



A D D E N D U M

Project No.: 2501107

Addendum No: 002

Project: Whitko CSC Lifeskills Classroom Reno

Date: 06-23-2026

TO: ALL BIDDERS OF RECORD

ADDENDUM NO. 002, to Drawings and Specifications dated 05-22-2026, for the Life Skills Renovation for the Whitko Community School Corporation; as prepared by ELEVATUS Architecture, 111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802

This ADDENDUM shall hereby be and become a part of the Contract Documents the same as if originally bound thereto.

The following clarifications, amendments, additions, revisions, changes, and modifications change the original Contract Documents only in the amount and to the extent hereinafter specified and set forth in this ADDENDUM.

Each Bidder shall acknowledge receipt of this ADDENDUM on the Bid Form.

PROJECT MANUAL:

ITEM NO. 2.01 - PROJECT MANUAL, Table of Contents,

- A. See attached updated Table of Contents noting inclusion of 01 21 00 Allowances

ITEM NO. 2.02 - PROJECT MANUAL, 01 21 00, Allowances

- A. Include New Specification Section 01 21 00 Included in this addendum

DRAWINGS:

ITEM NO. 2.xx - DRAWING NO. A-111L Architectural Plan and Demo Plan

- A. Detail 2, Architectural Plan: See revised dimensions and note around the toilet and showers in rooms 108, 109

SEE Attached MEP Narrative and Sheets from Primary Engineering.

GENERAL NOTES:

RFI's & QUESTIONS:

- A. The Non-Collusion affidavit is duplicated in the Form 96 and the bid form provided. Do we have to fill out both? **NO: Prefer to use the form built into FORM 96, but feel free to use either one.**
- B. What is the height to deck for "A" type walls? **A: Roof structure is trusses, beams and metal deck, on the underside of a hipped roof. Deck height varies from approx. 12' at SW corner of classroom up to 22' near NE corner, at approximately 4:12 slope.**

- C.** Vestibular Swing is provided by Owner, Installed by Contractor. **Allowance provided is to encompass any structural connections needed. Intention is to suspend from structure above through an open tile in ceiling.**

Submitted By:
Cory Miller

ELEVATUS

ARCHITECTURE

cc: ☒ File: G:\002025\2501107 Whitko CS Culinary Renovation\0800 Bidding\0810 Addenda\2501107 - Addendum 02 Write Up.docx
☒ Owner: Whitko Community School Corp
☒ Contractor:
☒ Consultant: Primary
☐ Consultant:

SECTION 01 21 00 - ALLOWANCES

PART 1 GENERAL

1.1 RELATED DOCUMENTS

- A. Related Requirements Specified Elsewhere
 - 1. 01 33 00 - Schedule of Values
- B. Designate in Schedule of Values separate item for cost allowances for the following:
 - 1. Work

1.2 ALLOWANCES FOR WORK

- A. Provide Work under allowance only as directed by Architect and pursuant to Change Order executed in accordance with the Contract Documents.
- B. Include following amounts in bid for inclusion in Contract sum:
 - 1. General Contingency Allowance for Work hidden, undetectable, or unforeseen and not visible from pre-bid, on-site observation, or not shown, called-for, or reasonably implied in the Contract Documents, or other general requirements as may be directed by the Architect.
 - a. General Contingency Allowance: \$22,000.00.
 - 2. Miscellaneous Steel Allowance (for vestibular swing engineering and construction):
 - a. Miscellaneous Steel Allowance: \$3,000.00.
- C. Amount of Allowance includes:
 - 1. Net cost of product.
 - 2. Delivery to the site.
 - 3. Applicable taxes.
 - 4. Handling at site including unloading, uncrating, and storage.
 - 5. Protection from elements, from damage.
 - 6. Labor, installation, and finishing.
 - 7. Other expenses (e.g., testing, adjusting, and balancing) required to complete installation.
 - 8. A fixed percentage for overhead and profit. Overhead shall include supervision; superintendence; wages of time-keepers, watchmen, and clerks; hand tools, general office expense; and other expenses not included in "cost" under a) through g) above.
 - a. For Work (labor, materials, and equipment) completed by the Contractor with his own labor, 15 percent shall be added for overhead and profit.
 - b. For Work (labor, materials, and equipment) completed by subcontractor of the Contractor, 10 percent shall be added for overhead and profit.

1.3 SELECTION OF PRODUCT/MATERIAL

A. Architect's Duties

1. Consult with Contractor in consideration of product/material and suppliers.
2. Make selection, designate product/material to be used.
3. Notify Contractor in writing, designating:
 - a. Product, size, color, and texture.
 - b. Supplier.
 - c. Cost, delivered at site.

B. Contractor's Duties

1. Assist Architect in determining qualified suppliers.
2. Obtain proposals from suppliers when requested by Architect/Engineer.
3. Make appropriate recommendations for consideration by Architect/Engineer.
4. Notify Architect in writing, of effect anticipated by selection of product or supplier under consideration on:
 - a. Construction Schedule.
 - b. Contract Sum.
5. On notification of selection enter into purchase agreement with designated supplier.

1.4 DELIVERY

A. Contractor Responsibility:

1. Arrange for delivery and unloading.
2. Promptly inspect product for damage or defects.
3. Submit claims for transportation damage.

1.5 INSTALLATION

- A. Comply with reference Specification Section requirements.

1.6 ADJUSTMENT OF CASH ALLOWANCES

- A. Unused amounts of monies included under allowances shall be credited to the Owner by deduct change prior to approval of Final Application for Payment.

Whitko CS Life Skills Classroom Renovation
Larwill, Indiana

PART 2 PRODUCTS (NOT USED)

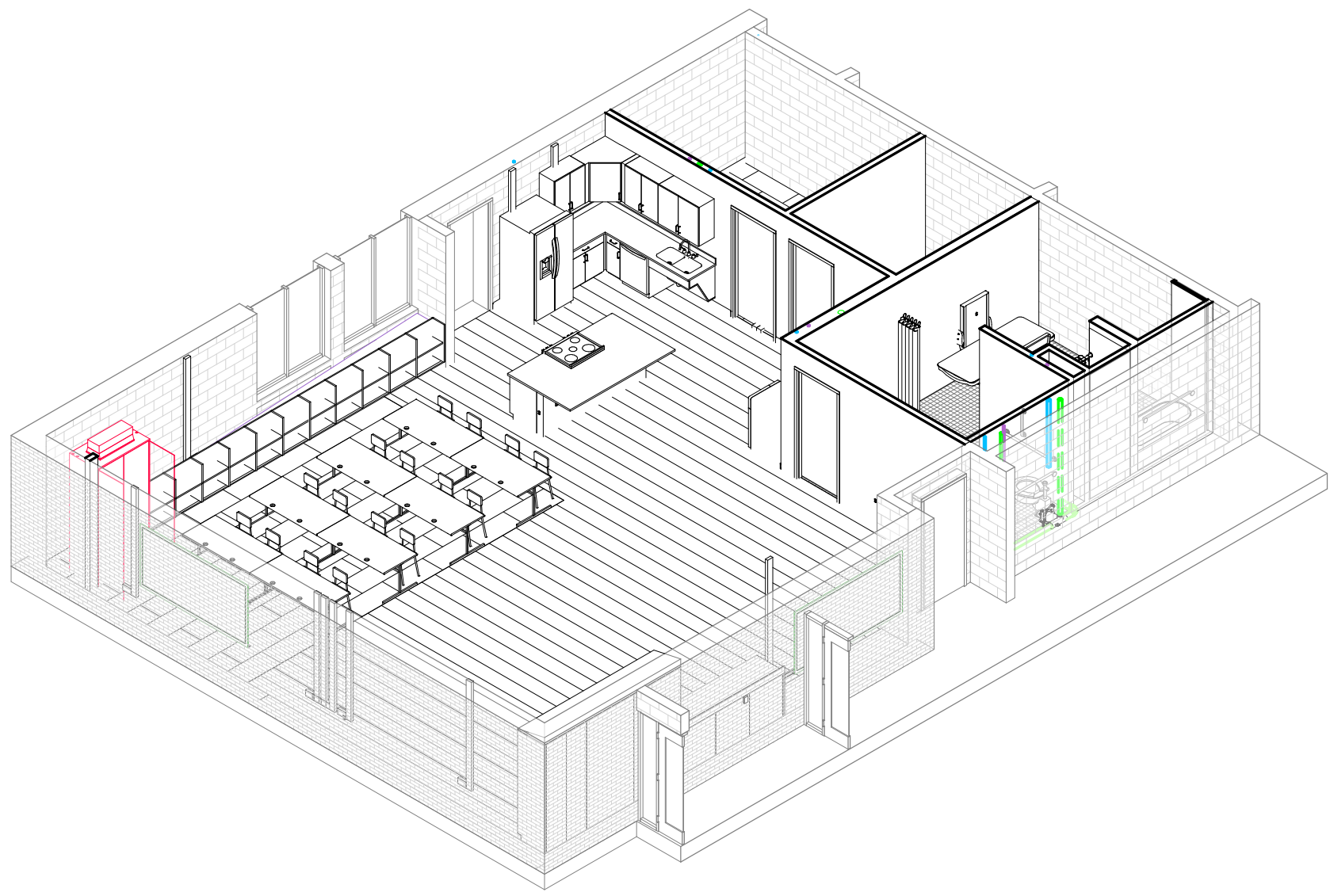
PART 3 EXECUTION

3.1 INSTALLATION

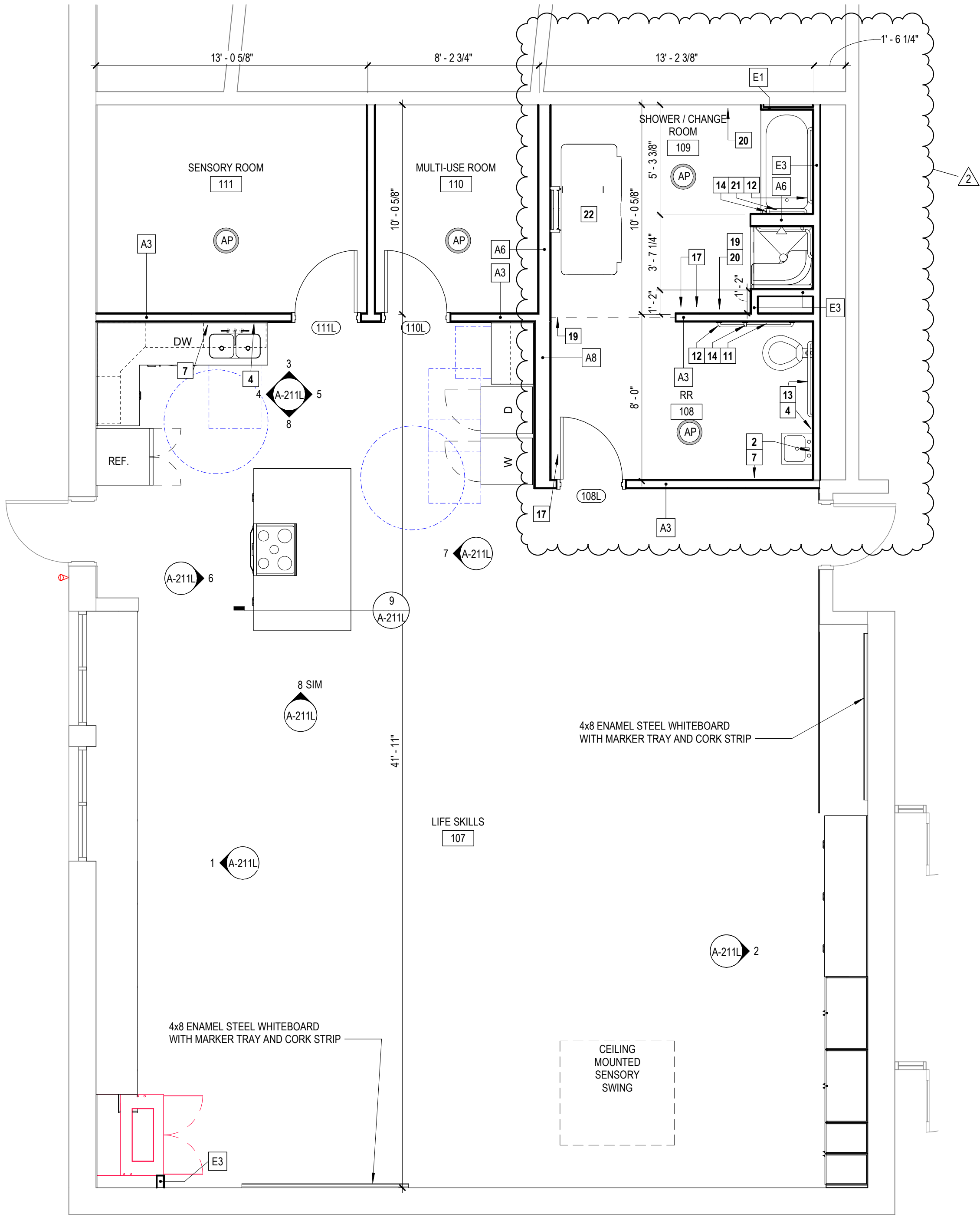
- A. Install all items in strict accordance with the manufacturer written instructions and in accordance with ADA requirements.
- B. Provide all items and accessories as required for a complete installation in every respect.

END OF SECTION

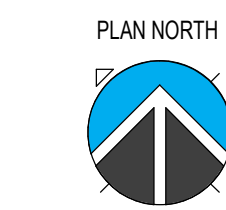
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3 Liefskills Isometric



2 Life Skills Architectural Plan
1/4" = 1'-0"



1 Life Skills Architectural Demolition Plan
1/4" = 1'-0"

TOILET ACCESSORIES SCHEDULE				
TAG	MODEL NO. (B-BODRICK)	DESCRIPTION	SUPPLIED BY	INSTALLED BY
2	B-165-2436	STAINLESS STEEL CHANNEL FRAMED MIRROR, CENTER OVER SINK, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHTS.	CONTRACTOR	CONTRACTOR
4	B-2111	SURFACE-MOUNTED SOAP DISPENSER, MOUNT TOP OF UNIT @ 50 7/8" AFF.	OWNER	OWNER
7	B-262	SURFACE-MOUNTED PAPER TOWEL DISPENSER, MOUNT TOP OF CABINET @ 54" AFF.	OWNER	OWNER
11	B-2892	SURFACE-MOUNTED TWIN JUMBO-ROLL TOILET TISSUE DISPENSER, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	OWNER	OWNER
12	B-6806.99	42" GRAB BAR, CONCEALED MOUNTING WITH SNAP FLANGE AND PEENED NON-SLIP GRIPPING SURFACE, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	CONTRACTOR	CONTRACTOR
13	B-6806.99	36" GRAB BAR, CONCEALED MOUNTING WITH SNAP FLANGE AND PEENED NON-SLIP GRIPPING SURFACE, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	CONTRACTOR	CONTRACTOR
14	B-6806.99	18" GRAB BAR, CONCEALED MOUNTING WITH SNAP FLANGE AND PEENED NON-SLIP GRIPPING SURFACE, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	CONTRACTOR	CONTRACTOR
17	B-212	CLOTHES HOOK WITH BUMPER, MOUNTED 48" AFF.	CONTRACTOR	CONTRACTOR
19	B-6047	EXTRA-HEAVY-DUTY SHOWER CURTAIN ROD, FIELD VERIFY LENGTH REQUIRED.	CONTRACTOR	CONTRACTOR
20	B-530 x 24	EXTRA-HEAVY-DUTY TOWEL BAR, MOUNT 40" AFF.	CONTRACTOR	CONTRACTOR
21	B-6806.99	24" GRAB BAR, CONCEALED MOUNTING WITH SNAP FLANGE AND PEENED NON-SLIP GRIPPING SURFACE, REFER TO ACCESSIBILITY DIAGRAMS FOR MOUNTING HEIGHT.	CONTRACTOR	CONTRACTOR
22	#80110-72	CLINTON INDUSTRIES 72" OPEN BASE, POWERED CHANGING TABLE, 400 LB CAPACITY	CONTRACTOR	CONTRACTOR

FLOOR PLAN GENERAL NOTES

- GENERAL CONTRACTOR SHALL TAKE RESPONSIBILITY FOR COORDINATING REQUIRED WORK WITH ALL TRADES BASED UPON A COMPLETE SET OF CONSTRUCTION DOCUMENTS.
- EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. WHEN VERIFICATION OF EXISTING DIMENSIONS IS REQUIRED, THE CONTRACTOR REQUIRING SAID VERIFICATION FOR THE CONSTRUCTION OR FABRICATION OF HIS MATERIAL SHALL BE THE CONTRACTOR RESPONSIBLE FOR THE PROCUREMENT OF THE FIELD INFORMATION.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DO NOT SCALE DRAWINGS.
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- UNLESS NOTED OTHERWISE, PLAN DIMENSIONS ARE TAKEN FROM FACE OF STUD, CMU, CONCRETE OR EXISTING FINISH TO FACE OF STUD, CMU OR CONCRETE.
- REPAIR ALL SURFACES DAMAGED BY RENOVATION AND NEW CONSTRUCTION TO MATCH EXISTING ADJACENT OR CONTIGUOUS FINISH.
- GENERAL CONTRACTOR TO PATCH ALL CONCRETE SLAB MECHELEC PENETRATIONS, PATCH SLAB FLUSH WITH EXISTING SLAB AND PROVIDE #4 DOWELS INTO EXISTING SLAB AS REQUIRED.
- ALL CUTTING AND PATCHING AS A RESULT OF NEW CONSTRUCTION OR DEMOLITION SHALL BE PERFORMED IN A WORKMANLIKE MANNER, AND SHALL MATCH IN COLOR, SHAPE, SIZE AND TEXTURE ADJACENT AND/OR CONTIGUOUS FINISHED SURFACES.
- WHERE PATCHING, REPAIRING OR INFILLING EXISTING MASONRY EXPOSED TO VIEW, "TOOTH-IN" NEW MASONRY TO ADJACENT EXISTING MASONRY TO REMAIN.
- PATCH ALL CRACKS AND RESEAL JOINTS IN EXISTING SUBSTRATES SCHEDULED TO RECEIVE NEW FINISHES.
- PROVIDE ALL BLOCKING NECESSARY FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO CASEWORK, MILLWORK, TOILET ACCESSORIES, GRAB BARS, HANDRAILS, DOOR HARDWARE, ELECTRICAL DEVICES AND LABORATORY EQUIPMENT.
- ALL INTERIOR WOOD BLOCKING SHALL BE FIRE-RETARDANT TREATED. ALL EXTERIOR WOOD BLOCKING SHALL BE PRESSURE TREATED.
- PROVIDE FIRE-BLOCKING AND DRAFT-STOPPING IN COMBUSTIBLE CONCEALED WALLS AT 10'-0" O.C. MAX. HORIZONTALLY & VERTICALLY.
- DOORS NOT OTHERWISE DIMENSIONED SHALL BE 8" FROM FACE OF ADJACENT CMU OR CONCRETE WALL TO ROUGH DOOR OPENING, AND 4" FROM FACE OF ADJACENT STUD WALL TO ROUGH DOOR OPENING.
- THE TRANSITION OF DIFFERENT FLOORING MATERIALS AT A DOORWAY SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS NOTED OTHERWISE.
- ALL WALL SURFACES, DOOR FRAMES, BULKHEADS AND CEILINGS SHALL RECEIVE PAINT WHEN PAINT IS INDICATED ON THE FINISH SCHEDULE OR FINISH PLANS. PAINT SURFACES BEHIND MOVABLE EQUIPMENT AND FURNITURE SAME AS SIMILAR EXPOSED SURFACES. PAINT SURFACES BEHIND PERMANENTLY FIXED EQUIPMENT OR FURNITURE WITH PRIME COAT ONLY BEFORE FINAL INSTALLATION OF EQUIPMENT. PAINT ALL MECHANICAL AND ELECTRICAL EQUIPMENT EXPOSED IN FINISHED SPACES UNLESS NOTED OTHERWISE.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATION REQUIREMENTS AND DESIGN INTENT.
- PROVIDE FIRE EXTINGUISHERS (FE) AND FIRE EXTINGUISHER CABINETS (FEC) AS INDICATED ON THE PLANS. PROVIDE TYPE AND SIZE AS SPECIFIED. MOUNT AT 42" AFF TO TOP OF FE AND 48" AFF TO TOP OF FEC.
- REFER TO LIFE SAFETY PLANS FOR RATED PARTITIONS AND ASSEMBLIES.
- UNLESS NOTED OTHERWISE, NEW WALLS TO BE 3/8" METAL STUDS @ 16" O.C. WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD EACH SIDE, EXTEND STUD AND GYPSUM BOARD TO MINIMUM 6" ABOVE FINISHED CEILING. SEAL AS REQUIRED FOR WALL RATINGS INDICATED.

DEMOLITION GENERAL NOTES

- DEMOLITION PLANS SHALL SERVE TO AID IN EVALUATION OF THE WORK AND EXTENT OF DEMOLITION BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE. FIELD VERIFY EXISTING CONDITIONS, DEMOLITION AND REMOVALS AS REQUIRED FOR INSTALLATION OF THE NEW WORK AND FINISHES INDICATED WHETHER OR NOT SPECIFICALLY NOTED IN THESE DRAWINGS.
- SCHEDULE DEMOLITION WORK EFFECTING OCCUPIED AREAS OF THE FACILITY IN ADVANCE WITH THE OWNER THROUGH CONSTRUCTION PROJECT MANAGER. REFER TO SPECIFICATIONS.
- FINISH REMOVAL NOTES APPLY TO PARTITIONS/WALLS THAT REMAIN. REMOVE ALL FINISHES FROM WALLS THAT REMAIN WITHIN THE LIMIT OF CONSTRUCTION, UNLESS NOTED OTHERWISE.
- REMOVE INTERIOR WALLS/PARTITIONS ENTIRELY FROM DECK ABOVE TO DECK BELOW.
- WHERE WALLS, PARTITIONS, FLOORING, ACCESSORIES OR OTHER TYPES OF CONSTRUCTION ARE REMOVED, PATCH AND REPAIR ADJACENT AREAS AS REQUIRED TO RECEIVE NEW CONSTRUCTION OR FINISHES AND TO MATCH ADJACENT SURFACES. MAINTAIN ALL EXISTING AND REQUIRED FIRE RATED CONSTRUCTION THROUGHOUT.
- WHERE NEW FLOOR FINISHES ARE SCHEDULED OR INDICATED, REMOVE ALL EXISTING FLOOR FINISHES AND PREPARE A CLEAN SLAB TO RECEIVE NEW FLOOR FINISHES IN ACCORDANCE WITH THE NEW FLOOR FINISH MANUFACTURERS WRITTEN RECOMMENDATIONS UNLESS NOTED OTHERWISE. PROPER PREPARATION OF EXISTING SURFACES SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF ACCUMULATED ADHESIVES & MASTICS, FILLING AND REPAIR OF CRACKS & VOIDS, SURFACE RESTORATION, THOROUGH CLEANING, ETC., & OTHER PROCEDURES AS MAY BE RECOMMENDED BY MANUFACTURER OF NEW FLOORING.
- UNLESS NOTED OTHERWISE, REMOVE ALL EXISTING ACCESSORIES & HARDWARE. PATCH & REPAIR ALL SURFACES TO RECEIVE NEW FINISHES.
- OFFER REMOVED ITEMS SUCH AS DOORS, HARDWARE, PLUMBING FIXTURES AND TOILET ACCESSORIES TO OWNER BEFORE REMOVAL FROM THE SITE. DETERMINE SALVAGE ITEMS WITH THE OWNER BEFORE DEMOLITION BEGINS. ALL ITEMS NOT DISPOSED BY OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF OFF SITE.
- PROTECT ALL ITEMS TO REMAIN AND REPAIR/REPLACE ANY DAMAGED ITEMS OR CONSTRUCTION.
- REPLACE FIREPROOFING OF STRUCTURAL MEMBERS DISPLACED DURING DEMOLITION AND CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH OTHER TRADES. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS NECESSARY TO COMPLETE THE WORK.
- ALL TRADES ARE RESPONSIBLE FOR SECURING CHASES AND RISERS BEFORE DEMOLITION WORK PROCEEDS TO PREVENT DEBRIS FROM FALLING THROUGH INTO SPACES BELOW.
- CAP AND REROUTE EXISTING UTILITY SERVICES LOCATED IN WALLS, CEILINGS, OR FLOORS TO BE REMOVED, AS REQUIRED FOR NEW CONDITIONS AND IN ACCORDANCE WITH APPLICABLE CODES. SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- HOLES LEFT IN CONCRETE FLOORS FROM REMOVED ITEMS SUCH AS PLUMBING PIPES, CONDUTS, ETC. SHALL BE PATCHED BY GENERAL CONTRACTOR.
- REFER TO ENGINEERING DRAWINGS FOR RELATED WORK AND ITEMS TO BE REMOVED OR RE-INSTALLED IN NEW CONSTRUCTION. COORDINATE TEMPORARY LIGHTING, COMMUNICATION AND MECHANICAL SYSTEMS WITH OTHER TRADES. MAINTAIN ALL LIFE SAFETY DEVICES.
- REMOVE ABANDONED UTILITY SERVICES, SUCH AS ELECTRICAL, PLUMBING, GAS LINES, AND MECHANICAL DUCTWORK, DISCOVERED AND NOT SCHEDULED FOR REUSE BACK TO THEIR SOURCE (INCLUDING ALL HANGARS, STRAPS, WIRES, ETC.). MAINTAIN ANY SYSTEM SERVICING ADJACENT BUILDING AREAS THAT ARE NOT INCLUDED IN THE CONTRACT; REROUTE AS REQUIRED. SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE ALL NECESSARY DEMOLITION OF EXISTING CONSTRUCTION FOR NEW UTILITY SERVICES AS REQUIRED.
- COORDINATE LOCATION AND SIZE OF ALL REQUIRED OPENINGS IN EXISTING FLOOR SYSTEM BETWEEN ARCHITECTURAL FLOOR PLAN AND ENGINEERING DRAWINGS.

DEMOLITION PLAN NOTES

TAG	DESCRIPTION
CEILING DEMOLITION	
1.01	REMOVE ACoustical LAY-IN CEILING SYSTEM: PANELS, GRID AND ALL RELATED HANGERS AND SUPPORTS.
FLOORING DEMOLITION	
2.03	REMOVE CARPET AND ALL RELATED ADHESIVE. CLEAN/REPARE SUBFLOOR TO ACCEPT NEW FLOORING AS SCHEDULED.
2.05	REMOVE EXISTING RUBBER BASE, PREP SURFACE FOR NEW FINISHES. SEE FINISH LEGEND FOR MORE INFORMATION.
2.08	PREP EXISTING FLOORING TO RECEIVE NEW FINISHES. SEE FINISH SCHEDULE FOR MORE INFORMATION.
PARTITION DEMOLITION	
3.01	REMOVE RUBBER BASE. PATCH/REPAIR WALL SURFACE TO ACCEPT NEW FINISHES AS SCHEDULED.
3.06	REMOVE DOOR(S) AND FRAME. OFFER DOOR(S) AND HARDWARE TO OWNER BEFORE DISPOSING.
3.14	REMOVE WALL IN ITS ENTIRETY.
FIXTURE DEMOLITION	
4.07	REMOVE BASE CABINET(S), COUNTERTOP AND WALL CABINET(S). OFFER TO OWNER BEFORE DISPOSING.
4.08	REMOVE DISPLAY (3) CASES & PANELS COMPLETELY BACK TO CMU WALL. OFFER TO OWNER BEFORE DISPOSING.
4.09	REMOVE WINDOW SILL AND PREP FOR NEW WINDOW SILL.
UTILITY DEMOLITION	
5.01	REMOVE PLUMBING FIXTURE(S). SEE PLUMBING DOCUMENTS FOR MORE INFORMATION.
5.07	REMOVE EXISTING VENTILATION UNITS. OFFER TO OWNER BEFORE DISPOSING.

Whitko CS Life Skills Classroom
Renovation
710 IN-5,
Larwill, IN 46764

REVISIONS		
NO.	DESCRIPTION	DATE
1	Addendum 01	6/18/26
2	Addendum 02	06/26/26

PROJECT NO.
2501107
SUBMITTAL
ISSUED FOR BID

ISSUE DATE
05-22-2026

Architectural Plan &
Demo Plan

A-111L



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REVISIONS: 1. 05/22/2026: REVISED TO REFLECT THE LATEST REVISIONS TO THE PROJECT. 2. 06/26/2026: REVISED TO REFLECT THE LATEST REVISIONS TO THE PROJECT.

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Addendum: 2

Date: **06/23/2026**

Project: Whitko Life Skills

Comm #: **25738**

The following items shall be incorporated into the specifications and drawings and are considered to be integral to the bid documents for the project. Acknowledgement of receipt of this addendum is required on the bid form.

Item #1: Sheet P001, "Plumbing Information Sheet"

- A. Revised Plumbing Fixture Schedule to accommodate architectural changes. Refer to supplemental drawing sheet P001 for additional information.

Item #2: Sheet P201, "Plumbing Plan"

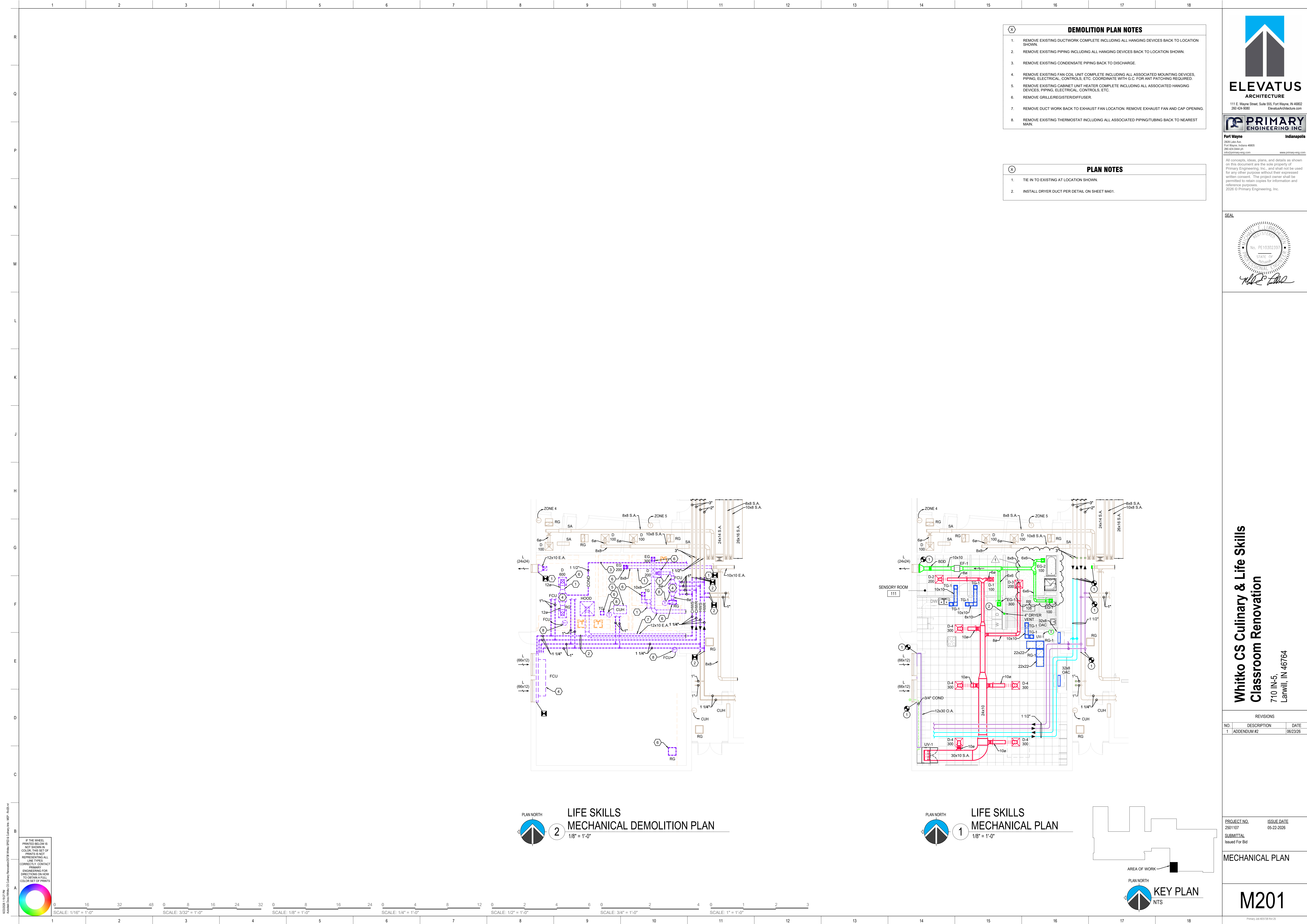
- A. Added plumbing fixtures to accommodate architectural changes. Revised and added piping accordingly. Refer to supplemental drawing sheet P201 for additional information.

Item #3: Sheet M201, "Mechanical Plan"

- A. Revised exhaust grille location to accommodate architectural changes. Refer to supplemental drawing sheet M201 for additional information.

Item #4: Sheet E201, "Electrical Plans"

- A. Revised Shower RM 109 receptacle layout. Refer to supplemental drawing sheet E201 for additional information.



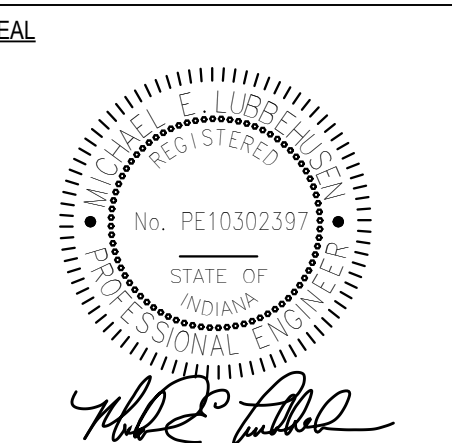


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Whitko CS Culinary & Life Skills Classroom Renovation
710 IN-5,
Larwill, IN 46764

REVISIONS		
NO.	DESCRIPTION	DATE
1	ADDENDUM #2	06/23/26

PROJECT NO. 2501107	ISSUE DATE 05-22-2026
SUBMITTAL Issued For Bid	

ELECTRICAL PLANS

E201

Primary Job #20106-Rev 05