

ADDENDUM TWO

Roofing and Related Work at Kettler Hall Roof Replacement Phase 1 - 2026:
Purdue University Fort Wayne
E Campus Drive
Fort Wayne, Indiana 46805

MARTINRILEY architects ▪ engineers
221 West Baker Street
Fort Wayne, Indiana 46802
260-422-7994

Commission No.: F26026
Addendum Date: July 14, 2026

Conditions: The following clarifications, amendments, additions, deletions, revisions and modifications are a part of the contract documents and change the original documents only in the manner and to the extent stated.

Copies of the Addendum shall be bound with all contracts sets of drawings and specifications.

Receipt: Addendum Number Two shall be acknowledged by Bidders on their Bid Form.

CLARIFICATIONS:

- Area 24 on the construction drawings will be its own alternate designated as Alternate R-1-B
- There are no specified unit prices to be included in this project

CHANGES TO THE SPECIFICATIONS:

- N/A

CHANGES TO THE DRAWINGS:

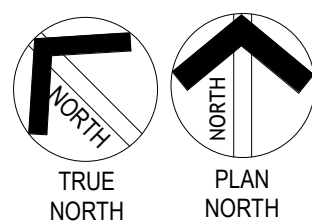
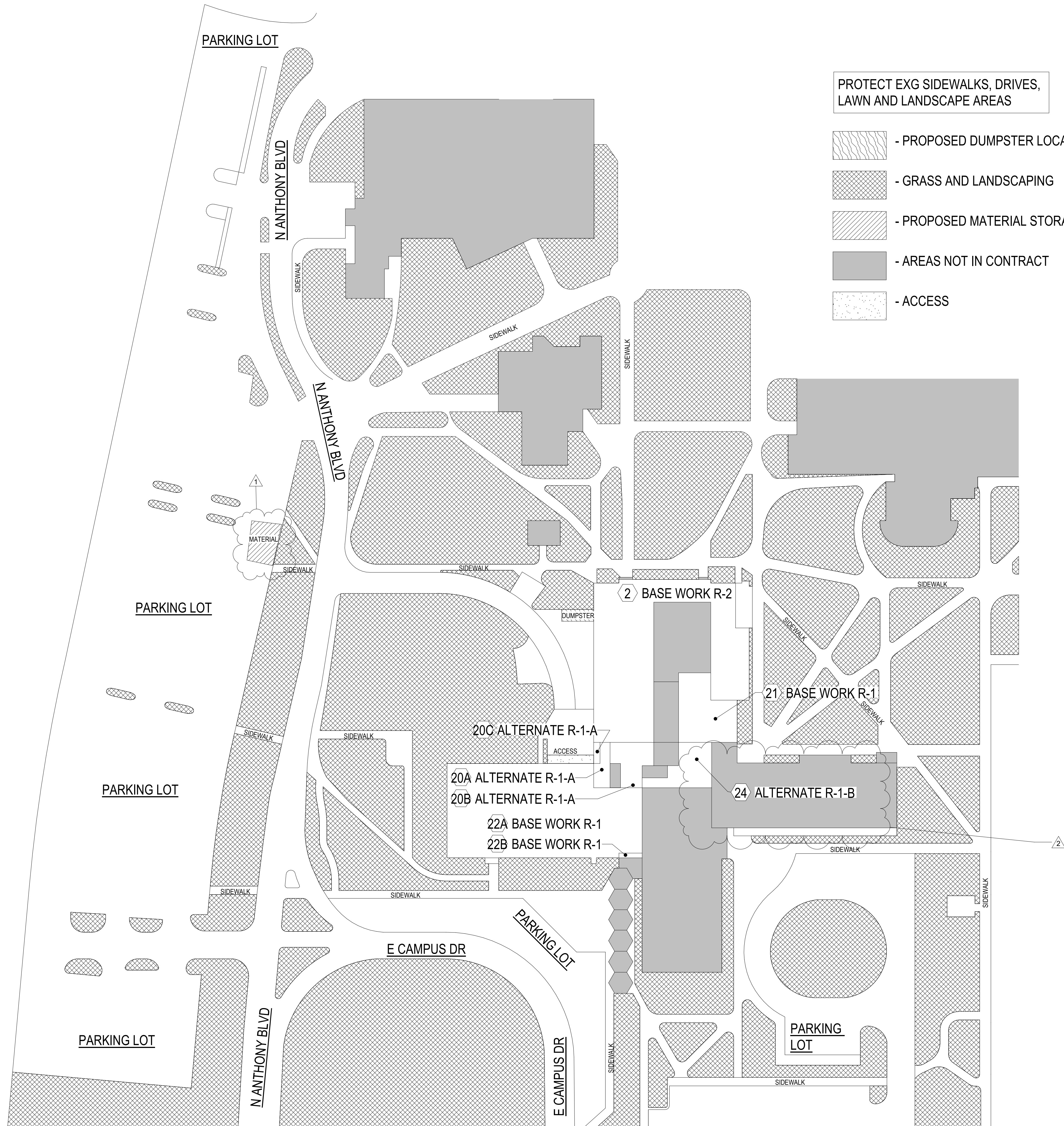
- **REMOVE SHEET C101 - SITE PLAN AND REPLACE WITH SHEET C101 - SITE PLAN ATTACHED TO THE END OF THIS ADDENDUM.**
- **REMOVE SHEET R102 - ROOF PLAN AND REPLACE WITH SHEET R102 - ROOF PLAN ATTACHED TO THE END OF THIS ADDENDUM.**

END OF ADDENDUM NUMBER TWO

Attachments:
Sheet C101
Sheet R102

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F26026 KETTLE HALL ROOF REPLACEMENT PHASE 1 - 2026
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1 Site Plan
1" = 50'-0"

PURDUE
UNIVERSITY
FORT WAYNE

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221 West Baker Street
Fort Wayne, Indiana 46802
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School Hours: 7:30 a.m. - 7 p.m.

REVISION: 2 DATE: 7/14/2026

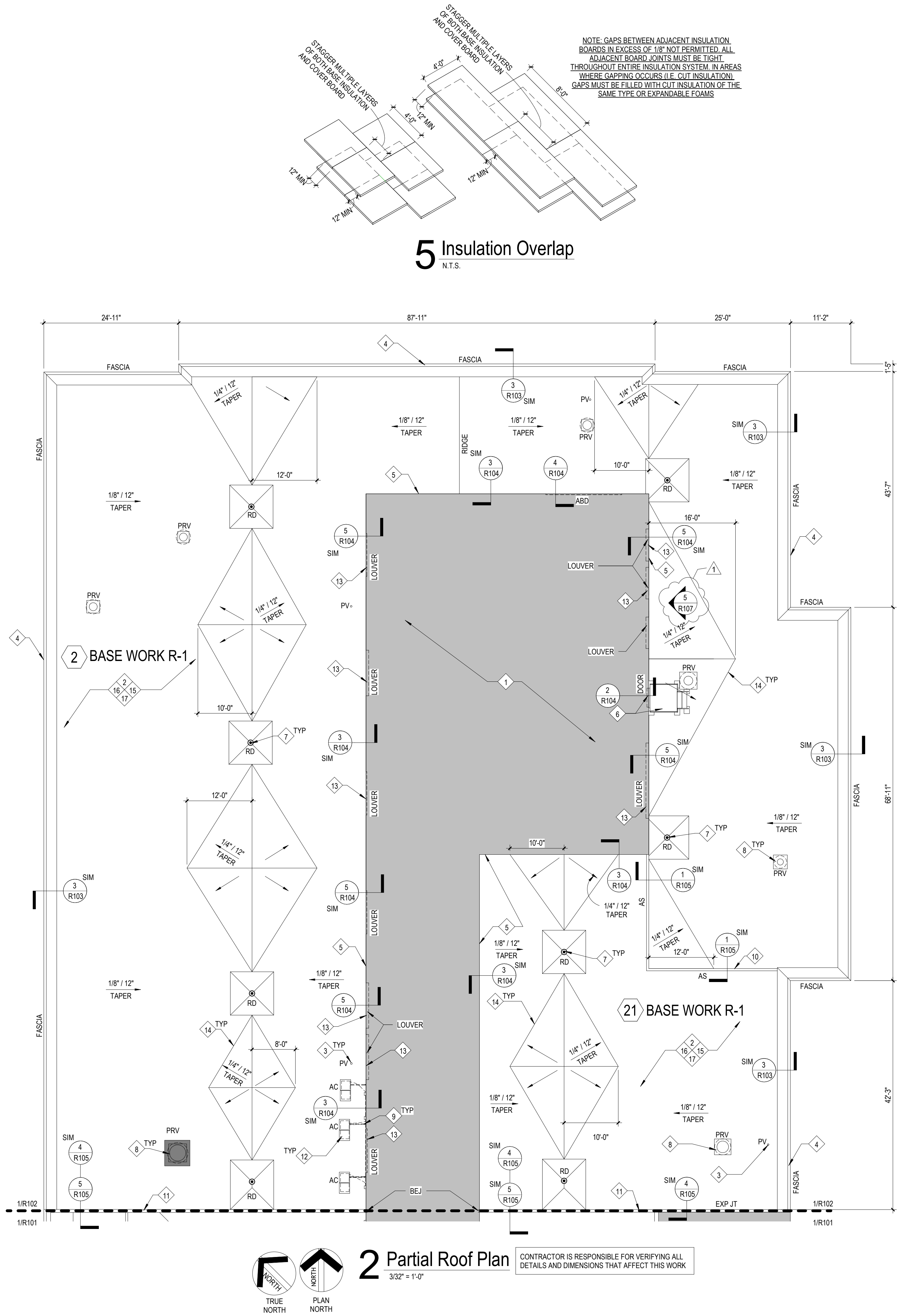
DRAWN BY: ASP COMMISSION NUMBER: F26026 REVIEWED BY: CLW DATE: 2026-06-12

C101

SITE PLAN

ROOFING AND RELATED WORK AT:
KETTLE HALL ROOF
REPLACEMENT PHASE 1 - 2026
E Campus Dr
Fort Wayne, IN 46805
PID: C.20.10237

F26026 KETTLER HALL ROOF REPLACEMENT PHASE 1 - 2026
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22	FLASHING:	2-PLY POLYMER MODIFIED BITUMEN ROOFING (MBR) ADHESIVELY ADHERED
	SURFACE:	SMOOTH
	MEMBRANE:	2-PLY POLYMER MODIFIED BITUMEN ROOFING (MBR) ADHESIVELY ADHERED
	INSULATION:	ADHESIVELY ADHERED TAPERED INSULATION (1/2" START)
	VAPOR BARRIER:	NONE
	DECK:	CONCRETE (MOISTURE FOUND)

2	FLASHING:	2-PLY POLYMER MODIFIED BITUMEN ROOFING (MBR) ADHESIVELY ADHERED
20A	SURFACE:	SMOOTH
20B	MEMBRANE:	2-PLY POLYMER MODIFIED BITUMEN ROOFING (MBR) ADHESIVELY ADHERED
21	INSULATION:	ADHESIVELY ADHERED TAPERED INSULATION (1/2" START) OVER ADHESIVELY ADHERED 1" FLAT STOCK RIGID INSULATION
24	VAPOR BARRIER:	NONE
	DECK:	CONCRETE (MOISTURE FOUND)

20C	FLASHING:	2-PLY POLYMER MODIFIED BITUMEN ROOFING (MBR) ADHESIVELY ADHERED
22B	SURFACE:	SMOOTH
	MEMBRANE:	2-PLY POLYMER MODIFIED BITUMEN ROOFING (MBR) ADHESIVELY ADHERED
	INSULATION:	ADHESIVELY ADHERED 1" FLAT STOCK RIGID INSULATION
	VAPOR BARRIER:	NONE
	DECK:	CONCRETE (MOISTURE FOUND)

4 Existing Conditions

N.T.S.

ROOF PRESSURES

ASCE 7-10

ROOF FIELD	-33.72 POUNDS PER SQUARE FOOT
ROOF PERIMETER	-56.58 POUNDS PER SQUARE FOOT
ROOF CORNERS	-85.16 POUNDS PER SQUARE FOOT

EDGE METAL PRESSURES

ANSI SPRI ES-1 2011

VERTICAL PERIMETER PRESSURE	66.07 POUNDS PER SQUARE FOOT
VERTICAL CORNER PRESSURE	99.50 POUNDS PER SQUARE FOOT
HORIZONTAL PERIMETER PRESSURE	38.15 POUNDS PER SQUARE FOOT
HORIZONTAL CORNER PRESSURE	47.59 POUNDS PER SQUARE FOOT

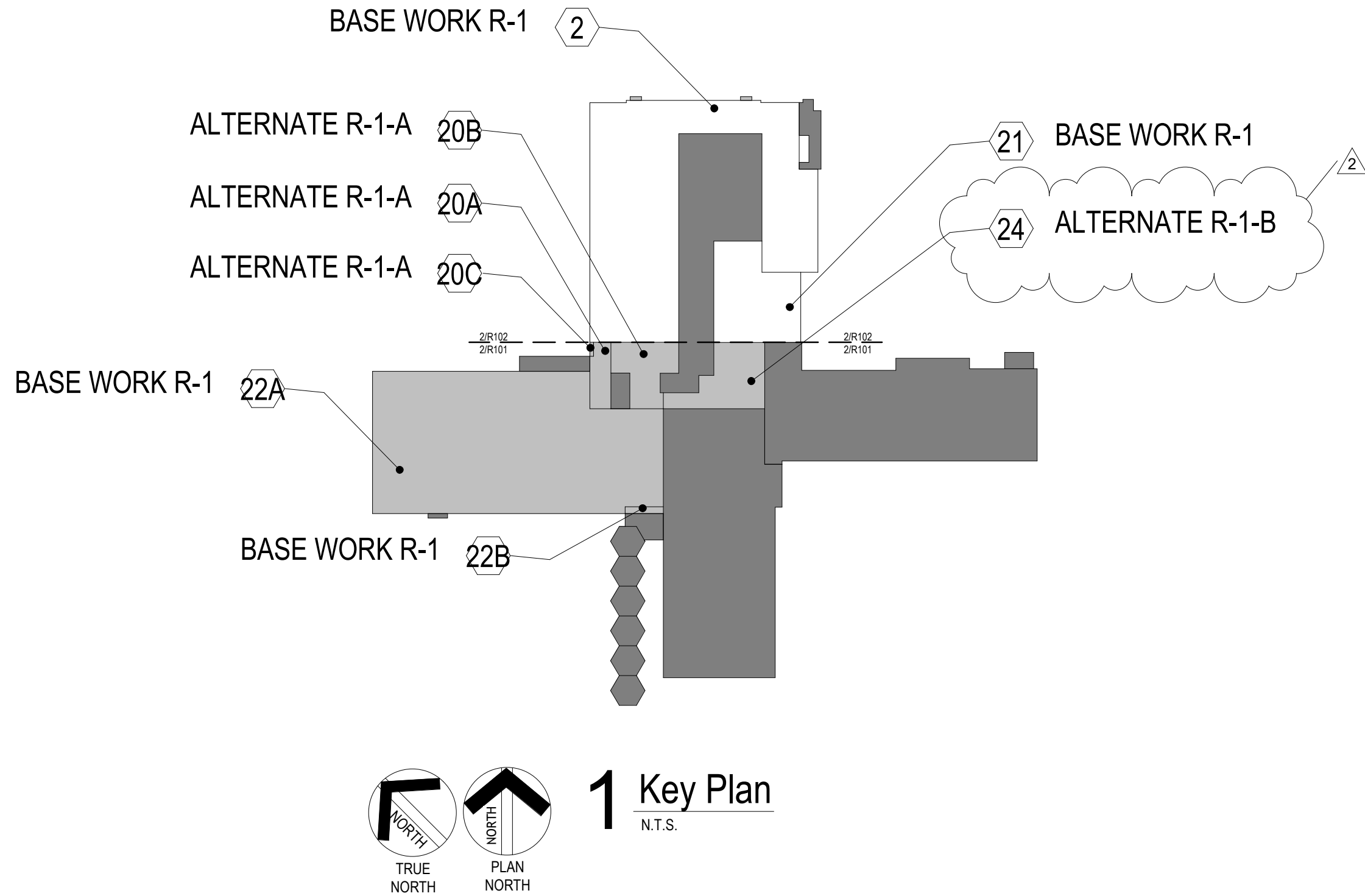
WOOD NAILERS ARE TO BE INSTALLED IN ACCORDANCE WITH ANSI-SPRI ES1 2011; APPROPRIATE WIND LOAD SAFETY FACTORS ARE TO BE USED BASED ON THE TABLE BELOW

WIND LOAD SAFETY FACTORS

WOOD	4.5
MASONRY	3.0
STEEL	1.9

3 Design Uplift Pressures

N.T.S.



Plan Work Description Notes (R102)

- NO WORK AND OR MATERIALS TO BE STORED/PERFORMED IN THIS AREA
- REMOVE EXISTING (EXG) POLYMER MODIFIED BITUMEN ROOFING ROOFING, INSULATION, FLASHINGS (FLGS), CANTS AND STRIPPINGS. INSPECT EXG CONCRETE DECK FOR DAMAGE OR DETERIORATION AND REPORT CONDITIONS TO ROOF CONSULTANT, AREAS <2> & <21> - SEE EXISTING CONDITIONS 4/R102
- REMOVE ALL EXG PLUMBING VENT (PV) FLGS. EXTEND WITH PVC AND INTERNAL COUPLING TO ACCOMMODATE NEW 12" MINIMUM HEIGHT. PROVIDE NEW LEAD FLG, AREAS <2> & <21> - SEE DETAIL 4/R107
- REMOVE EXG METAL COPING AND ALL ACCESSORIES IN THEIR ENTIRETY. PROVIDE NEW PREFINISHED GI FASCIA WITH CONTINUOUS FASCIA CLIP, AREAS <2> & <21> - SEE DETAIL 1/R103, 3/R103, 6/R103
- REMOVE THREE (3) COURSES OF EXISTING BRICK TO BE SALVAGED AND REINSTALLED AND/OR REPLACED WITH NEW BRICK (TO MATCH EXISTING) TO ACCOMMODATE INSTALLATION OF NEW POLYMER FABRIC COATED STAINLESS STEEL THRU-WALL FLASHING AND NEW 24 GA STAINLESS STEEL REGLET RECEIVER. PROVIDE NEW TERMINATION BAR, FLEXIBLE FLASHING, SEALANT AND WEEP VENTS AT 16" C/C, AREAS <2> & <21> - SEE DETAIL 3/R104
- REMOVE, SALVAGE, MODIFY AND REINSTALL EXISTING DOOR THRESHOLD AS REQUIRED TO ACCOMMODATE NEW BASE FLASHING HEIGHT AT DOOR. PROVIDE NEW DOOR TO MATCH EXISTING AND FIT NEW DOOR OPENING AT NEW HEIGHT. PROVIDE PREFINISHED METAL CLOSURE AT BOTTOM OF DOOR. PROVIDE NEW CMU BLOCKS AS REQUIRED AT DOOR TO ACCOMMODATE NEW FLASHING HEIGHT WHILE STAYING UNDER EXG HINGE POCKET AND CUT EXISTING METAL DOOR AND JAMB AS REQUIRED. PROVIDE NEW MIRO INDUSTRIES SUREFOOT SERVICE PLATFORM ON INTERIOR & EXTERIOR SIDES OF THE DOOR, AREA <2> - SEE DETAIL 1/R104
- RESET ALL EXG ROOF DRAIN (RD) CLAMPING RINGS AND STRAINERS IN NEW LEAD FLG. REMOVE AND REPLACE ANY MISSING AND/OR BROKEN COMPONENTS WITH NEW CAST IRON COMPONENTS. REPLACE ALL PLASTIC STRAINERS WITH NEW CAST IRON STRAINERS. PROVIDE NEW MANUFACTURERS APPROVED LIQUID APPLIED FLASHING (RESIN, FLEECE, RESIN) IN A 2'X2' TARGET PATCH FROM THE CENTER OF THE DRAIN, AREAS <2> & <21> - SEE DETAIL 1/R107 & 2/R107
- RAISE ALL UNSHADED EXG POWER ROOF VENTILATORS (PRV), GRAVITY ROOF VENTS (GRV), AND OTHER ROOF TOP EQUIPMENT TO ACCOMMODATE NEW 12" MINIMUM BASE FLG HEIGHT. EXTEND ELECTRICAL WIRING AND DUCTWORK TO ACCOMMODATE NEW FLG HEIGHT. ALL SHADED EXG POWER ROOF VENTILATORS, AND OTHER ROOF TOP EQUIPMENT TO REMAIN AT EXISTING HEIGHT. PROVIDE NEW COUNTER FLG-MECHANICALLY ATTACHED TO EQUIPMENT HOOD FLANGE AT 12" C/C MAXIMUM AREAS <2> & <21> - SEE DETAILS 3/R106 & 4/R106
- EXG AC UNIT ELECTRICAL CONDUIT, GAS LINES, REFRIGERANT AND OTHER UNIT LINES TO BE DISCONNECTED, EXTENDED OR RAISED AND RECONNECTED AS REQUIRED TO ACCOMMODATE NEW THRU WALL FLASHING INSTALLATION. RECLAIM AND RECHARGE REFRIGERANT AS NEEDED, AREA <2>
- EXG AREA SEPARATION CURB TO BE RAISED. PROVIDING NEW 2X BLOCKING & PLYWOOD TO ACCOMMODATE A MIN 8" FLASHINGS HEIGHT AND PROVIDE NEW 24 GA PREFINISHED GI AREA SEPARATION CAP TO MATCH EXISTING, AREAS <2> & <21> - SEE DETAIL 1/R105 & 3/R105
- EXG EXPANSION JOINT (EXP JT) CURB TO BE RAISED TO ACCOMMODATE MIN 8" FLASHING HEIGHT WITH NEW TREATED 2x WOOD BLOCKING. REMOVE EXISTING EXPANSION JOINT COVER AND ALL ACCESSORIES IN THEIR ENTIRETY. PROVIDE NEW CONTINUOUS FLEXIBLE EXPANSION JOINT COVER AND 1" ALUMINUM TERMINATION BAR, AREAS <2> & <21> - SEE DETAILS 4/R105, 5/R105, 6/R105
- EXG A/C UNIT TO REMAIN - REMOVE EXISTING CONCRETE WALKWAY PADS AND PROVIDE (2) NEW 24"X24" INTERLOCKING WALKWAY PADS (W/P) PER A/C UNIT-AS INDICATED ON ROOF PLAN, AREA <2>
- EXISTING LOUVERS TO REMAIN - REMOVE AND REINSTALL TO ACCOMMODATE INSTALLATION OF NEW THRU WALL FLASHING. CLEAN, PRIME, AND PAINT EXISTING LOUVER FRAME WITH (1) COAT OF SHERWIN WILLIAMS MACROPOXY 646 FAST CURE EPOXY PRIMER AND (2) COATS OF SHERWIN WILLIAMS HI-SOLIDS POLYURETHANE PAINT. OUT, SCRAPE, CLEAN AND/OR GRIND OUT ALL SEALANTS, MORTAR, BACKER ROD, DIRT, DEBRIS AND OTHER DELETERIOUS MATERIAL FROM ALL SURFACES OF LOUVER JOINTS. PRIME JOINT AS REQUIRED BY MANUFACTURER AND PROVIDE NEW BACKER ROD AND NEW CONTINUOUS TOOLED URETHANE SEALANT. PROVIDE NEW 24 GA PREFINISHED RECEIVER AND COUNTERFLASHING AT HEAD JOINT ABOVE LOUVER, AREAS <2> & <21> - SEE DETAIL 5/R104
- PROVIDE NEW 1/4-12 TAPERED INSULATION SADDLES WITH 6" TAPERED EDGE STRIP, AREAS <2> & <21>
- PROVIDE NEW ADHESIVELY ADHERED 1/8"X12" TAPERED RIGID INSULATION (START THICKNESS 2.5" - (2 LAYER MIN.)) (AVG R=20.4), NEW ADHESIVELY ADHERED COVER BOARD AND NEW 2 PLY ICAG-MBR, AREAS <2>, AND <21> - SEE DETAIL 5/R102
- PROVIDE NEW MODIFIED BITUMEN ROOFING (MBR) FLASHINGS AND STRIPPINGS, AREAS <2> & <21>
- PROVIDE NEW CONTRACTOR'S WARRANTY (2 YEAR) AND MANUFACTURER'S WARRANTY (20 YEAR), AREAS <2> & <21>

ROOFING AND RELATED WORK AT:

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R102

ROOF PLAN