2		REINSTALL SALVAGED STAINLESS STEEL CHANNEL FRAMED MIRROR, CENTER OVER SINK. REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHTS.	OWNER	CONTRACTOR	
4		REINSTALL SALVAGED SURFACE MOUNTED SOAP DISPENSER, MOUNT TOP OF UNIT @ 50" AFF.	OWNER	CONTRACTOR	
7		REINSTALL SALVAGED SURFACE MOUNTED PAPER TOWEL DISPENSER, MOUNT TOP OF CABINET @ 54" AFF.	OWNER	CONTRACTOR	
10	B-2888	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	OWNER	CONTRACTOR	
12	B-6806.99 X 42	42" GRAB BAR, CONCEALED MOUNTING WITH SNAP FLANGE AND PEENED NON-SLIP GRIPPING SURFACE, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	CONTRACTOR	CONTRACTOR	
13	B-6806.99 X 36	36" GRAB BAR, CONCEALED MOUNTING WITH SNAP FLANGE AND PEENED NON-SLIP GRIPPING SURFACE, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	CONTRACTOR	CONTRACTOR	
14	B-6806.99 X 18	18" GRAB BAR, CONCEALED MOUNTING WITH SNAP FLANGE AND PEENED NON-SLIP GRIPPING SURFACE, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	CONTRACTOR	CONTRACTOR	
15	B-254	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL, SATIN FINISH STAINLESS STEEL, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	CONTRACTOR	CONTRACTOR	

- ### FLOOR PLAN GENERAL NOTES
- GENERAL CONTRACTOR SHALL TAKE RESPONSIBILITY FOR COORDINATING REQUIRED WORK WITH ALL TRADES BASED UPON A COMPLETE SET OF CONSTRUCTION DOCUMENTS.
 - EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. WHEN VERIFICATION OF EXISTING DIMENSIONS IS REQUIRED, THE CONTRACTOR REQUIRING SAID VERIFICATION FOR THE CONSTRUCTION OR FABRICATION OF HIS MATERIAL SHALL BE THE CONTRACTOR RESPONSIBLE FOR THE PROCUREMENT OF THE FIELD INFORMATION.
 - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DO NOT SCALE DRAWINGS.
 - DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
 - UNLESS NOTED OTHERWISE, PLAN DIMENSIONS ARE TAKEN FROM FACE OF STUD, CMU CONCRETE OR EXISTING FINISH TO FACE OF STUD, CMU OR CONCRETE.
 - REPAIR ALL SURFACES DAMAGED BY RENOVATION AND NEW CONSTRUCTION TO MATCH EXISTING ADJACENT OR CONTIGUOUS FINISH.
 - GENERAL CONTRACTOR TO PATCH ALL CONCRETE SLAB MECH/ELEC PENETRATIONS. PATCH SLAB FLUSH WITH EXISTING SLAB AND PROVIDE #4 DOWELS INTO EXISTING SLAB AS REQUIRED.
 - ALL CUTTING AND PATCHING AS A RESULT OF NEW CONSTRUCTION OR DEMOLITION SHALL BE PERFORMED IN A WORKMANLIKE MANNER, AND SHALL MATCH IN COLOR, SHAPE, SIZE AND TEXTURE ADJACENT AND/OR CONTIGUOUS FINISHED SURFACES.
 - WHERE PATCHING, REPAIRING OR INFILLING EXISTING MASONRY EXPOSED TO VIEW, "TOOTH-IN" NEW MASONRY TO ADJACENT EXISTING MASONRY TO REMAIN.
 - PATCH ALL CRACKS AND RESAL JOINTS IN EXISTING SUBSTRATES SCHEDULED TO RECEIVE NEW FINISHES.
 - PROVIDE ALL BLOCKING NECESSARY FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO CASEWORK, MILLWORK, TOILET ACCESSORIES, GRAB BARS, HANDRAILS, DOOR HARDWARE, ELECTRICAL DEVICES AND LABORATORY EQUIPMENT.
 - ALL INTERIOR WOOD BLOCKING SHALL BE FIRE-RETARDANT TREATED. ALL EXTERIOR WOOD BLOCKING SHALL BE PRESURE TREATED.
 - DOORS NOT OTHERWISE DIMENSIONED SHALL BE 8" FROM FACE OF ADJACENT CMU OR CONCRETE WALL TO ROUGH DOOR OPENING, AND 4" FROM FACE OF ADJACENT STUD WALL TO ROUGH DOOR OPENING.
 - THE TRANSITION OF DIFFERENT FLOORING MATERIALS AT A DOORWAY SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS NOTED OTHERWISE.
 - ALL WALL SURFACES, DOOR FRAMES, BULKHEADS AND CEILINGS SHALL RECEIVE PAINT WHEN PAINT IS INDICATED ON THE FINISH SCHEDULE OR FINISH PLANS. PAINT SURFACES BEHIND MOVABLE EQUIPMENT AND FURNITURE SAME AS SIMILAR EXPOSED SURFACES. PAINT SURFACES BEHIND PERMANENTLY FIXED EQUIPMENT OR FURNITURE WITH PRIME COAT ONLY BEFORE FINAL INSTALLATION OF EQUIPMENT. PAINT ALL MECHANICAL AND ELECTRICAL EQUIPMENT EXPOSED IN FINISHED SPACES UNLESS NOTED OTHERWISE.
 - FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATION REQUIREMENTS AND DESIGN INTENT.
 - ALL PLUMBING FIXTURE(S) TO BE PLACED IN SAME PLACE. FIELD VERIFY LOCATION OF EXISTING FIXTURE(S).



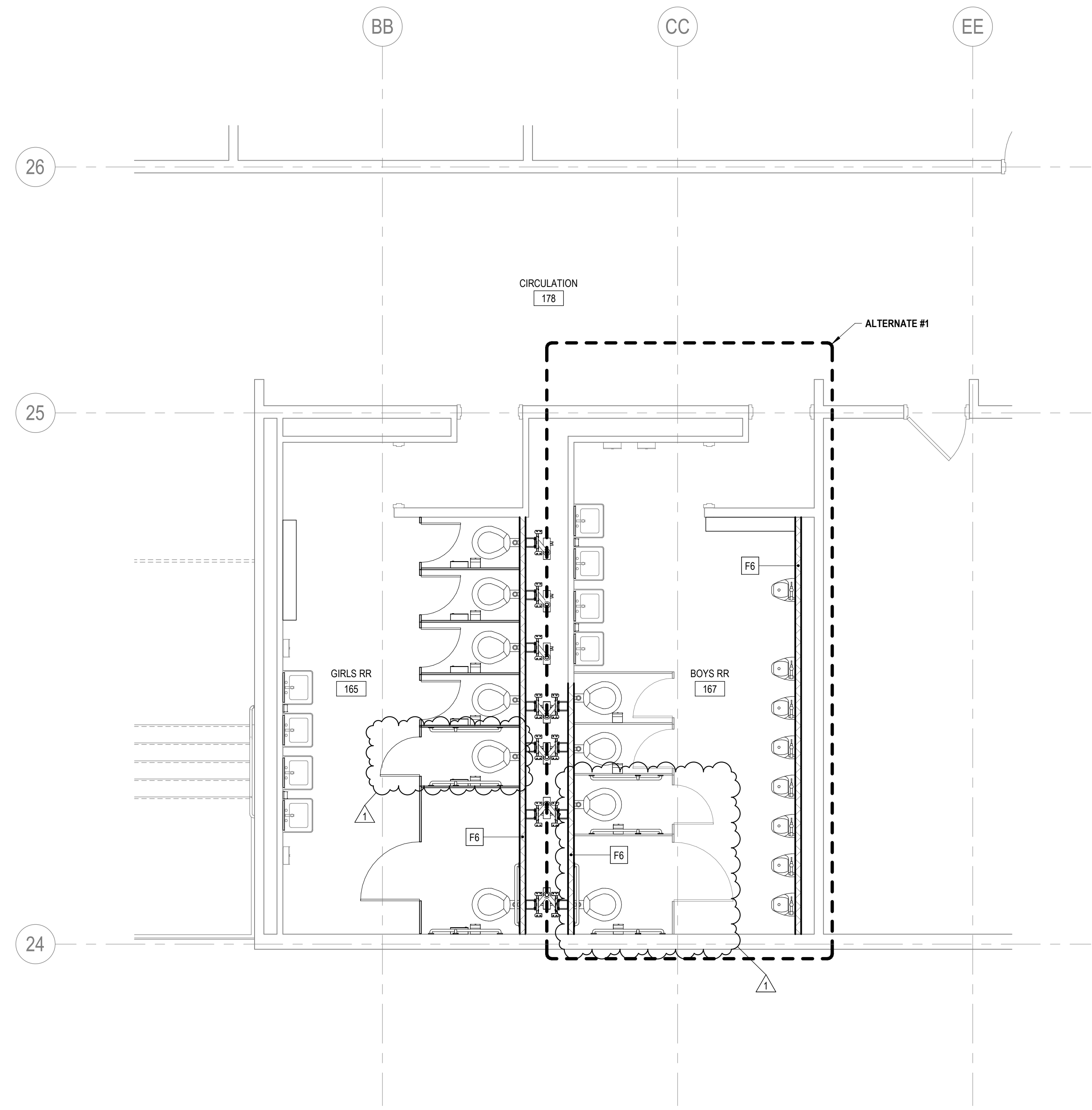
CONFIDENTIAL CONTRACT 2025
 31 ARCHITECTS LLC AND ELEVATUS ARCHITECTURE
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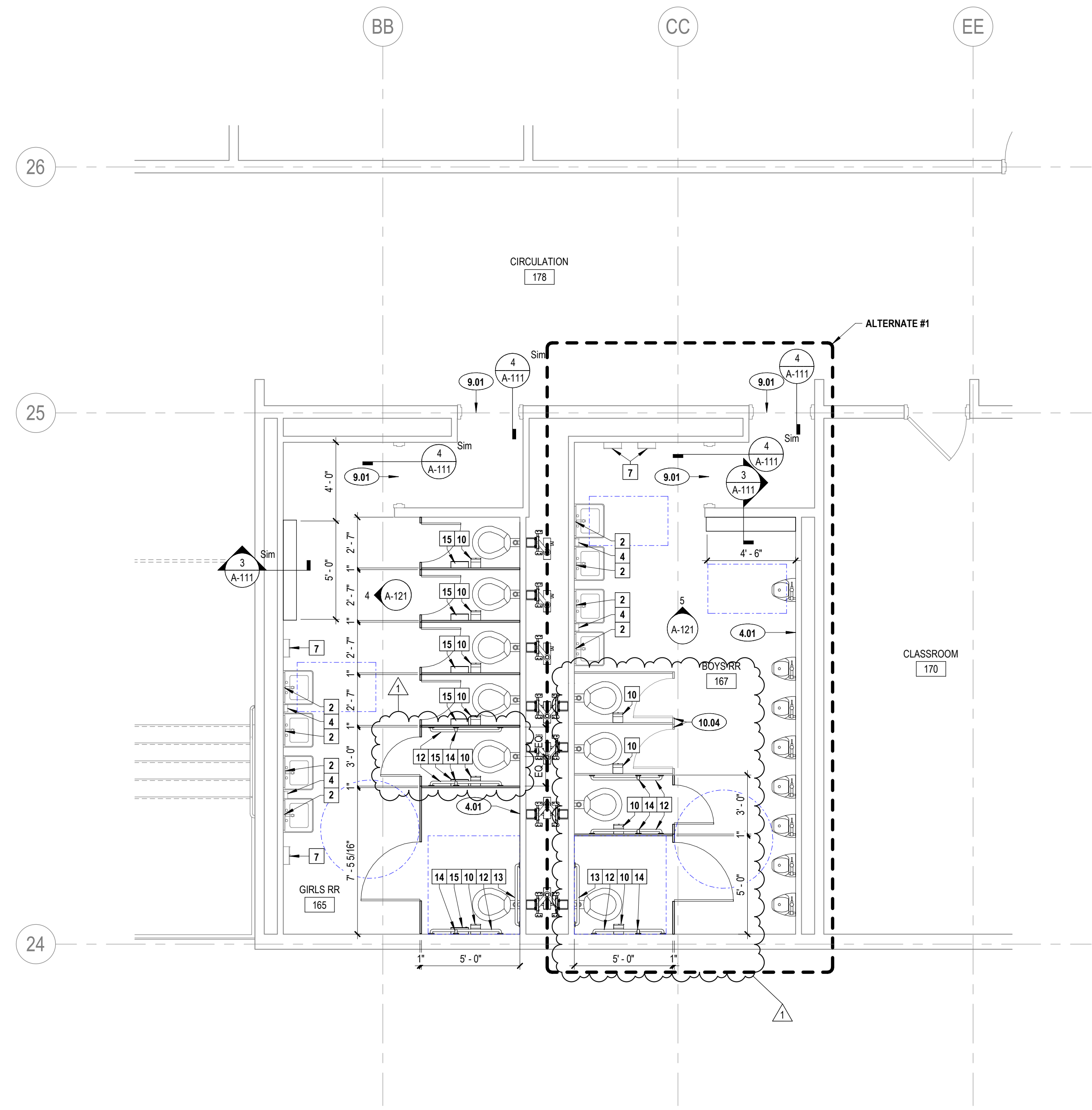
④ Detail - HM Frame Transom Typ. 1 1/2" = 1'-0"
 ③ Section - Typ. Half Wall Section With Wall Cap 3/4" = 1'-0"

FLOOR PLAN NOTES

TAG	DESCRIPTION
4.01	WHERE PLUMBING FIXTURE IS REMOVED PATCH, REPAIR OR INFILL EXISTING MASONRY EXPOSED TO VIEW, "TOOTH-IN" NEW MASONRY TO MATCH EXISTING ADJACENT MASONRY COURSING.
9.01	INFILL EXISTING ALUMINUM LOUVER ABOVE DOOR WITH HIGH-IMPACT GYPSUM BOARD ON BOTH SIDES. SIZE GYPSUM BOARD TO EXISTING LOUVER'S DIMENSIONS. PAINT TO MATCH EXISTING DOOR FRAME. SEE DETAIL 4/A-111.
10.04	REINSTALL SALVAGED TOILET PARTITIONS.



② First Floor Architectural Notation Plan - Alternate #2 1/4" = 1'-0"



① First Floor Architectural Notation Plan - Base Bid 1/4" = 1'-0"

EACS East Allen County Schools
 Restroom Renovations
 13808 Monroeville Rd.
 Monroeville, IN 46773

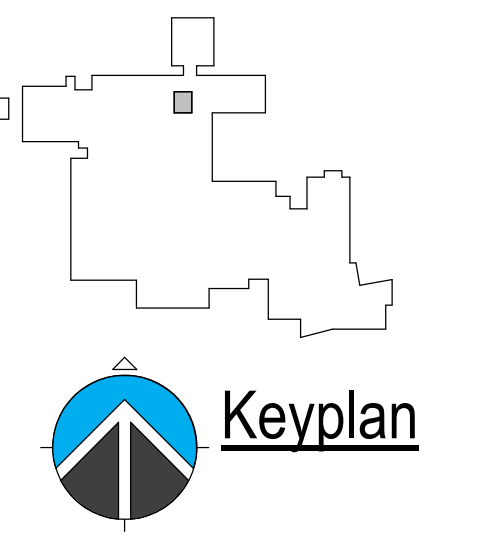
REVISIONS

NO.	DESCRIPTION	DATE
1	Addendum #2	04-02-2025

PROJECT NO. 2501101
 ISSUE DATE March 12, 2025
 SUBMITTAL
 Issue for Bids, Permits, and Construction

Architectural Notation
 Plan - First Floor

A-111



TOILET ACCESSORIES SCHEDULE				
TAG	MODEL NO. (B=BOBRICK)	DESCRIPTION	SUPPLIED BY	INSTALLED BY
2	--	REINSTALL SALVAGED STAINLESS STEEL CHANNEL FRAMED MIRROR CENTER OVER SINK. REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHTS.	OWNER	CONTRACTOR
4	--	REINSTALL SALVAGED SURFACE-MOUNTED SOAP DISPENSER. MOUNT TOP OF UNIT @ 50" AFF.	OWNER	CONTRACTOR
7	--	REINSTALL SALVAGED SURFACE-MOUNTED PAPER TOWEL DISPENSER. MOUNT TOP OF CABINET @ 54" AFF.	OWNER	CONTRACTOR

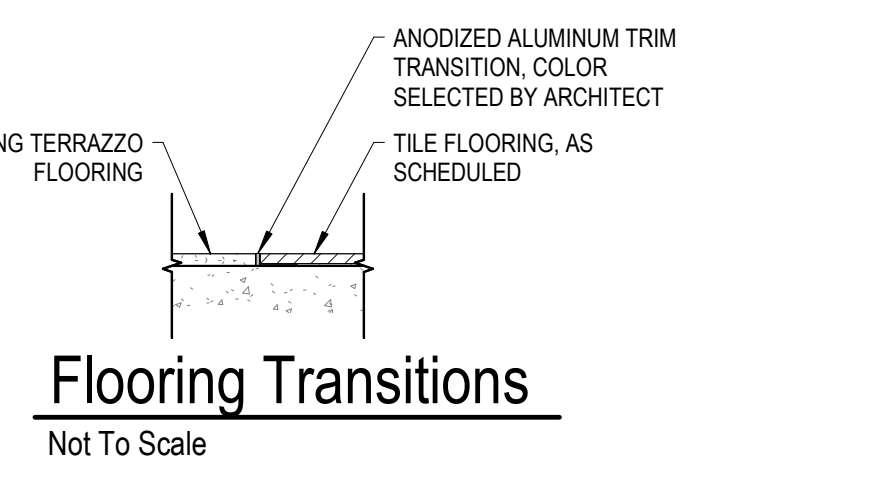
ROOM FINISH SCHEDULE									
Room No.	Room Name	Floor	Base	Wall				Comments	
				North	East	South	West		
165	GIRLS RR	T-1	T-2	P-1	P-1	P-1	P-1		
167	BOYS RR	T-1	T-2	P-1	P-1	P-1	P-1		
178	CIRCULATION	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.		

FINISH PLAN LEGEND	
FLOORING MATERIAL LEGEND	
TYPE	DESCRIPTION
T-1	1" X 1" and 2" X 2" CERAMIC MOSAIC TILE BLEND. SEE TILE INSTALLATION METHOD DETAIL. SEE SPECIFICATIONS AND FINISH LEGEND FOR TYPE.
EXIST	EXISTING FLOOR TO REMAIN.

REFLECTED CEILING PLAN LEGEND AND GENERAL NOTES	
CEILING MATERIAL LEGEND	
TYPE	DESCRIPTION
APC-1	24" X 48" WASHABLE ACOUSTICAL CEILING SYSTEM W/ SUSPENDED GRID. SEE SPECIFICATIONS FOR TYPE.
GYP.	GYPSUM BOARD CEILING, PAINT
EXIST	EXISTING CEILING TO REMAIN



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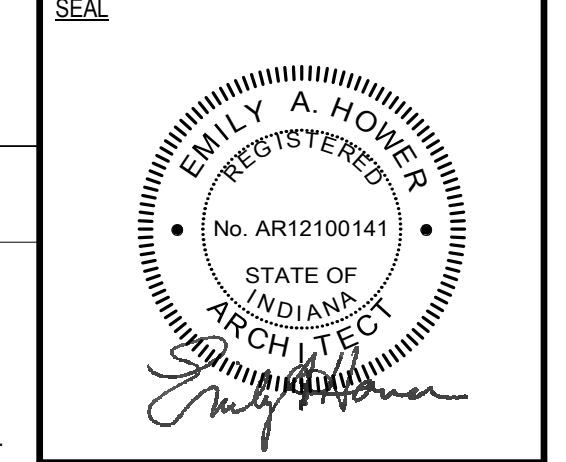
FINISH LEGEND	
08.41.10. MILLWORK/ CASEWORK	
SS-1	MFG. CORIAN TYPE: SOLID SURFACE COLOR: SILVER GRAY
09.30.13. CERAMIC TILING	
T-1	MFG. DALTILE PATTERN KEYSTONES MOSAICS SIZE: 1" X 1" AND 2" X 2" COLOR: 49% DESERT GRAY SPECKLE D200 AND 49% MIX OF 1" X 1" SUEDE GRAY SPECKLE D209 COLOR NOTE: INCLUDE 2% MIX OF 2" X 2" NAVY SPECKLE D209 AS INDICATED IN TILE INSTALLATION DETAIL. FINISH: MATTE INSTALL METHOD: MONOLITHIC GROUT MFG: MAPEI GROUT SIZE: 1/8" GROUT COLOR: 5019 PEARL GRAY
T-2	MFG. DALTILE PATTERN KEYSTONES MOSAICS COVE BASE SIZE: 2" X 2" COLOR: DESERT GRAY D014 FINISH: MATTE INSTALL METHOD: MONOLITHIC NOTE: COVE BASE TO BE 6" H GROUT MFG: MAPEI GROUT SIZE: 1/8" GROUT COLOR: 5019 PEARL GRAY
09.51.13. ACOUSTICAL PANEL CEILINGS	
APC-1	MFG: USG STYLE: SHEETROCK BRAND EDGE STYLE: SQUARE LAY-IN SIZE: 24" X 48" X 1/2" GRID: DOWN DTL: 15/16" TILE/GRID COLOR: FLAT WHITE (050)
09.91.00. PAINTING	
P-1	MFG: SHERWIN WILLIAMS COLOR: SW 7757 HIGH REFLECTIVE WHITE (FIELD WALLS & CEILINGS)
P-2	MFG: SHERWIN WILLIAMS COLOR: MATCH TO EXISTING HALLWAY FRAMES (DOOR FRAMES)
19.21.13.19. SOLID PLASTIC TOILET COMPARTMENTS	
TP-1	MFG: SCRANTON PRODUCTS TYPE: HINY HIDERS, NFPA 286 MATERIAL: SOLID PLASTIC COLOR: PAISLEY FINISH: ORANGE PEEI

FINISH GENERAL NOTES	
1.	SCHEDULED MATERIALS AND FINISHES SHALL NOT BE ORDERED OR INSTALLED BEFORE THE CONTRACTOR'S PHYSICAL SAMPLE SUBMITTALS HAVE BEEN APPROVED AS CALLED FOR IN THE SPECIFICATIONS.
2.	FLOORING CONTRACTOR TO PROVIDE APPROPRIATE METAL TRANSITIONS AND REDUCERS BETWEEN VARYING FLOORING MATERIALS.
3.	FLOOR FINISH TRANSITIONS SHALL BE CENTERED BELOW DOORS IN THE CLOSED POSITION, UNLESS NOTED OTHERWISE.
4.	CONCRETE SLAB TO REMAIN PROTECTED AND COVERED. REFER TO SPECIFICATIONS.
5.	HOLLOW METAL FRAMES TO BE PAINTED P-2, UNLESS NOTED OTHERWISE.
6.	COUNTERTOPS TO BE SS-1, UNLESS NOTED OTHERWISE.
7.	GYPSUM BOARD CEILINGS TO BE PAINTED P-1, UNLESS NOTED OTHERWISE.

FINISH PLAN NOTES	
TAG	DESCRIPTION
1	REFER TO DETAIL OF TILE INSTALLATION FOR TILE FLOORING PATTERN AND FOR MORE INFORMATION.

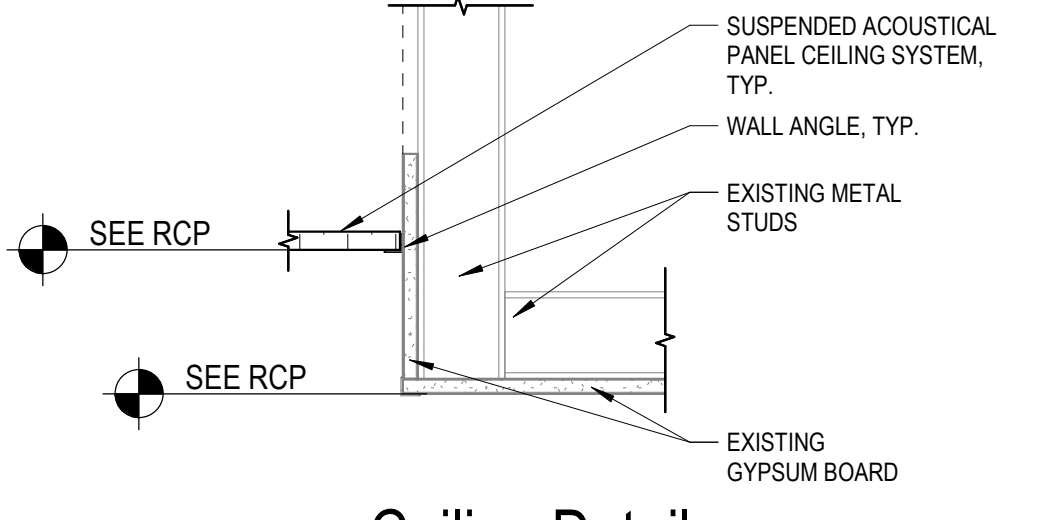
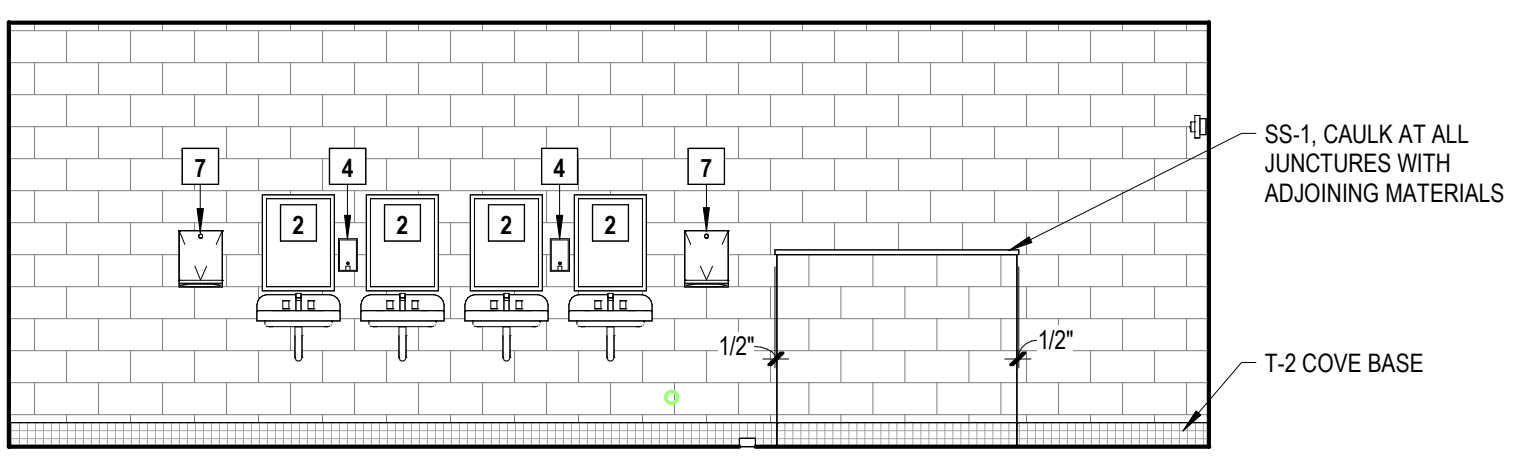
FIXTURE LEGEND	
SYMBOL	DESCRIPTION
□	2x4' LIGHT FIXTURE. SEE ELECTRICAL FOR TYPE.
○	CAN LIGHT. SEE ELECTRICAL FOR TYPE.

CEILING GENERAL NOTES	
1.	ALL CEILING HEIGHTS ARE TO THE FINISHED FACE OF THE CEILING PLANE.
2.	ALL DIMENSIONS ARE TO THE CENTERLINE OF DEVICE, TYPICAL.
3.	ALIGN DEVICES AS INDICATED WITH CENTERLINES.
4.	ALL SOFFITCASED OPENINGS TO ALIGN WITH THE FINISHED FACE OF ADJACENT WALLS, UNLESS NOTED OTHERWISE.
5.	ALL DEVICES TO BE CENTERED IN CEILING TILES WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
6.	SEE THE ELECTRICAL LIGHT AND POWER PLANS FOR THE LOCATIONS OF ALL WALL MOUNTED DEVICES. COORDINATE ALIGNMENT OF WALL DEVICES WITH EACH OTHER AND CEILING DEVICES WHERE POSSIBLE.
7.	PROVIDE ADDITIONAL FRAMING AND SUPPORT ON ALL SIDES OF LIGHT FIXTURES, GRILLES, ETC. MOUNTED IN SUSPENDED GYPSUM BOARD CEILINGS & BULKHEADS.
8.	ARCHITECTURAL REFLECTED CEILING PLANS DO NOT INDICATE ALL DEVICES IN THE CEILING PROJECT. REFER TO THE ELECTRICAL LIGHT AND POWER PLANS FOR ADDITIONAL DEVICES.
9.	FIXTURES AND CEILING DEVICES IN ALL EXISTING ROOMS/AREAS TO REMAIN AS IS UNLESS NOTED OTHERWISE.
10.	WHERE GYPSUM BOARD ABUTS CMU OR CONCRETE CONSTRUCTION, PROVIDE CONTINUOUS "J" MOLD AND SEALANT AT JOINT.
11.	GYPSUM BOARD CEILINGS AND BULKHEADS TO BE PAINTED P-1, UNLESS NOTED OTHERWISE.



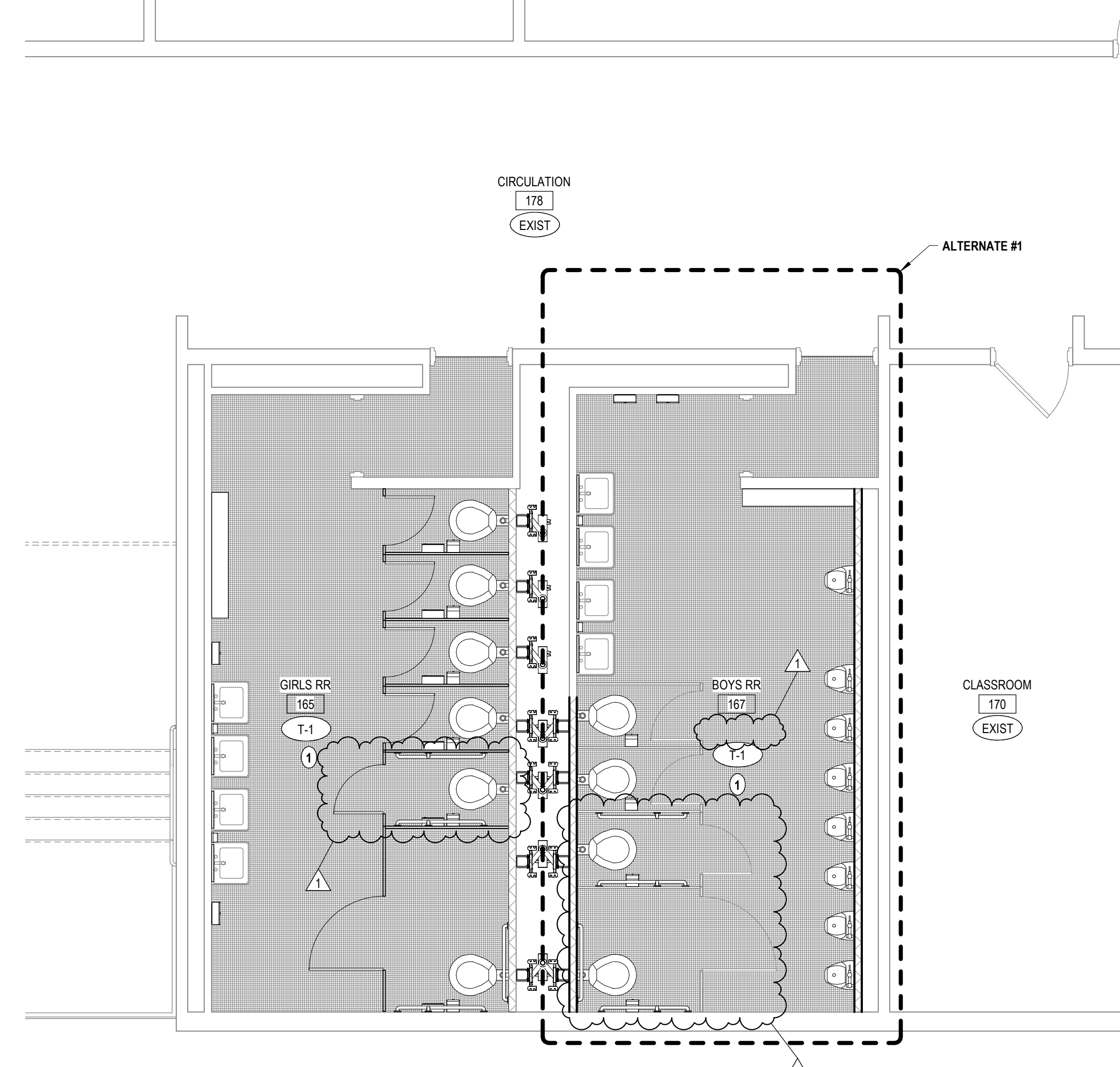
5 Elevation - Boys RR North
1/4" = 1'-0"

T-1 Installation Method Typ.
1 1/2" = 1'-0"

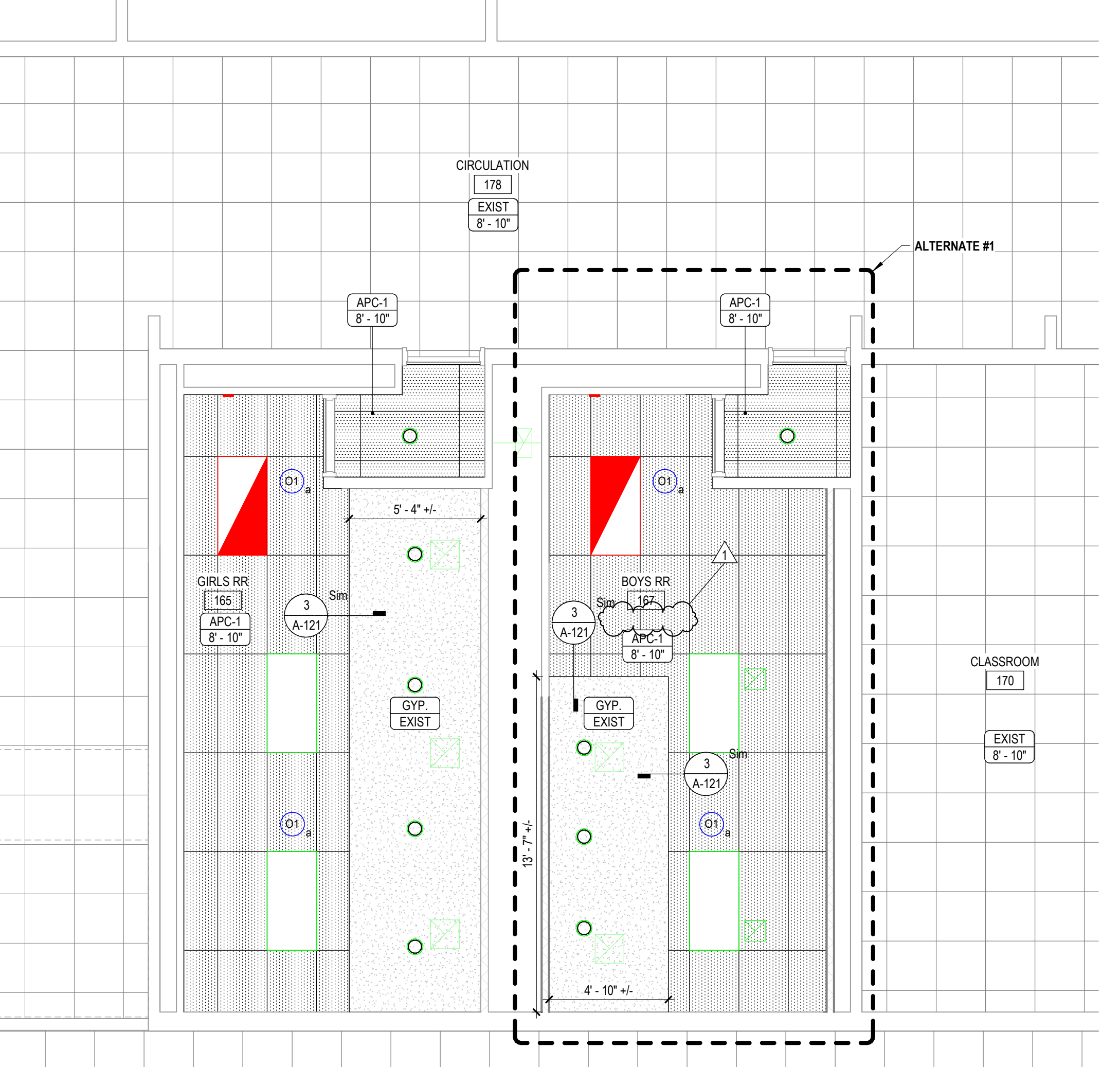


3 Ceiling Detail
1 1/2" = 1'-0"

4 Elevation - Girls RR West
1/4" = 1'-0"



2 First Floor Finishes Plan
1/4" = 1'-0"



1 First Floor Reflected Ceiling Plan
1/4" = 1'-0"

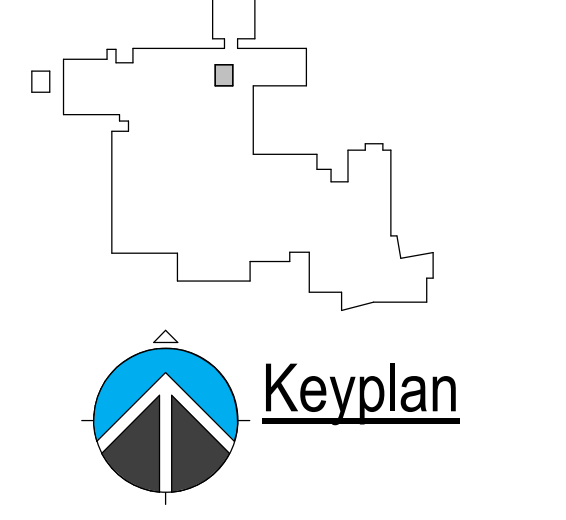
EACS East Allen County Schools Restroom Renovations
13808 Monroeville Rd., Monroeville, IN 46773

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1	Addendum #2	04-02-2025

PROJECT NO. 2501101
ISSUE DATE March 12, 2025
SUBMITTAL Issue for Bids, Permits, and Construction

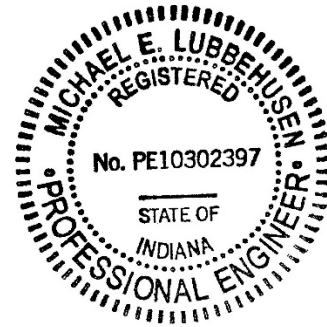
Reflected Ceiling & Finishes Plans - First Floor

A-121





Primary Engineering, Inc.
2828 Lake Ave.
Fort Wayne, Indiana 46805
260-424-0444 ph
www.primary-eng.com



Addendum: **#2**
Date: **04/02/2025**
Project: **EACS Restroom Renovation**
Comm #: **25722**

The following items shall be incorporated into the specifications and drawings and are considered to be integral to the bid documents for the project. Acknowledgement of receipt of this addendum is required on the bid form.

Item #1: Heritage HS: Drawing Sheet E001, "Electrical Information Sheet":

- A. Revise Light fixture schedule. Added HALO #H277 step down transformer as required for 120v connection to wafer downlight fixture, as required. Refer to drawing sheet E001 labeled Addendum #2 for more information.**

Item #2: Heritage HS: Drawing Sheet E201, "First Floor Electrical Plan":

- A. Revised lighting layout to accommodate for shift in toilet partitions. Refer to drawing sheet E201 labeled Addendum #2 for more information.**

Item #3: Heritage HS: Drawing Sheet M201, "First Floor Restroom Mechanical Plan"

- A. Revise plumbing and mechanical layout to accommodate for shift in toilet partitions. Refer to drawing sheet M201 labeled Addendum #3 for more information.**

MOUNTING HEIGHT SCHEDULE

SWITCHES - 44" OR AS SPECIFIED ON DRAWINGS.
WALL MOUNTED OCCUPANCY / VACANCY SENSORS - 9'-0" A.F.F. OR AS SPECIFIED ON DRAWINGS.
RECEPTACLES OR CONVENIENCE OUTLETS - 16" OR AS SPECIFIED ON DRAWINGS.
RECEPTACLES OR CONVENIENCE OUTLETS - 44" FOR MECHANICAL, ELECTRICAL, JANITOR, SHOP AREAS, GARAGE AREAS STORAGE, AND ELEVATOR EQUIPMENT ROOMS AS SPECIFIED ON DRAWINGS.
EXTERIOR WEATHER PROOF RECEPTACLES OR CONVENIENCE OUTLETS - 24" ABOVE GRADE OR AS SPECIFIED ON DRAWINGS.
SAFETY SWITCHES - 54" OR AS SPECIFIED ON DRAWINGS.
MOTOR CONTROLLERS - 54" OR AS SPECIFIED ON DRAWINGS.
PANELBOARDS TO TOP - 72" OR AS SPECIFIED ON DRAWINGS.
TELEPHONE OR DATA - 16" OR AS SPECIFIED ON DRAWINGS.
TELEPHONE (PAY WALL HUNG) - 44" OR AS SPECIFIED ON DRAWINGS.
LOCKOUT OR PANIC BUTTONS - 44" OR AS SPECIFIED ON DRAWINGS.
FIRE ALARM PULL STATION - 44" OR AS SPECIFIED ON DRAWINGS.
FIRE ALARM HORN, HORN/VISUAL, SPEAKER, SPEAKER/VISUAL - 80"-84" OR AS SPECIFIED ON DRAWINGS.

LINE TYPE SCHEDULE

---	UNDERGROUND COMMUNICATION LINE TYPE AND WEIGHT
---	UNDERGROUND BRANCH CIRCUIT LINE TYPE AND WEIGHT
---	NEW POWER LINE WEIGHT
---	NEW MECHANICAL EQUIPMENT LINE WEIGHT
---	NEW LIGHTING LINE WEIGHT
---	NEW LIGHTING DEVICE LINE WEIGHT
---	NEW EMERGENCY AND FIRE DEVICE LINE WEIGHT
---	NEW COMMUNICATION DEVICE LINE WEIGHT
---	EXISTING TO REMAIN LINE WEIGHT
---	EXISTING TO BE DEMOLISHED LINE TYPE AND WEIGHT

- ### GENERAL ELECTRICAL DEMOLITION NOTES
- REMOVE ALL EXPOSED RACEWAY AND WIRE THAT ARE NO LONGER TO BE USED.
 - BLANK OFF OR REMOVE ALL ABANDONED JUNCTION AND OUTLET BOXES IN WALLS, FLOORS, AND CEILINGS THAT ARE TO REMAIN.
 - REMOVE ALL ELECTRICAL OUTLETS, DEVICES, AND RACEWAYS FROM WALL THAT ARE TO BE REMOVED.
 - REMOVE ALL FLOOR MOUNTED RACEWAYS.
 - ALL EXISTING EQUIPMENT THAT IS TO REMAIN IS INTENDED TO BE OPERATIONAL AT THE COMPLETION OF THE PROJECT. RE-CIRCUIT WHERE NECESSARY TO INSURE THIS CONTINUED OPERATION.
 - OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT THAT IS TO BE REMOVED.
 - ALL EXISTING EQUIPMENT SHOWN ON THE DRAWINGS IS BELIEVED TO BE A REASONABLE INDICATION OF THE EXISTING LAYOUT. EXACT QUANTITY AND LOCATION SHALL BE FIELD VERIFIED BY CONTRACTOR.

- ### GENERAL ELECTRICAL NOTES
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS.
 - DIMENSIONS SHOWN ON OUTLET BOXES AND DEVICES SHALL BE TO THE BOTTOM OF THE BOX.
 - CONDUIT SHOWN TO LIGHT FIXTURES IS SHOWN TO INDICATE SWITCHING AND DOES NOT REPRESENT THE QUANTITY OR EXACT LOCATION OF WIRING AND/OR CONDUIT.
 - COORDINATE LOCATION OF LIGHT FIXTURES IN AREAS OF MECHANICAL DUCTWORK AND PIPING WITH MECHANICAL CONTRACTOR. RE-LOCATE LIGHT FIXTURES, WIRING, AND CONDUIT IF NECESSARY AND AS DIRECTED BY THE ARCHITECT/ENGINEER.
 - PROVIDE AND INSTALL PLASTER RINGS DRYWALL FRAMING KITS, OR SURFACE MOUNT KITS/SPRIG LIGHT FIXTURES WHERE REQUIRED BY CEILING CONSTRUCTION. REFER TO ARCHITECTURAL DRAWINGS.
 - VERIFY HEIGHT AND LOCATION OF RECEPTACLES BEHIND ELECTRIC WATER COOLERS WITH THE MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
 - THE ELECTRICAL LAYOUT DRAWINGS ARE DIAGRAMMATIC IN NATURE. REFER TO ENTIRE CONSTRUCTION DRAWING SET AND SPECIFICATIONS FOR GUIDANCE ON DIMENSIONS, CEILING HEIGHTS, DOOR SWINGS, ROOM FINISHES, STRUCTURAL DETAILS, LOCATIONS OF PIPING, DUCTWORK, STRUCTURAL MEMBERS, AND OTHER OBSTRUCTIONS. INSTALL THE ELECTRICAL SYSTEMS SO AS NOT TO INTERFERE WITH THE INSTALLATION OR FUNCTION OF ANY WORK BY ANOTHER DISCIPLINE.
 - ALL DIMENSIONS OF EXISTING DEVICES AND EQUIPMENT ARE APPROXIMATE. CONTRACTOR SHALL MAKE ALL NECESSARY FIELD MEASUREMENTS OF EXISTING STRUCTURES AND EQUIPMENT TO VERIFY DIMENSIONS SHOWN ON THE PLANS. ALL ADDED COSTS TO MODIFY NEW CONSTRUCTION DUE TO A LACK OF COORDINATION AND FIELD MEASUREMENTS SHALL BE BORNE BY THE CONTRACTOR.
 - PROVIDE ADDITIONAL SUPPORT FOR SWITCHES, STARTERS, RACEWAY, GROUNDING SYSTEMS, AND OTHER ELECTRICAL EQUIPMENT WHEREVER THE BUILDING CONSTRUCTION IS NOT SUITABLE FOR DIRECT MOUNTING.
 - ALL PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS, AND CEILINGS SHALL BE SEALED WITH FIRE STOPPING MATERIAL EQUAL TO THOMAS AND BETTS U.L. LISTED FLAME-SAFE FIRE STOP SYSTEM.
 - COORDINATE ALL EQUIPMENT WIRING WITH MFR'S REQUIREMENTS. CHANGES REQUIRED FROM THE USE OF PRODUCTS THAT ARE OTHER THAN THE BASIS OF DESIGN SHALL BE BORNE BY THE CONTRACTOR.
 - SIZING OF BRANCH CIRCUITS AND FEEDERS FOR EQUIPMENT IS BASED ON DESIGN LOADS. PRIOR TO INSTALLATION, CONFIRM EXACT LOADS WITH RELEASED SHOP DRAWINGS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO ROUGH-IN.
 - BRANCH CIRCUITS SHALL BE WIRED WITH 34°C, 2-#12, 1-#10, UNLESS NOTED OTHERWISE. NEUTRAL CONDUCTORS SHALL NOT BE SHARED ON BRANCH CIRCUITS.
 - WHERE CONDUIT AND WIRING HAS NOT BEEN SHOWN ON THE DRAWINGS, THE ARRANGEMENT AND ROUTING OF LIGHTING AND RECEPTACLE BRANCH CIRCUITS SHALL BE AT THE DISCRETION OF CONTRACTOR IN ACCORDANCE WITH GENERALLY ACCEPTED GOOD PRACTICE, N.E.C. REQUIREMENTS, AND THE FOLLOWING LIMITATIONS:
 - EXCEPT WHERE NOTED OTHERWISE, SIZE BRANCH CIRCUIT CONDUCTORS WITHIN THE FOLLOWING MAXIMUM LENGTH LIMITS. (MEASURE TO THE CENTER OF THE LOAD FOR LIGHTING AND/OR THE MOST REMOTE OUTLET FOR RECEPTACLE CIRCUITS).
- | CIRCUIT BREAKER | CIRCUIT LENGTH | CONDUCTOR SIZE |
|-----------------|----------------|----------------|
| 120V, 20 A | 100 FEET | #12 |
| | 150 FEET | #10 |
| | 200 FEET | #8 |
- PROVIDE #12 AWG MINIMUM FOR BRANCH CIRCUITS. PROVIDE ADDITIONAL DERATING PER N.E.C. TABLES 310-16 THROUGH 310-31 FOR ALL HOME RUNS WITH MORE THAN THREE CURRENT CARRYING CONDUCTORS IN A RACEWAY.
 - CONDUITS SHALL BE LIMITED TO A MAXIMUM OF NINE BRANCH CIRCUIT CONDUCTORS OF WHICH A MAXIMUM OF FOUR PHASE CONDUCTORS SHALL BE PERMITTED. GROUNDING CONDUCTORS SHALL NOT BE INCLUDED IN THE COUNT.
 - FOR EQUIPMENT THAT IS TO BE FURNISHED BY OTHERS AND WIRED BY THIS CONTRACTOR, REVIEW ALL SPECIFICATION SECTIONS, EQUIPMENT SCHEDULES, AND/OR DRAWING DETAILS THAT PERTAIN TO THIS EQUIPMENT AND INCLUDE ALL WIRING AND DEVICES REFERENCED. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF THIS EQUIPMENT WITH EQUIPMENT INSTALLER PRIOR TO ROUGH-IN INSTALLATION.
 - CONDUIT, BOXES, AND WIRING DEVICES IN ALL AREAS SHALL BE INSTALLED IN CONCEALED SPACES OR RECESSED IN WALLS UNLESS IN MECHANICAL/ELECTRICAL EQUIPMENT ROOMS OR AS DIRECTED BY THE ARCHITECT/ENGINEER.
 - ALL HVAC CONTROL WIRING SHALL BE THE RESPONSIBILITY OF THE HVAC CONTRACTOR UNLESS NOTED OTHERWISE.

ELECTRICAL ABBREVIATIONS SCHEDULE

A OR AMP	AMPERE	EWX	ELECTRICAL WATER HEATER	MH	METAL HALIDE
AC	ABOVE COUNTER	EXT	EXISTING	MIN	MINIMUM
AE	ARCHITECT/ENGINEER	EX	EXTERIOR	MISC	MISCELLANEOUS
AF	ABOVE FINISHED FLOOR	FA	FURNACE	MO	MASONRY OPENING
AFS	ABOVE FINISHED GRADE	FAA	FIRE ALARM	N	NUMBER
AHU	AIR HANDLING UNIT	FAC	FIRE ALARM ANNUNCIATOR	NC	NORMALLY CLOSED
ALT	ALTERNATE	FAN	FIRE ALARM CONTROL PANEL	NIC	NOT IN CONTRACT
APPROX	APPROXIMATELY	FAN COOL UNIT	FAN COOL UNIT	NL	NIGHT LIGHT
AWG	AMERICAN WIRE GAUGE	FDN	FOUNDATION	NO	NORMALLY OPEN
BLDG	BUILDING	FIN	FINISH	NOM	NOMINAL
BLKS	BLOCKING	FL	FLUORESCENT	NL	NOT TO SCALE
BTM	BOTTOM	FT	FOOT	OAC	OPENING ABOVE CEILING
C	CONDUIT	FT-C	FOOT CANDLE	OC	ON CENTER
CB	CIRCUIT BREAKER	G OR EGC	GROUND	OD	OUTSIDE DIAMETER
CL	CENTERLINE	GA	GAUGE	OP	OVERHEAD POWER LINES
CPM	CUBIC FEET PER MINUTE	GFCI OR GFI	GROUND FAULT CIRCUIT INTERRUPTER	PSND	ROUND
CUH	CABINET UNIT HEATER	GRC	GALVANIZED RIGID CONDUIT	PH	PHASE
DC	CEILING	GW	GAS WATER HEATER	PI	PLUMBING CONTRACTOR
CLG	CONCRETE MASONRY UNIT	HT	HEIGHT	PV	POST INDICATING VALVE
COL	COLUMN	HORIZ	HORIZONTAL	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	HPS	HIGH PRESSURE SODIUM	R	RADIUS
CONC BLK	CONCRETE BLOCK	HR	HOUR	REQ	REQUIRED
CONST	CONSTRUCTION	ID	INSIDE DIAMETER	RM	ROOM
CONTR	CONTRACTOR	IG	ISOLATED GROUND	RO	ROUGH OPENING
Cu	COPPER	IMC	INTERMEDIATE METAL CONDUIT	RTU	ROOF TOP UNIT
CD	DIRECT CURRENT	INSUL	INSULATION	SCHD	SCHEDULE
DIA	DIAMETER	INT	INTERIOR	SIM	SIMILAR
DEG	DEGREE	INFC	INFORMATION	SPEC	SPECIFICATION
DET	DETAIL	IS	THOUSAND CIRCULAR MILLS	SQ	SQUARE
DIM	DIMENSION	KVA	KILOVOLT-AMPERE	SS	STAINLESS STEEL
DWG	DRAWING	KWH	KILOWATT-HOUR	STD	STANDARD
EC	ELECTRICAL CONTRACTOR	KW	KILOWATT	STL	STEEL
EF	EXHAUST FAN	LP	LIGHT POLE	SUSP	SUSPEND
ELEC	ELECTRICAL	MAU	MAKEUP AIR UNIT	TOP	TEMPERATURE CONTROL PANEL
ELEV	ELEVATION	MAX	MAXIMUM	TS	TEACHER'S STATION
EM	EMERGENCY	MC	MECHANICAL CONTRACTOR	TB	TELEPHONE TERMINAL BOARD
EMT	ELECTRICAL METALLIC TUBING	MCC	MOTOR CONTROL CENTER	TYP	TYPICAL
EQ	EQUAL	MCM	THOUSAND CIRCULAR MILLS	UH	UNIT HEATER
EWC	ELECTRIC WATER COOLER	MFR	MANUFACTURER	UL	UNDERWRITERS LABORATORIES

ELECTRICAL SYMBOLS SCHEDULE

RECESSED PANELBOARD	CIRCUIT HOME RUN TO PANELBOARD	OX	CEILING MOUNTED OCCUPANCY SENSOR. "X" DENOTES SENSOR TYPE.
SURFACE MOUNTED PANELBOARD	PHOTO CELL; AS NOTED ON DRAWING OR SPECIFICATIONS	OX	WALL MOUNTED OCCUPANCY SENSOR. "X" DENOTES SENSOR TYPE. 9" A.F.F., UNO
"ON/OFF" OR "UP/DOWN" PUSH BUTTON WITH PILOT LIGHT	TIME CLOCK; AS NOTED ON DRAWING OR SPECIFICATIONS.	PSX	POWER PACK FOR 24V OCCUPANCY / VACANCY SENSORS. "X" DENOTES SWITCH TYPE.
M	MOTOR CONNECTION	XX	LIGHT FIXTURE. "XX" DENOTES FIXTURE TYPE. "ab" DENOTES SWITCHING.
J X	JUNCTION BOX. "X" DENOTES LOCATION (CLG = CEILING MOUNTED)	XX	EXTERIOR WALL MOUNTED FIXTURE. "XX" DENOTES FIXTURE TYPE.
X	120 V, 20 AMP DUPLEX RECEPTACLE 16" A.F.F., UNO. "X" DENOTES RECEPTACLE TYPE. SEE RECEPTACLE TYPES BELOW.	W	FIRE ALARM HORN/VISUAL, 80" A.F.F., UNO.
X	120 V, 20 AMP DUPLEX RECEPTACLE AT 44" A.F.F. OR 6" ABOVE CASEWORK SURFACE. UNO. "X" DENOTES RECEPTACLE TYPE. SEE RECEPTACLE TYPES BELOW.	WV	FIRE ALARM VISUAL, 80" A.F.F., UNO. "WV" DENOTES WIRE GUARD.
X	120V, 20 AMP DOUBLE DUPLEX RECEPTACLE 16" A.F.F., UNO. "X" DENOTES RECEPTACLE TYPE. SEE RECEPTACLE TYPES BELOW.	WV	FIRE ALARM HORN, 80" A.F.F., UNO.
X	120 V, 20 AMP DOUBLE DUPLEX RECEPTACLE AT 44" A.F.F. OR 6" ABOVE CASEWORK SURFACE. UNO. "X" DENOTES RECEPTACLE TYPE. SEE RECEPTACLE TYPES BELOW.		HORIZONTALLY MOUNTED SURFACE RACEWAY
			VERTICALLY MOUNTED SURFACE RACEWAY

SWITCH TYPES

"	120/277 V, DOUBLE POLE 20 AMP AC SWITCH
"T"	120/277 V, THREE WAY 20 AMP AC SWITCH
"D"	120/277 V, 0-10V DIMMER SWITCH
"DSX"	120/277 V, MOMENTARY CONTACT 20 AMP AC SWITCH. "X" DENOTES SWITCH TYPE.
"K"	120/277 V, KEY OPERATED 20 AMP AC SWITCH
"M"	120/277 V, MOMENTARY CONTACT 20 AMP AC SWITCH
"OX"	120/277 V, SWITCH MOUNTED OCCUPANCY SENSOR. "X" DENOTES SWITCH TYPE.
"S"	120/277 V, 20 AMP AC SWITCH WITH PILOT LIGHT
"SP"	120/277 V, SPECIAL PURPOSE SWITCH
"T"	120/277 V, TIMER SWITCH
"TP"	120/277 V, MANUAL MOTOR STARTER SWITCH WITH PILOT LIGHT AND THERMAL OVERLOAD PROTECTION
"V"	120/277 V, LINE VOLTAGE DIMMER, 1500 WATT OR AS SPECIFIED.

*** NOT ALL SYMBOLS USED ON THIS PROJECT**

LIGHT FIXTURE SCHEDULE

TAG	MANUFACTURER'S CATALOG NUMBER	MAX. WATTS	MOUNT	MIN. LUMEN OUTPUT (D/I)	CCT	CRI	DESCRIPTION	REMARKS
DL1	HALO #HLBSL009FSS LITHONIA COLUMBIA	11	RECESSED	900	4000	90	120V, 6" DIAMETER WAFFER DOWNLIGHT WITH WIDE DISTRIBUTION ACRYLIC LIGHT GUIDE. ELECTRONIC 0-10V DIMMING DRIVER WITH RANGE FROM 100% TO 1% UL LISTED. PROVIDE AND INSTALL WITH HALO #H277 STEP DOWN TRANSFORMER AS REQUIRED FOR 120V CONNECTION. PROVIDE ALL NECESSARY MATERIALS FOR COMPLETE INSTALL.	
L1	LITHONIA #CM-2X4-AL07-80CRI-SWV7-40K-SWL-VOLV	28	RECESSED	4,033	4000	80	120/277V, 2X4 PANEL SWITCHABLE SATIN WHITE LENS LED PANEL AND COLOR ROLLED STEEL HOUSING. ELECTRONIC 0-10V DIMMING DRIVER WITH RANGE FROM 100% TO 10% UL LISTED. VERIFY TO SELECT LUMENS AND COLOR TEMPERATURE LISTED. CONTRACTOR TO FACTORY PRIOR TO INSTALLATION.	
L1A	SAME AS L1 EXCEPT WITH EMERGENCY BATTER PACK							

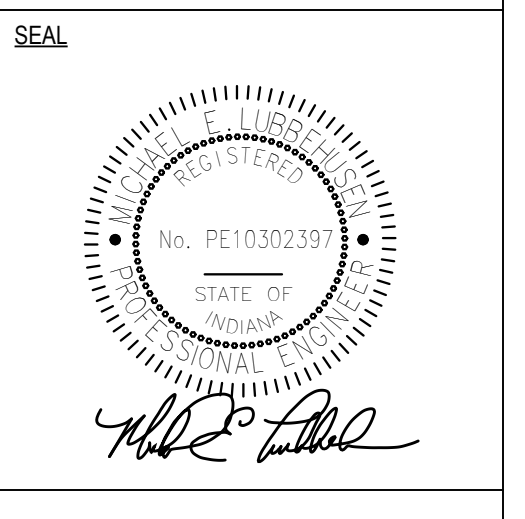
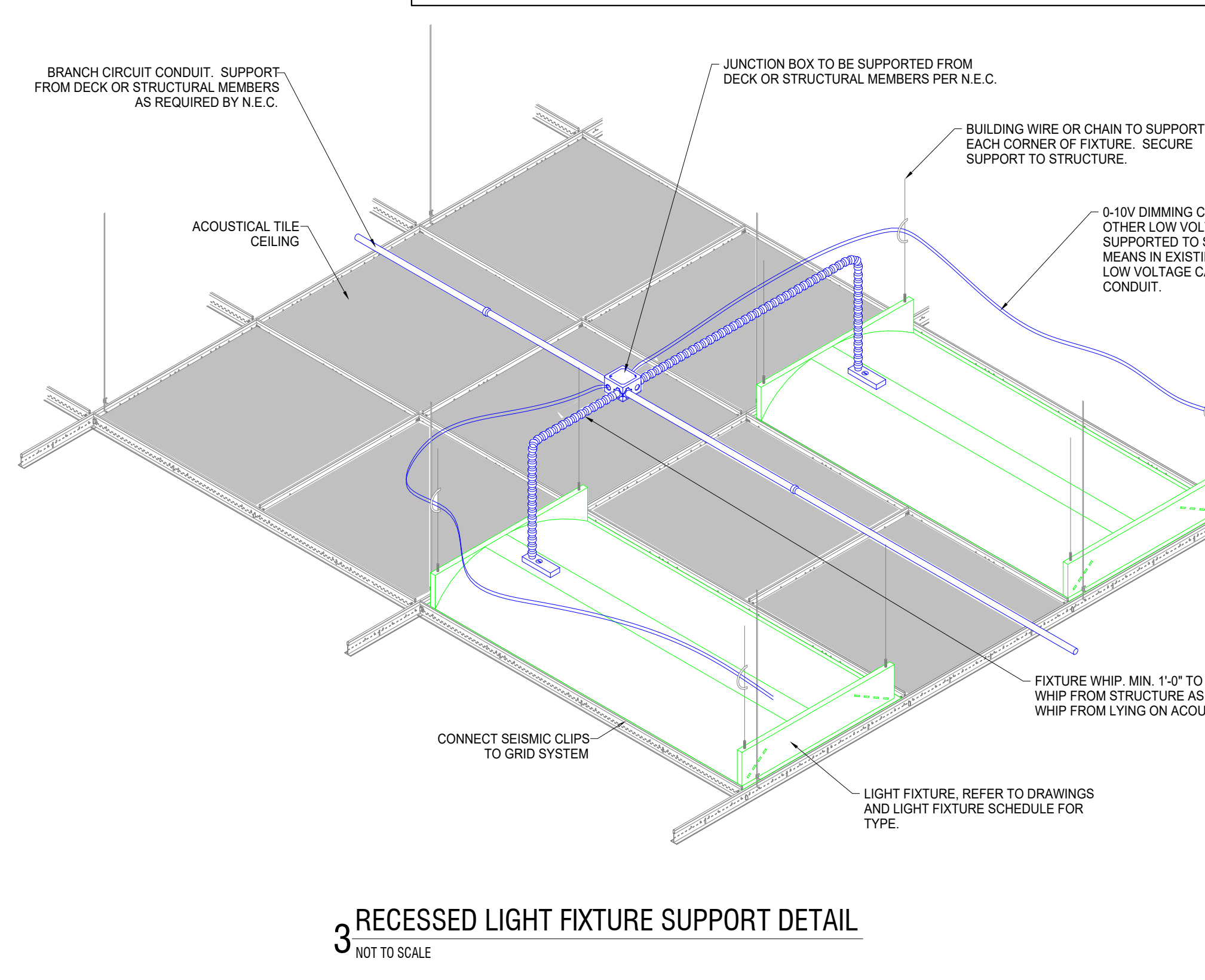
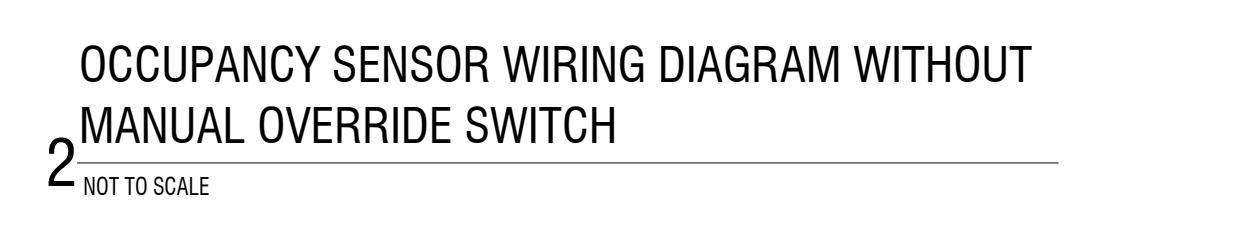
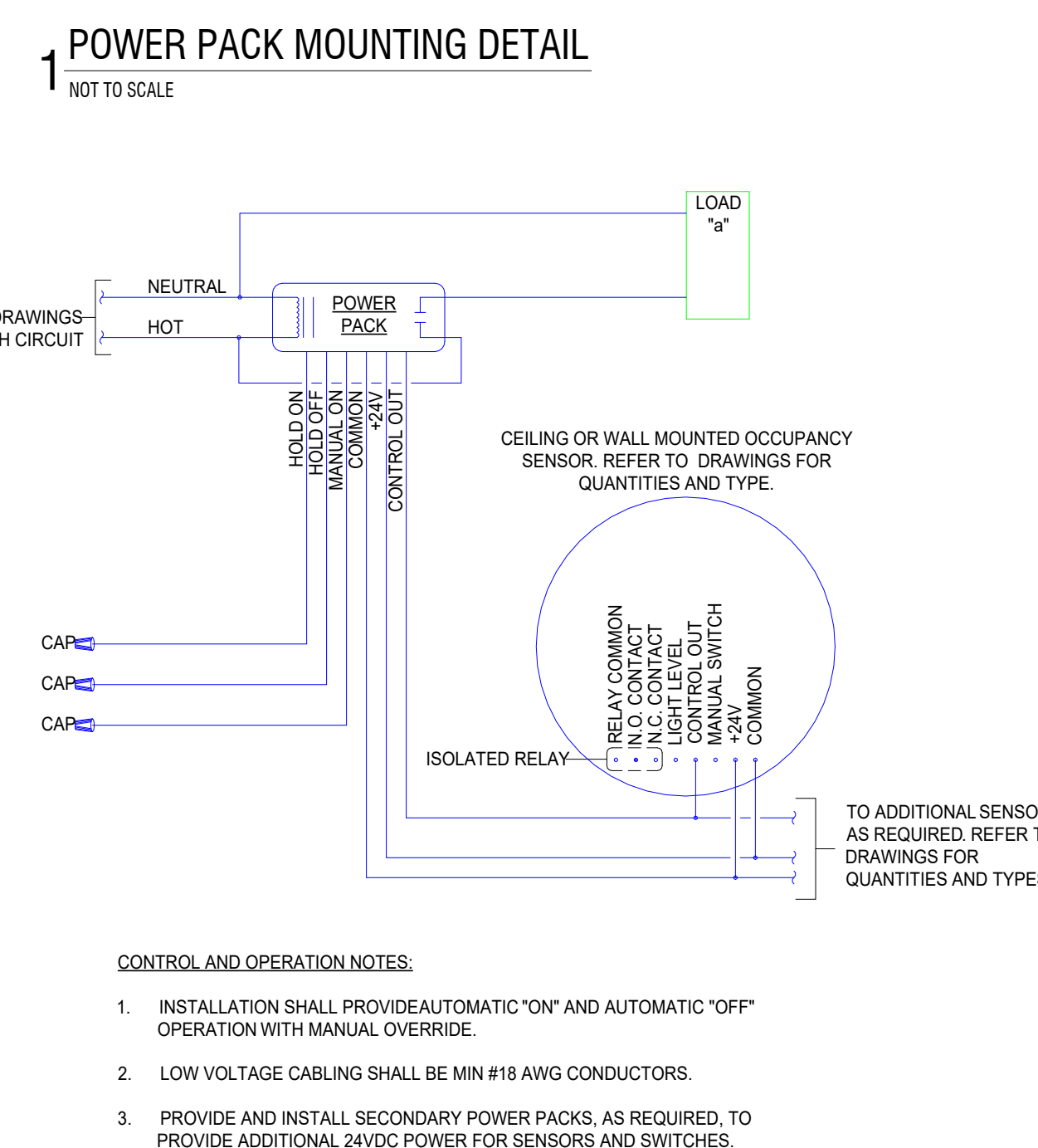
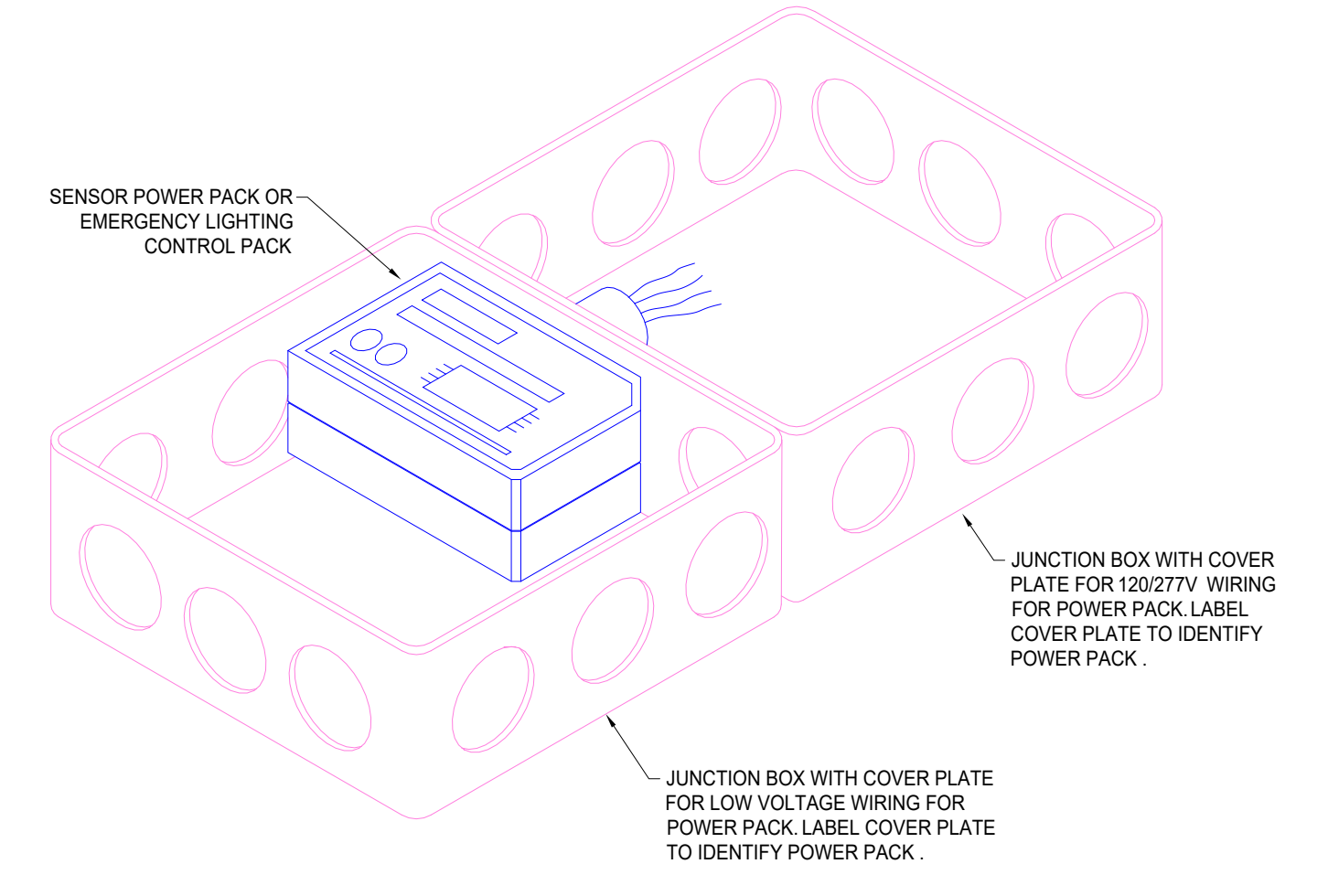
LIGHTING SENSOR SCHEDULE

TAG	MANUFACTURER'S CATALOG NUMBER	INPUT VOLTAGE	MOUNT	REMARKS	REMARKS
O1	WATTSTOPPER #DT-300 SENSOR SWITCH #CM-PDT-9-R GREENGATE #OAC-DT-R HUBBELL #OMNI-DT-XXXX-RP	24V	CEILING	DUAL TECHNOLOGY CEILING SENSOR WITH A COMBINATION OF ULTRASONIC AND PASSIVE INFRARED. SENSOR TO BE EQUIPPED WITH SELF ADJUSTING TECHNOLOGY AND ISOLATED RELAY OUTPUTS. SENSOR SHALL OPERATE AS AUTOMATIC 'ON' AND AUTOMATIC 'OFF' WITH A 15 MINUTE TIME DELAY.	1
PP	WATTSTOPPER #BZ1500 SENSOR SWITCH #PP20 GREENGATE #SP20-MV HUBBELL	120/277V	4 SQUARE BOX ABOVE ACCESSIBLE CEILING	POWER PACK TO OPERATE LOW VOLTAGE (24VDC) OCCUPANCY SENSORS. RELAY TO BE 20A RATED.	

REMARKS:

GENERAL NOTES:

- CEILING MOUNTED OCCUPANCY SENSORS SHALL BE INSTALLED 6'-0" AWAY FROM ANY SUPPLY DIFFUSERS, COORDINATE WITH MECHANICAL CONTRACTOR.



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Restroom Renovations
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NO.	DESCRIPTION	DATE
1	ADDENDUM #2	04/02/25

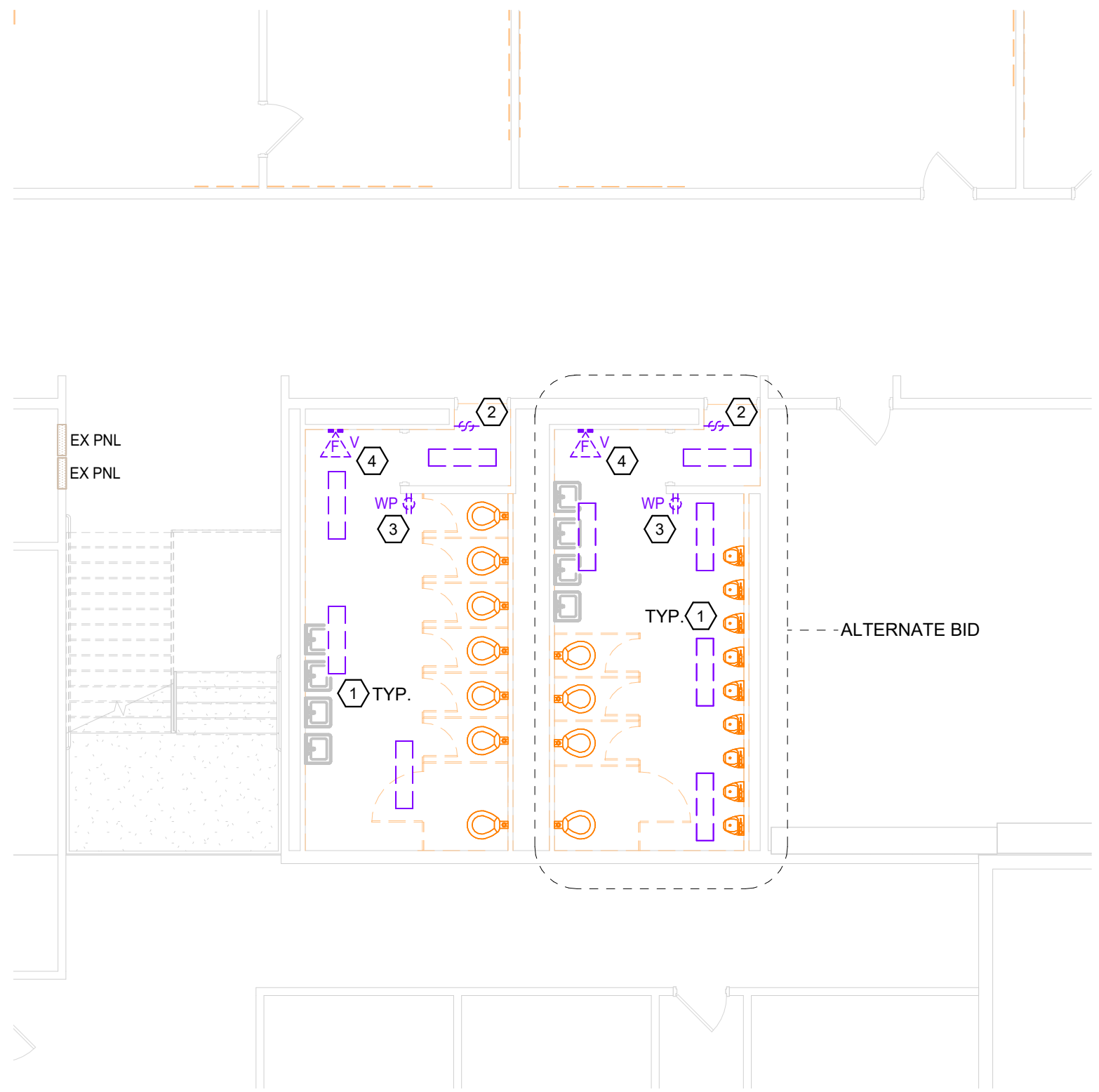
PROJECT NO. 2501101
ISSUE DATE March 12, 2025
SUBMITTAL Issue for Bids, Permits, and Construction
Electrical Information Sheet

E-001

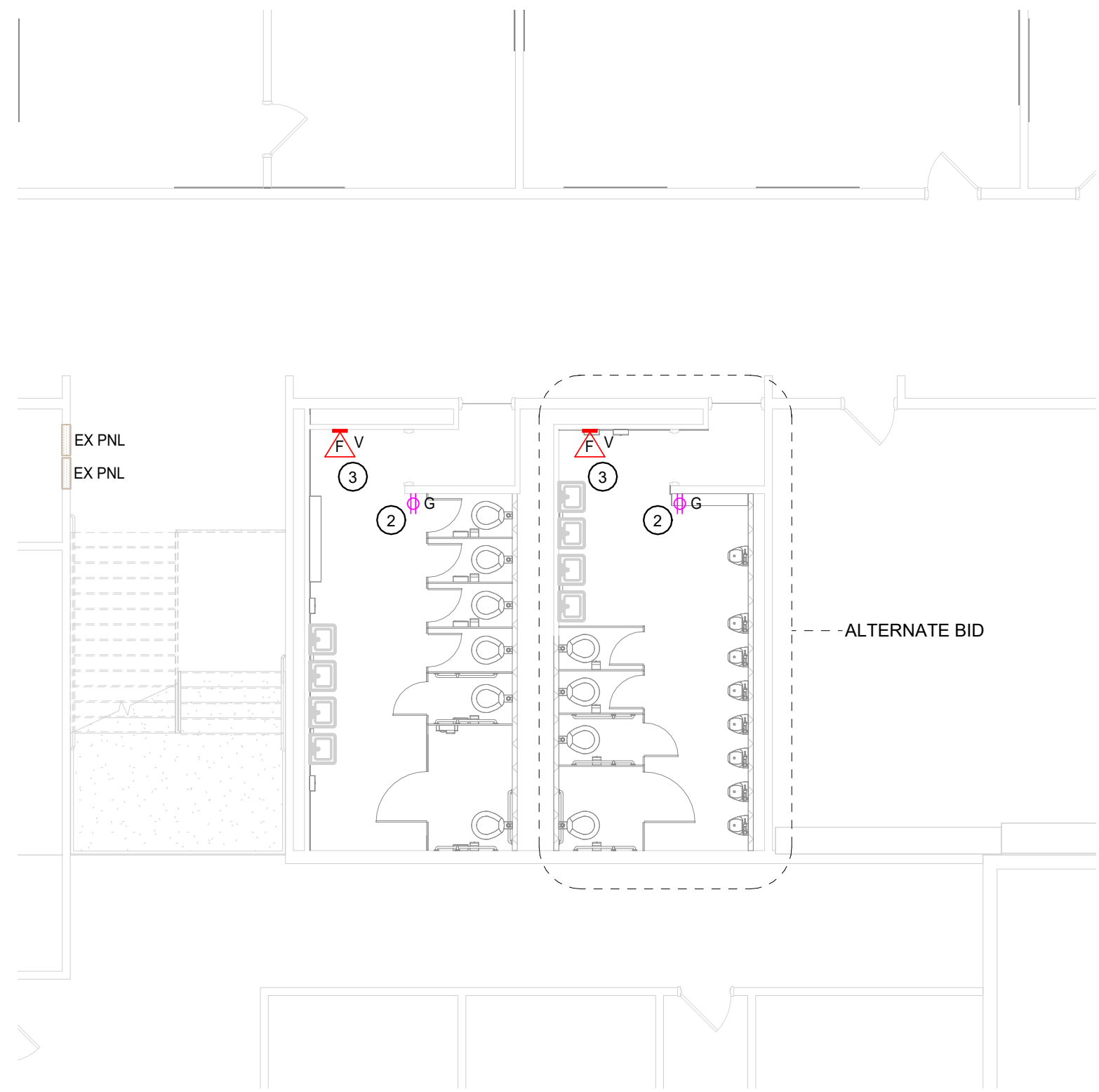
PRIMARY JOB #2572 RVT 25

- DEMOLITION PLAN NOTES**
1. DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES. EXISTING WIRING TO REMAIN. PREPARE WIRING AND CONDUIT TO BE EXTENDED AS REQUIRED FOR NEW FIXTURES.
 2. DISCONNECT AND REMOVE EXISTING LIGHT SWITCH. EXISTING WIRING TO BE REMOVED. PROVIDE AND INSTALL STAINLESS STEEL FACEPLATE AT EXISTING DEVICE BOX.
 3. DISCONNECT AND REMOVE EXISTING WEATHERPROOF RECEPTACLE. EXISTING WIRING TO REMAIN. PREPARE WIRING AND JUNCTION BOX AS REQUIRED FOR NEW DEVICE.
 4. DISCONNECT AND SALVAGE EXISTING FIRE ALARM NOTIFICATION DEVICE. EXISTING WIRING TO REMAIN. PREPARE WIRING AND RACEWAY AS REQUIRED FOR INSTALL OF EXISTING DEVICE.

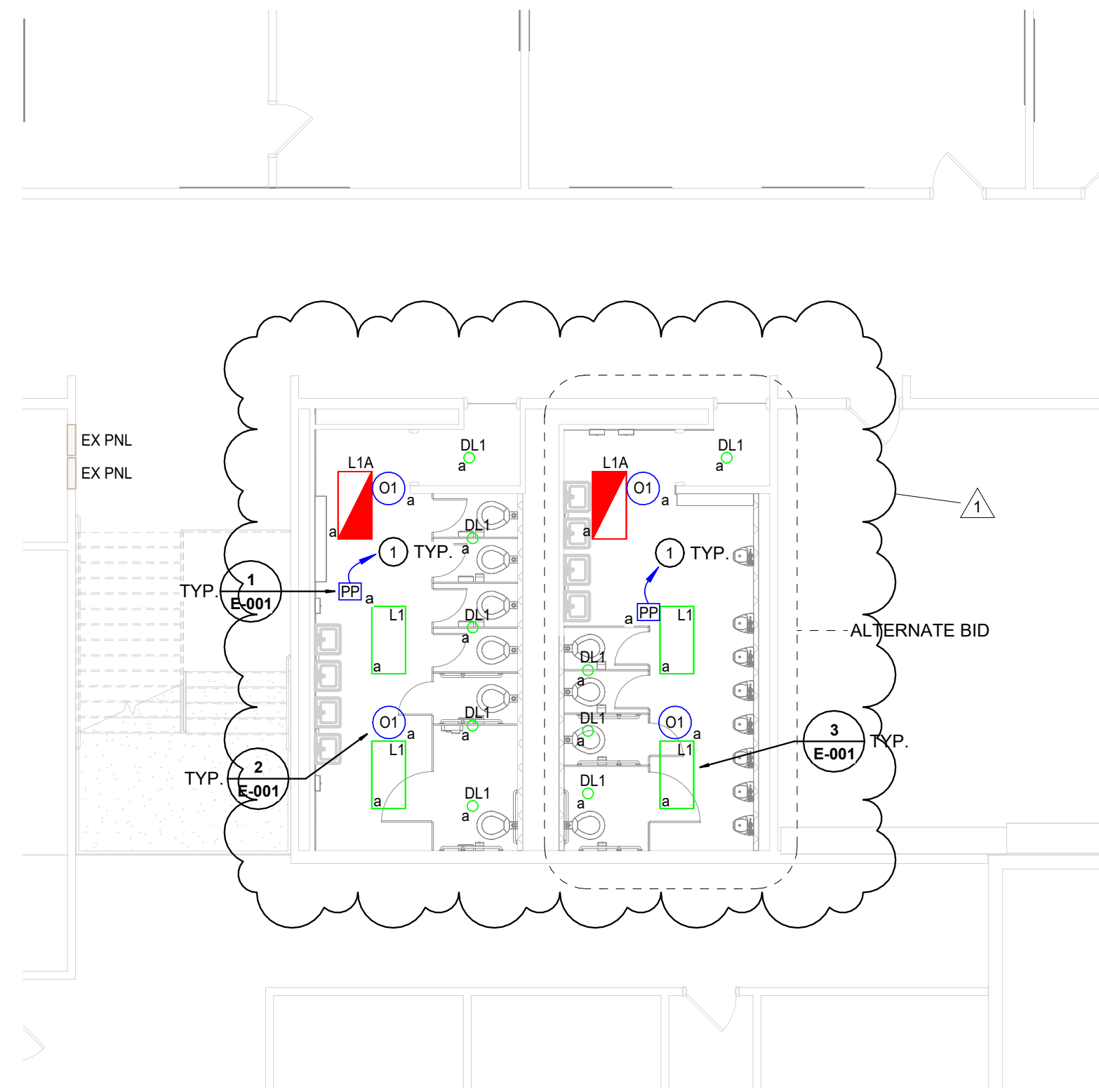
- PLAN NOTES**
1. PROVIDE AND INSTALL NEW LIGHT FIXTURES IN/ON CEILING. INTERCEPT AND EXTEND EXISTING CIRCUIT AS REQUIRED TO CONNECT NEW LIGHTING AND LIGHTING CONTROL DEVICES IN AREA.
 2. PROVIDE AND INSTALL NEW GFI RECEPTACLE IN EXISTING JUNCTION BOX. CONNECT TO EXISTING WIRING AT EXISTING LOCATION. PROVIDE ALL MATERIALS NECESSARY FOR COMPLETE INSTALL.
 3. INSTALL SALVAGED SURFACE MOUNT FIRE ALARM DEVICE USING LEGRAND WIREMOLD SERIES #700, OR EQUAL TO, COLOR MATCHED TO WALL. PROVIDE ALL NECESSARY LABOR, HARDWARE, AND SOFTWARE FOR COMPLETE INSTALL.



PLAN NORTH
First Floor Demolition Plan
 1/8" = 1'-0"



PLAN NORTH
First Floor Power & System Plan
 1/8" = 1'-0"

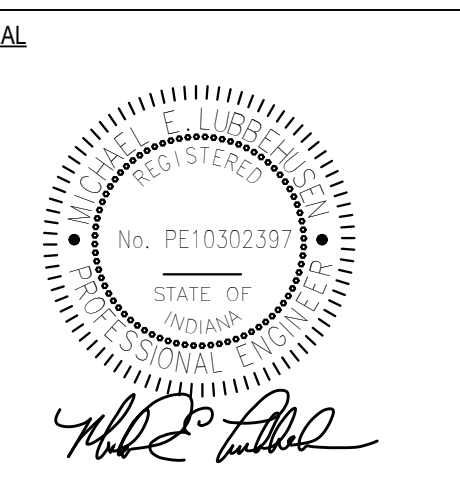


PLAN NORTH
First Floor Lighting Plan
 1/8" = 1'-0"

IF THE WHEEL PRINTED BELOW IS NOT SHOWN IN COLOR, THIS SET OF PRINTS IS NOT REPRESENTING ALL THE PRINTS. CORRECTLY CONTACT PRIMARY ENGINEERING FOR DIRECTIONS ON HOW TO OBTAIN A FULL COLOR SET OF PRINTS.



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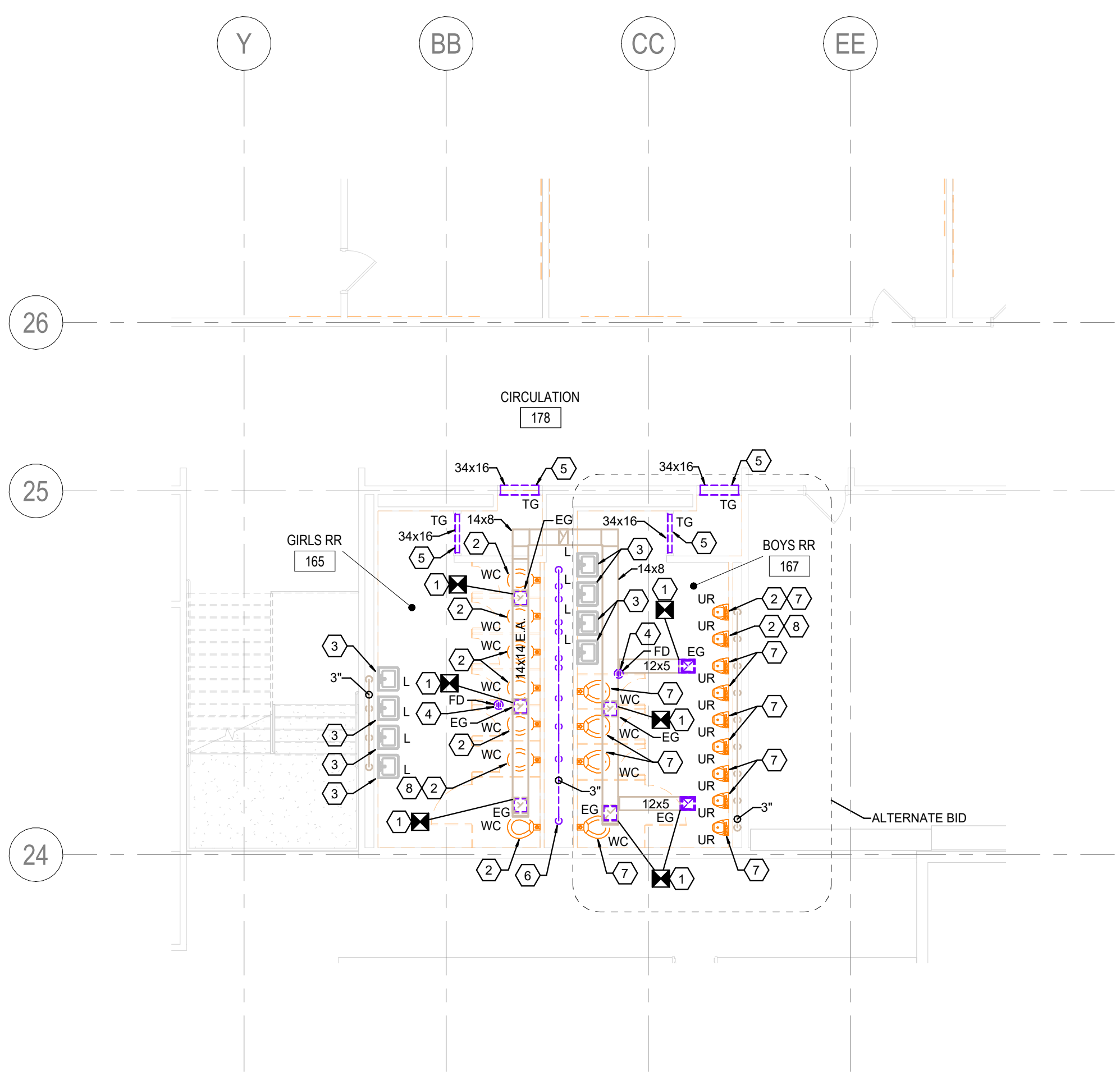
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First Floor Electrical Plan

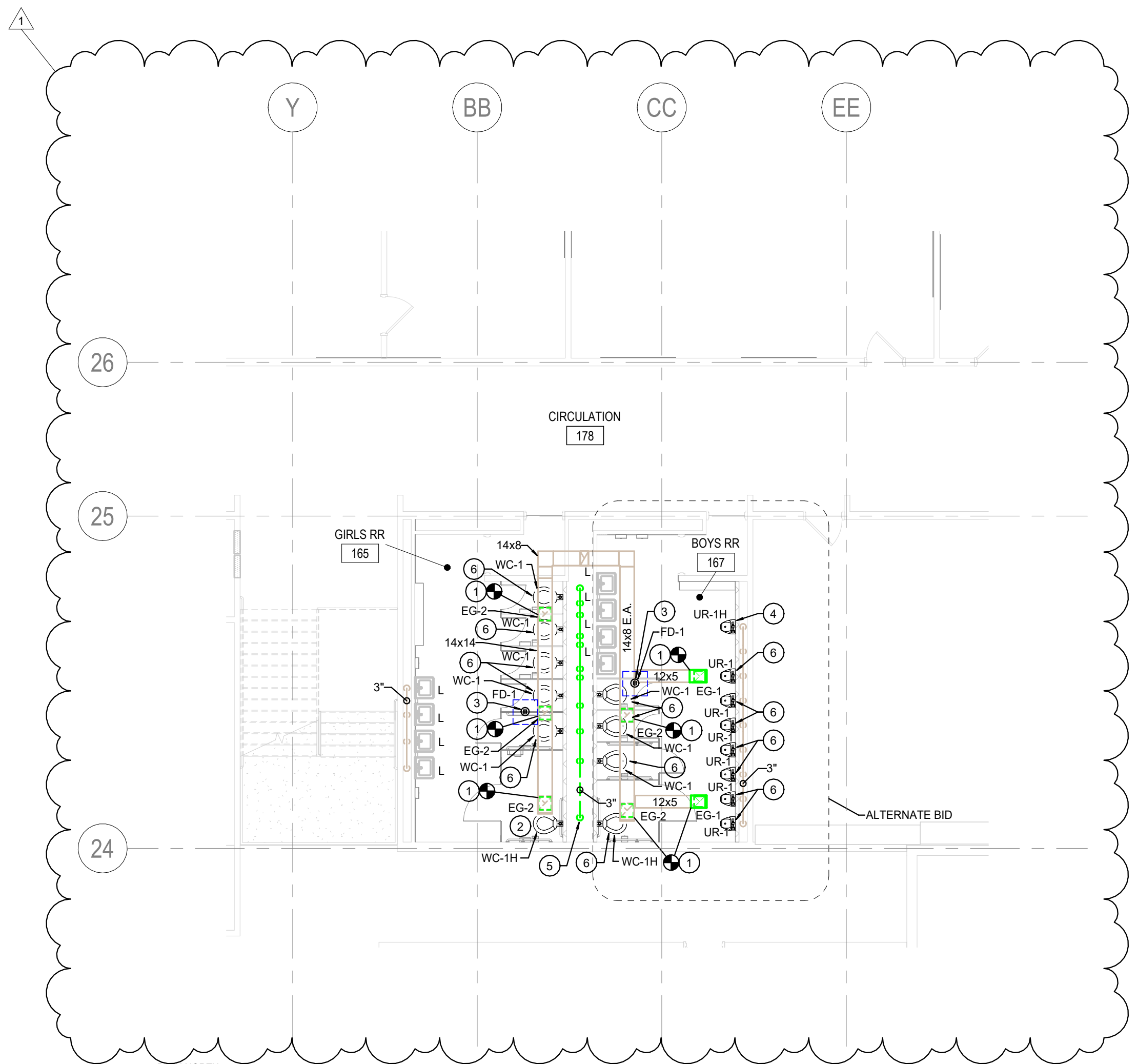
E-201

- DEMOLITION PLAN NOTES**
1. DISCONNECT AND REMOVE EXISTING EXHAUST GRILLE COMPLETE. PREPARE FOR NEW GRILLE IN SAME LOCATION.
 2. REMOVE EXISTING PLUMBING FIXTURE COMPLETE. FIXTURE LOCATIONS TO BE REUSED SHALL BE PREPARED FOR INSTALLATION OF NEW. FIXTURE LOCATIONS TO BE ABANDONED SHALL HAVE ASSOCIATED FIXTURE CARRIER AND PIPING REMOVED COMPLETE. PATCH WALL TO MATCH EXISTING SURROUNDINGS AS REQUIRED.
 3. FIXTURE SHALL REMAIN. REMOVE ALL CAULK BETWEEN FIXTURE AND WALL ALONG WITH ALL RESIDUE PRIOR TO PAINTING OF WALLS. RE-CAULK ONCE WALL PAINTING IS COMPLETE.
 4. REMOVE EXISTING FLOOR DRAIN AND PREPARE FOR INSTALL OF NEW IN SAME LOCATION.
 5. REMOVE EXISTING TRANSFER GRILLE. COORDINATE PATCHING WITH ARCHITECTURAL.
 6. UNDER ALTERNATE BID #2. REMOVE FIXTURE CARRIERS AND EXISTING SANITARY, VENT, AND DOMESTIC WATER PIPING COMPLETE.
 7. UNDER ALTERNATE BID #1. REMOVE EXISTING PLUMBING FIXTURE COMPLETE. FIXTURE LOCATIONS TO BE REUSED SHALL BE PREPARED FOR INSTALLATION OF NEW. FIXTURE LOCATIONS TO BE ABANDONED SHALL HAVE ASSOCIATED FIXTURE CARRIER AND PIPING REMOVED COMPLETE. PATCH WALL TO MATCH EXISTING SURROUNDINGS AS REQUIRED.
 8. FIXTURE SHALL BE TURNED OVER TO OWNER.

- PLAN NOTES**
1. PROVIDE AND INSTALL NEW EXHAUST GRILLE IN NEW CEILING GRID. TIE-IN TO EXISTING DUCT.
 2. INSTALL SALVAGED WATER CLOSET ON EXISTING CARRIER ARMS. PROVIDE AND INSTALL NEW WAX RING AND CAULK AROUND FIXTURE TO SEAL WATER TIGHT.
 3. TIE-IN SANITARY OF EQUAL SIZE TO EXISTING. CONTRACTOR SHALL EXTEND PIPING AS REQUIRED. SAWCUT FLOOR AS REQUIRED FOR INSTALLATION OF NEW FLOOR DRAIN. BACKFILL WITH COMPACTABLE FILL AND DOWEL INTO EXISTING SLAB AND PAN NEW SLAB OF SAME THICKNESS. COORDINATE ALL CUTTING AND PATCHING WITH G.C. TO MATCH SURROUNDINGS.
 4. INSTALL SALVAGED URINAL ON NEW FIXTURE CARRIER. PROVIDE AND INSTALL NEW WAX RING AND CAULK AROUND FIXTURE TO SEAL WATER TIGHT.
 5. UNDER ALTERNATE BID. INSTALL NEW FIXTURE CARRIERS, SANITARY, VENT, AND DOMESTIC WATER PIPING. FIELD VERIFY EXISTING CONDITIONS FOR EXACT SIZES AND LOCATIONS.
 6. UNDER ALTERNATE BID. INSTALL SALVAGED PLUMBING FIXTURE ON NEW FIXTURE CARRIER. PROVIDE NEW WAX RING AND SEAL WATER TIGHT.



PLAN NORTH
First Floor Mechanical and Plumbing Demolition Plan
 1/8" = 1'-0"



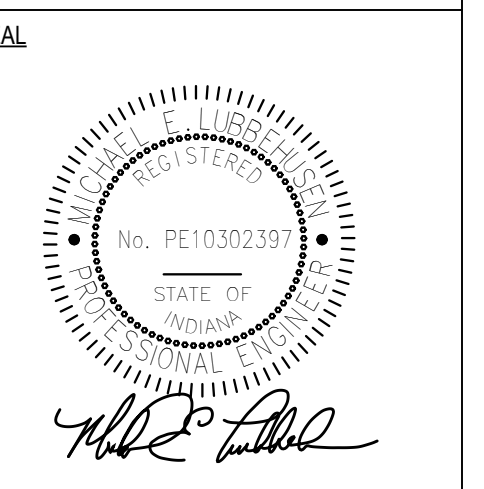
PLAN NORTH
First Floor Restroom Mechanical and Plumbing Plan
 1/8" = 1'-0"

IF THE WHEEL PRINTED BELOW IS NOT SHOWN IN COLOR, THIS SET OF PRINTS IS NOT REPRESENTING ALL LINE TYPES. CORRECTLY CONTACT PRIMARY ENGINEERING FOR INSTRUCTIONS ON HOW TO OBTAIN A FULL-COLOR SET OF PRINTS.



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FIRST FLOOR RESTROOM MECHANICAL PLAN

MP-201