

Addendum D1

re: **Fort Wayne Community Schools**
Holland and Northcrest Elementary School Renovation
111031.00

issue date: **October 9, 2025**

This Addendum forms a part of the Contract Documents for the above-referenced project and is issued in accordance with the Instructions to Bidders. Acknowledge receipt of this addendum by inserting its number in the space provided in the bid form.

ITEM	LOCATION	DESCRIPTION
A1.01	GENERAL Pre-Bid Meeting Presentation	<u>ADD:</u> The Pre-Bid Meeting Presentation issued as the Pre-Bid Meeting Memorandum dated October 9, 2025 included as part of this addendum shall be included as an integral part of the construction documentation.
A1.02	GENERAL Pre-Bid Meeting Sign-In Sheet	<u>ADD:</u> The Pre-Bid Sign-In Sheet dated October 7, 2025 has been included as part of this addendum.
A1.03	DRAWINGS NC A2.1 (DRAWING REISSUED)	<u>CHANGE:</u> Sheet NC A2.1 reissued to reflect flooring demolished by Owner under separate contract.
A1.04	DRAWINGS HO A2.1 (DRAWING REISSUED)	<u>CHANGE:</u> Sheet HO A2.1 reissued to reflect flooring demolished by Owner under separate contract.
<u>MECHANICAL/ELECTRICAL ITEMS:</u>		
M/E1.01	Reference attached Primary Engineering, Inc. write up dated October 8, 2025 for Mechanical and Electrical items.	



Addendum D1
Holland and Northcrest Elementary School Renovation
October 9, 2025
Page 2

ITEM	LOCATION	DESCRIPTION
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Submitted by:
The Moake Park Group, Inc.



Jeremy M. Ogle
Architect



attachments: Pre-Bid-Meeting Presentation
Pre-Bid Meeting Sign-In Sheet
Drawing NC A2.1
Drawing HO A2.1
Primary Engineering, Inc. Write Up dated October 8, 2025
Supplemental Sheet NC-M2.1
Supplemental Sheet NC-M5.1
Supplemental Sheet NC-E2.1
Supplemental Sheet NC-E4.1
Supplemental Sheet HO-E2.1
Supplemental Sheet HO-E4.1
Supplemental Sheet HO-M2.1
Supplemental Sheet HO-M5.1

copies: All Plan Holders
111031/670



Holland and Northcrest Renovations
Pre-Bid

Holland and Northcrest Renovations Pre-Bid

Pre-Bid Meeting
October 07, 2025



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ARCHITECTURE INTERIORS PLANNING



PRIMARY
ENGINEERING INC

**Holland and Northcrest Renovations
Pre-Bid**

Zachary Evans

FWCS

Project Manager

Zachary.Evans@fwcs.k12.in.us

Travis Searles

FWCS

Project Manager

Travis.Searles@fwcs.k12.in.us

Alexa Snyder, Assoc. AIA

Project Architect

Moake Park Group, Inc

asnyder@moakepark.com

Jeremy Ogle, AIA

Project Manager

Moake Park Group, Inc

jogle@moakepark.com

Logan Dant

Mechanical Engineer

Primary Engineering, Inc.

ldant@primary-eng.com

Braxton Riley

Electrical Engineer

Primary Engineering, Inc.

briley@primary-eng.com



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Holland and Northcrest Renovations
Pre-Bid

- Bids will be due on October 23rd, 2025 at 2:00 pm. Deliver to 1519 Catalpa St, Fort Wayne, IN to the Facilities Reception Desk (Sarah) via the West Entry #1.
- Submit all bid forms in duplicate and include all forms filled out, including Form 96, E-Verify, E/M/W Owned Business, Subcontractor/Vendor List, Iran Certification



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Holland and Northcrest Renovations
Pre-Bid



PRIMARY
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- 000126 – Background Check Requirement
- 004343 – Responsible Bidder Requirements
- 007300 – Supplementary Conditions
- 000131 – FWCS Document Management (Procore)
- 000127 – Smoking Policy
- 000129 – Dust Control
- 000133 – Liquidated Damages



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Holland and Northcrest Renovations
Pre-Bid



Construction

Start Date: **Summer 2026**

Substantial

Completion Date: **July 23, 2026**

Bid Bond: **5%**

Perf. Bond: **100%**

Allowance: **\$20,000 (included in bid)**

Permits: Include all construction permits in bid



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**Holland and Northcrest Renovations
Pre-Bid**

Procedure for Visiting the Schools:

- Check in at main office by 3:30pm
- Scheduled Dates:

The building will be open to Contractors for field investigation on October 10 and October 13 between 8:00am – 2:00pm.

- On October 10, check in with Custodial Manager once onsite.
 - Holland: George Toskos | George.Toskos@fwcs.k12.in.us
 - Northcrest: Jim Fitch | Jim.Fitch@fwcs.k12.in.us

Buildings are also available on school days prior to 8:30am and after 3:30pm. Contractors are required to check in at main office no later than 4:00p.m.



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Holland and Northcrest Renovations
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- Project Management will be done using FWCS's Procore Online system to submit and track all submittals, RFI's, PR's, etc. If you are not familiar with it, there are training classes at FWCS periodically and you will need to use this tool.
- Dust control and housekeeping Spec Section 000129. You must use wet cutting methods, use dust control partitions, protect smoke detectors, seal doors/louvers/diffusers, and do not use FWCS trash cans/dumpsters.
- Disposal of scrap metal is the responsibility of the contractor.



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Holland and Northcrest Renovations
Pre-Bid

- Install roof protection and maintain all existing roof warranties coordinate with drawings.
- Hot work permits are required for any grinding, welding, torching, etc. and must have a fire watch person observing. This is not another person in the room working, but another person observing the hot work and nothing else.
- Construction staging/storage allowed on site as long as it does not obstruct doors/corridors and is approved by FWCS project manager. C.O.I.'s are required for material stored off-site.
- Asbestos testing reports are available at each building. Abatement will be by Owner prior to demolition.
- Temperature controls by Owner (Automated Logic).



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Holland and Northcrest Renovations
Pre-Bid

- All requests for clarification or material additions to specs shall be submitted via email to jogle@moakepark.com no later than 12:00 Noon on October 16th, 2025. This is the cut off for questions that can be answered via addendum.
- Addendum #1: October 9th, 2025
- Addendum #2: October 17th, 2025 (If Required)
- Bids due: October 23rd, 2025 @ 2:00pm



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PRIMARY
ENGINEERING INC

Holland and Northcrest Renovations
Pre-Bid

Scope items:

- **Improvements to Holland Elementary School:** Including but not limited to improvements to the following scopes of work and further outlined in the project documents.
 - Office Suite
- **Improvements to Northcrest Elementary School:** Including but not limited to improvements to the following scopes of work and further outlined in the project documents.
 - Office Suite



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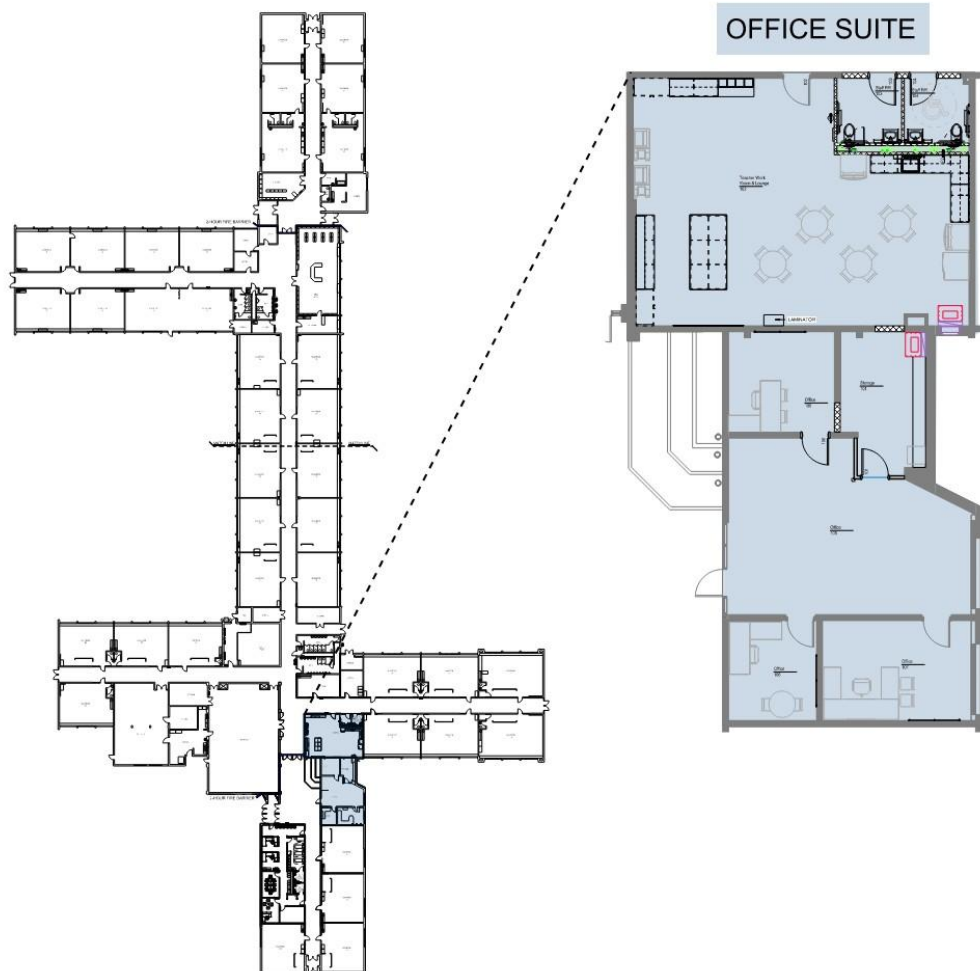


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**Holland and Northcrest Renovations
Pre-Bid**



Holland Elementary School



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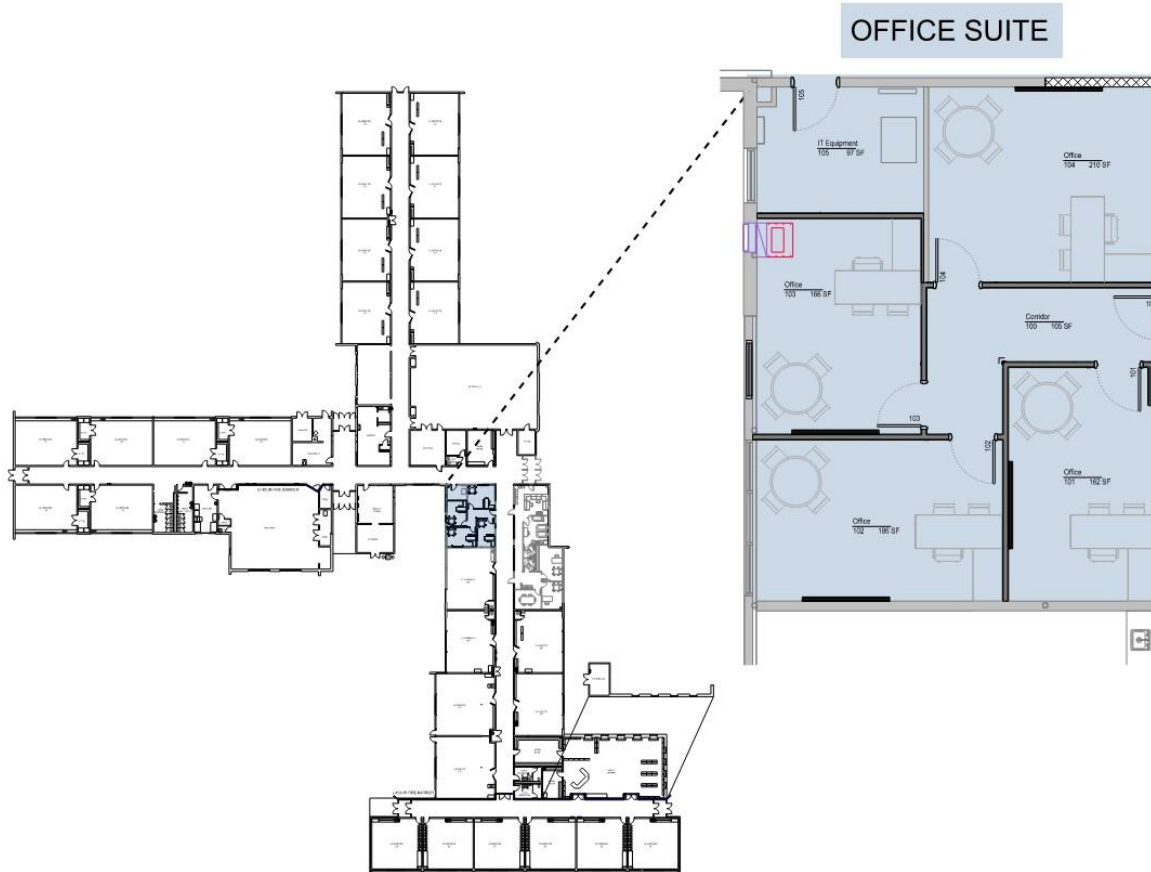


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PRIMARY
ENGINEERING INC

**Holland and Northcrest Renovations
Pre-Bid**



Northcrest Elementary School

Fort Wayne Community Schools
Holland and Northcrest Renovations
 MPG# 111031.00
 FWCS PB# BD101848

October 7, 2025

PRE-BID SIGN IN SHEET

Name:	Austin Mason	Company:	CME Construction
Address:		Email:	amason@cmeconstruction.com
City/State/Zip:		Phone:	260 758 8806
		Fax:	260 258 8806
Name:	Kenny Narramore	Company:	Advanced Systems Group
Address:		Email:	KNarramore@advsysgrp.com
City/State/Zip:		Phone:	260-888-5258
		Fax:	
Name:	John Hudson	Company:	FWCS
Address:		Email:	
City/State/Zip:		Phone:	
		Fax:	
Name:	Zach Evans	Company:	FWCS
Address:		Email:	
City/State/Zip:		Phone:	
		Fax:	
Name:	Natalie Cryer	Company:	FWCS
Address:		Email:	
City/State/Zip:		Phone:	
		Fax:	
Name:	Jeremy Ogle	Company:	Moake Park
Address:		Email:	
City/State/Zip:		Phone:	
		Fax:	
Name:	Alexa Snyder	Company:	Moake Park
Address:		Email:	
City/State/Zip:		Phone:	
		Fax:	



Fort Wayne Community Schools
Holland and Northcrest Renovations
 MPG# 111031.00
 FWCS PB# BD101848

October 7, 2025

PRE-BID SIGN IN SHEET

Name:	Logan Dant	Company:	Primary Engineering
Address:		Email:	ldant@primary-eng.com
City/State/Zip:		Phone:	Fax:
Name:	MIKE SCHENKEL	Company:	SCHENKEL CONSTRUCTION
Address:		Email:	MASCHENKEL@SCHIBUILD.COM
City/State/Zip:		Phone:	Fax:
Name:	Chandler Schoeff	Company:	Project Design & Piping
Address:		Email:	chandler.schoeff@waldinger.com
City/State/Zip:		Phone:	Fax:
Name:	Joel Barker	Company:	Shaunee
Address:		Email:	jbarker@shauneeconstruction.com
City/State/Zip:		Phone:	Fax:
Name:	Nick Moynahan	Company:	G&L
Address:		Email:	nmoynahan@g-lcorp.com
City/State/Zip:		Phone:	Fax:
Name:	Karie Gangwer 1900 Summit St.	Company:	Conti, LLC
Address:		Email:	kgangwer@conti-corporation.com
City/State/Zip:		Phone:	Fax:
Name:		Company:	
Address:		Email:	
City/State/Zip:		Phone:	Fax:



Fort Wayne Community Schools
Holland and Northcrest Renovations
 MPG# 111031.00
 FWCS PB# BD101848

October 7, 2025

PRE-BID SIGN IN SHEET

Name:	James Everidge	Company:	Amex Nooter		
Address:	4111 Engleton Dr	Email:	jeveridge@nooter.com		
City/State/Zip:	Fort Wayne IN 46804	Phone:	260-409-7517	Fax:	
Name:	Wes Myers	Company:	Amex Nooter		
Address:	4111 Engleton Dr,	Email:	wjmyers@nooter.com		
City/State/Zip:	Fort Wayne, IN, 46804	Phone:	419-771-0437	Fax:	
Name:	Art Jones	Company:	G+L Corp		
Address:	3101 Brooklyn Av	Email:	art@g-lcorp.com		
City/State/Zip:	Fort Wayne.	Phone:	260 2421908	Fax:	
Name:		Company:			
Address:		Email:			
City/State/Zip:		Phone:		Fax:	
Name:		Company:			
Address:		Email:			
City/State/Zip:		Phone:		Fax:	
Name:		Company:			
Address:		Email:			
City/State/Zip:		Phone:		Fax:	
Name:		Company:			
Address:		Email:			
City/State/Zip:		Phone:		Fax:	



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Accessory Schedule						
Type Mark	Description	Mfg.	Model	Supplier	Installer	Comments
T-0	Vertical Grab Bar - 18"	American Specialties Inc.	3800 x 18"	GC	GC	
T-1	Grab Bar - 36"	American Specialties Inc.	3800 X 36"	GC	GC	
T-2	Grab Bar - 42"	American Specialties Inc.	3800 x 42"	GC	GC	
T-3	Soap Dispenser	-	-	GC	GC	Salvage & Reinstall
T-4	Toilet Paper Dispenser	-	-	GC	GC	Salvage & Reinstall
T-5	Sanitary Napkin Disposal - Surface Mount	-	-	GC	GC	Salvage & Reinstall
T-6	Paper Towel Disp.	Bobrick	B-263	GC	GC	
T-7	24" x 36" Mirror	Bobrick	B-290 2436	GC	GC	
T-8	Paper Towel Dispense - Surface Mount	Bobrick	B-263	GC	GC	
T-9	Access Door, Non Rated	Balscock-Davis	24" x 24"	GC	GC	

General Patching Notes

CONTRACTOR TO FILL ALL VOIDS IN CONCRETE FLOOR SLABS (WITH CONCRETE) AS REQUIRED DUE TO REMOVAL OF FLOOR DRAINS, TRENCHES, PITS, MASONRY WALLS, DUCTWORK, FINITUBE, ETC. TO MATCH EXISTING ADJACENT FLOOR FINISH ELEVATION. IF REQUIRED, CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL FLOOR DECKING AND NECESSARY STRUCTURAL SUPPORT TO ACCOMMODATE THE CONCRETE.

VOIDS IN CMU LESS THAN 1" SQUARE SHALL BE GROUTED FULL AND PAINTED. VOIDS IN CMU GREATER THAN 1" SQUARE SHALL BE SOAPOD IN w/ FULL MASONRY SOAP UNITS. BLOCK FILL, PRIME AND PAINT TO MATCH EXISTING.

WALL SURFACES THAT ARE GYP. BD. OR PLASTER AND DISTURBED DUE TO DEMOLITION / NEW CONSTRUCTION SHALL BE PATCHED BACK WITH LIKE ADJACENT MATERIALS TO CREATE A SMOOTH FLUSH SURFACE. PRIME AND PAINT TO MATCH EXISTING.

CEILING SURFACES SHALL BE PATCHED BACK WITH LIKE ADJACENT MATERIALS TO CREATE A SMOOTH FLUSH SURFACE. PRIME AND PAINT TO MATCH EXISTING IF APPLICABLE. PROVIDE MATCHING GRID AND CEILING TILE, TYPICAL.

GENERAL TOILET ACCESSORY NOTES:

- MANUFACTURERS AND MODEL NUMBERS ARE USED FOR QUALITY CONTROL ONLY. THEY ARE NOT INTENDED TO LIMIT TO ONE MANUFACTURER. SUBMIT ALTERNATE PRODUCT INFORMATION AS PER THE PROVISIONS OF THE BID DOCUMENTS.
- PROVIDE BLOCKING FOR ALL GRAB BARS, TOWEL BARS, AND ALL ACCESSORIES.
- SEE FLOOR PLANS, ENLARGED PLANS, AND FINISH PLANS FOR ADDITIONAL TOILET ACCESSORY NOTATION.
- CONTRACTOR TO LOCATE CHASE ACCESS DOORS IN HANDICAP TOILET STALLS ABOVE THE GRAB BARS UNLESS NOTED OTHERWISE.
- CONTRACTOR TO COORDINATE & ADJUST HORIZONTAL MOUNTING LOCATIONS WITH ADJACENT ACCESSORIES TO MAINTAIN CLEARANCE WITHIN THE STALL & TO COMPLY WITH ADA ACCESSIBILITY REQUIREMENTS.
- SEE REFLECTED CEILING PLANS FOR CEILING MOUNTED SHOWER CURTAIN TRACKS AND CURTAINS.
- CONTRACTOR TO VERIFY AND INSTALL ACCESSORIES TO COMPLY WITH CURRENT ADA CODE. SEE THIS SHEET FOR MOUNTING HEIGHT DIAGRAMS.
- ALL SINKS TO HAVE T-8 SOAP DISPENSER UNLESS NOTED OTHERWISE.
- ALL J.C.'S TO HAVE MOP AND BROOM HOLDER, TYP.

SPECIFIC TOILET ACCESSORY REMARKS:

- THIS ITEM ALSO APPEARS ON THE EQUIPMENT SCHEDULE. SEE FLOOR FINISH PLANS FOR OTHER LOCATIONS/NOTATIONS. PRIOR TO CONSTRUCTION, ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REFERENCE RELATED ELECTRICAL, STRUCTURAL, MECHANICAL, & PLUMBING DOCUMENTS FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE F.R. WOOD BLOCKING OR STEEL STUD BAKER BAR FOR ALL ACCESSORIES MOUNTED ON STEEL STUD WALL CONSTRUCTION.
- SEE SPS-5 FOR MORE INFO.

Specific Floor Plan Notes

- CONTRACTOR TO PATCH AND REPAIR EXISTING WALL SURFACES DUE TO DEMOLITION TO RECEIVE NEW FINISHES.
- CONTRACTOR TO PATCH AND REPAIR EXISTING FLOOR SURFACES DUE TO DEMOLITION TO RECEIVE NEW FINISHES.
- ALIGN NEW WALL CONSTRUCTION TO EXISTING ADJACENT CORNER WALL ASSEMBLY, TOOTH-IN CMU, TYP.
- CONTRACTOR TO REINSTALL SALVAGED SHELVING.
- INFILL OPENING WITH LIKE ADJACENT MATERIALS. TOOTH-IN MASONRY, TYP. SEE FINISH SCHEDULE FOR NEW FINISHES.
- 6" x 4" MARKER BOARD, BASIS OF DESIGN: CLARIDGE SERIES 2 S24X6LCS TYPE A.
- 8" x 4" TACK BOARD, BASIS OF DESIGN: CLARIDGE SERIES 2 S24X81380.
- RELOCATED WALL MOUNTED FIRE EXTINGUISHER.
- RELOCATED TIME CLOCK.

Floor Plan General Notes

- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, & NATIONAL BUILDING CODES AND THE AMERICANS WITH DISABILITY ACT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS RELATIVE TO THE PROJECT AS ILLUSTRATED AND CONFLICTS OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT / ENGINEER IMMEDIATELY FOR RESOLUTION.
- ANY PENETRATIONS IN DESIGNATED FIRE WALLS SHALL MAINTAIN THE REQUIRED FIRE SEPARATIONS BETWEEN AREAS. SEE THE CODE STUDY SHEETS FOR ADDITIONAL FIRESTOPPING REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE EQUIPMENT MANUFACTURER TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION AND USE.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS ARE FROM THE FINISHED FACE OF BLOCK OR STEEL STUDS, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL LAYOUT & MARK ALL WALLS & OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REFERENCE RELATED ELECTRICAL, STRUCTURAL, MECHANICAL, & PLUMBING DOCUMENTS FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE F.R. WOOD BLOCKING OR STEEL STUD BAKER BAR FOR ALL ACCESSORIES MOUNTED ON STEEL STUD WALL CONSTRUCTION.

Floor Plan Legend

- STEEL STUD / CMU WALL PARTITION. REFER TO SHEET A4.0 FOR MORE INFORMATION.
- SPECIFIC FLOOR PLAN NOTE

Specific Demolition Notes

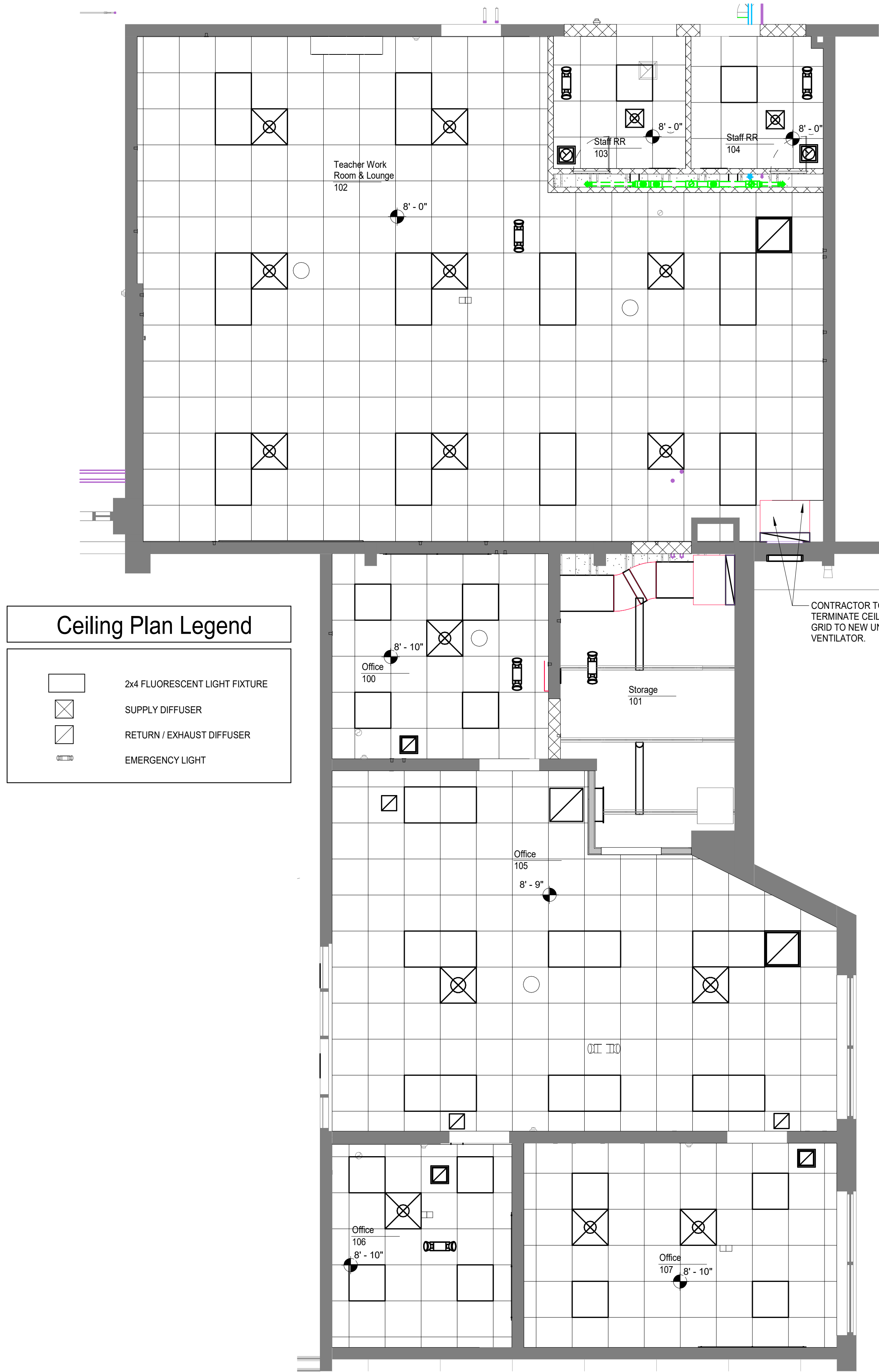
- CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO, ELECTRICAL DEVICES AND APPLIED FINISHES. PATCH FLOOR/REMAINING WALLS AS NECESSARY FOR NEW CONSTRUCTION AND FINISHES. CONTRACTOR SHALL F.V. SCOPE OF WORK. SEE A5 SERIES OF DRAWINGS FOR MORE INFO.
- CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING WALL AS NECESSARY TO ALLOW FOR NEW CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, ELECTRICAL DEVICES, AND APPLIED FINISHES. CONTRACTOR SHALL F.V. SCOPE OF WORK.
- CONTRACTOR TO REMOVE AND RELOCATE EXISTING TIME CLOCK. CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL LOCATION.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING DOOR LEAF, DOOR FRAME, AND ALL RELATED HARDWARE.
- CONTRACTOR TO SALVAGE AND REINSTALL EXISTING SHELVING.
- CONTRACTOR TO REMOVE AND RELOCATE EXISTING KEY BOX. CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL LOCATION.
- CONTRACTOR TO REMOVE AND SALVAGE FOR REINSTALLATION OF EXISTING SOAP DISPENSER, TOILET PAPER DISPENSER, AND SANITARY NAPKIN DISPOSAL.
- CONTRACTOR SHALL REMOVE & DISPOSE OF EXISTING TOILET, &/OR LAVATORY, WALL MOUNTED ACCESSORIES, MOUNTING BRACKETS, ANCHORS & ALL ASSOCIATED HARDWARE. SEE PLUMBING DWGS FOR PIPING DEMOLITION.
- CONTRACTOR SHALL REMOVE AND RETURN TO OWNER OF EXISTING MEDICINE CABINET.
- CONTRACTOR TO REMOVE AND RELOCATE EXISTING FIRE EXTINGUISHER, SEE FLOOR PLAN FOR FINAL LOCATION.
- CONTRACTOR SHALL REMOVE & DISPOSE OF EXISTING FLOOR FINISHES AND SUSPENDED CEILING SYSTEMS. CONTRACTOR TO PREP AND REPAIR EXISTING CONCRETE SLAB AS NECESSARY TO RECEIVE NEW FINISHES. CONTRACTOR TO FIELD VERIFY THE SCOPE OF WORK.
- FLOORING AND MASTIC SHALL BE REMOVED BY OWNER UNDER SEPARATE CONTRACT.
- CONTRACTOR SHALL REMOVE & DISPOSE OF EXISTING CASEWORK, WHEN APPLICABLE. CONTRACTOR SHALL ALSO REMOVE EXISTING SINK AND/OR CASEWORK/BULKHEAD.

Existing To Remain Notes

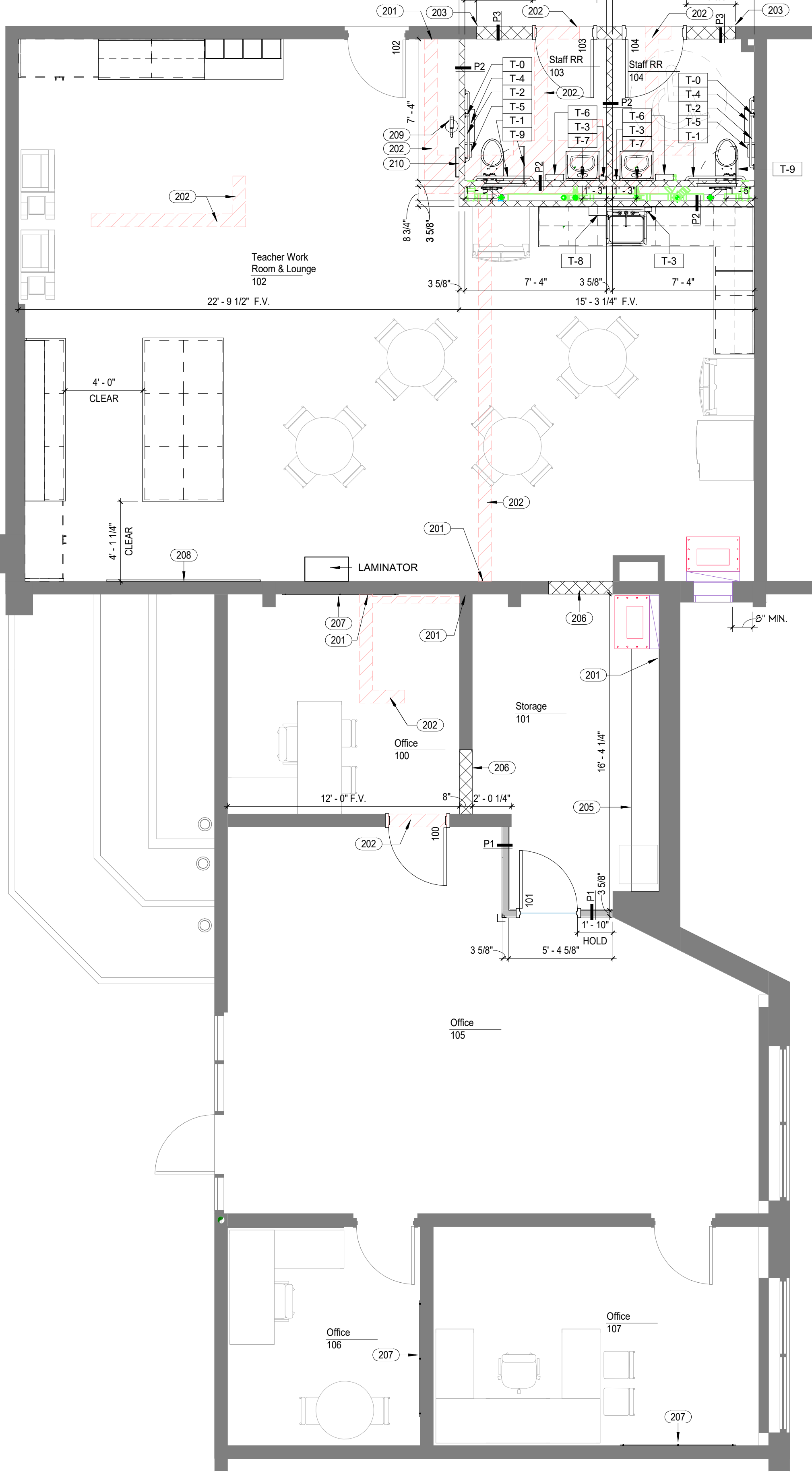
- EXISTING WALL TO REMAIN. SEE FINISH PLANS FOR MORE INFO.
- EXISTING DOOR SLAB AND FRAME TO REMAIN. SEE FINISH PLANS FOR MORE INFO.
- EXISTING WINDOW / CURTAIN WALL SYSTEM TO REMAIN.
- EXISTING COLUMN TO REMAIN.
- EXISTING HORIZONTAL, METAL BLINDS TO REMAIN.

General Demolition Notes

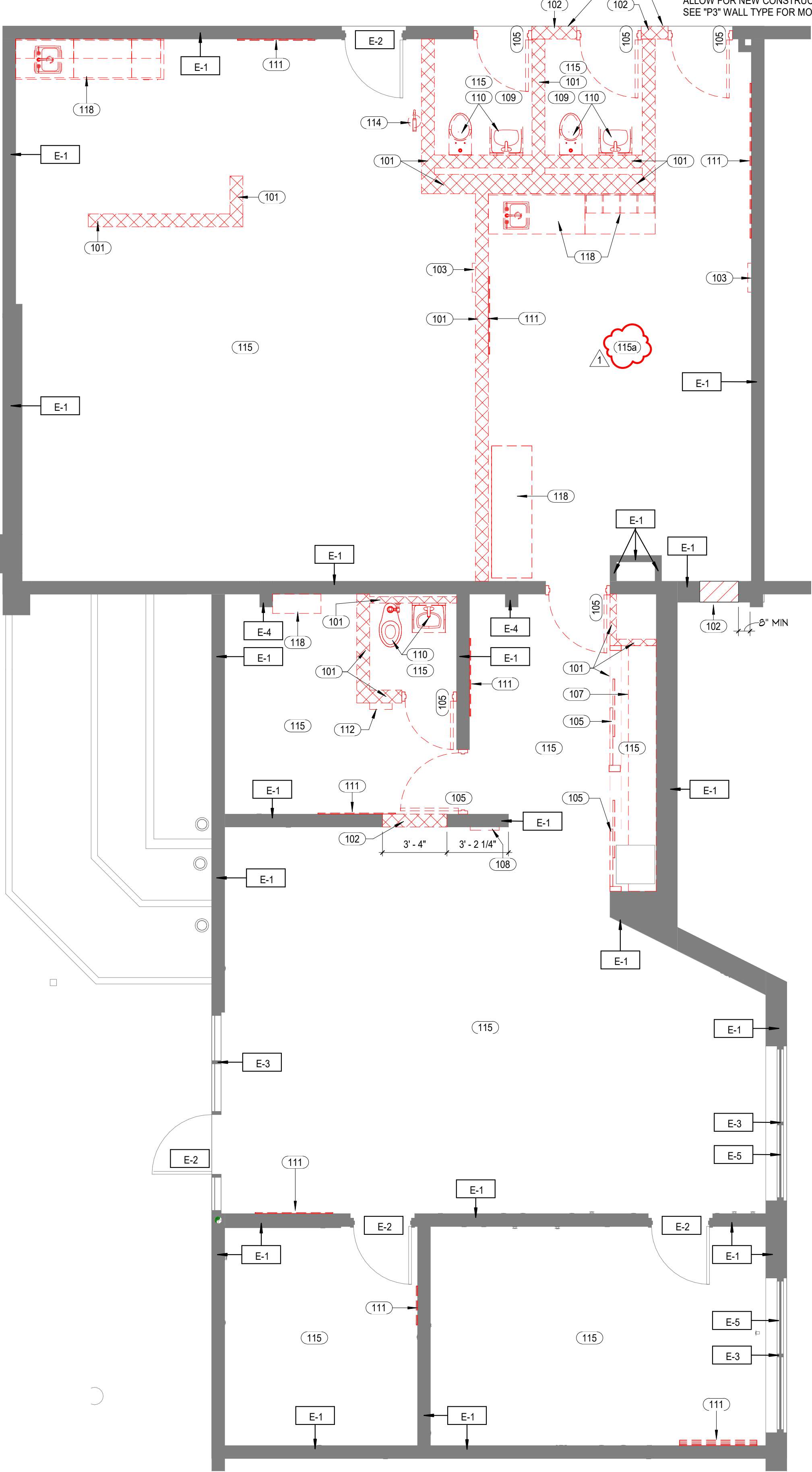
- ALL MATERIALS INDICATED AS DASHED AND HATCHED ARE TO BE DEMOLISHED. THIS INCLUDES ALL MATERIALS AND FINISHES NOT SPECIFICALLY CALLED OUT BUT PERTAINING TO THE INTENDED SCOPE.
- THE OWNER SHALL REMOVE ALL FURNISHINGS, AND LOOSE EQUIPMENT TO REMAIN THE OWNERS. ALL REMAINING ITEMS SHALL BE DEMOLISHED, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER SHALL BE STORED ON SITE AS INDICATED BY THE OWNER.
- IF HAZARDOUS MATERIALS ARE UNCOVERED CONTACT THE ARCHITECT/ENGINEER. ALL HAZARDOUS MATERIALS SHALL BE REMOVED BY THE OWNER SEPARATE FROM THIS CONTRACT.
- HE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS. THESE DEMOLITION SHEETS SHALL SERVE TO AID THE CONTRACTOR IN HIS EVALUATION OF THE EXTENT OF DEMOLITION, BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING WALL, FLOOR, AND CEILING/ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION TO ALLOW FOR NEW CONSTRUCTION.
- FOR FURTHER INFORMATION WITH REGARD TO THE EXACT EXTENT OF DEMOLITION, SEE THE CONSTRUCTION PLANS WHICH ILLUSTRATE THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION REQUIRED FOR THE INSTALLATION OF NEW WORK, WHETHER OR NOT IT IS SPECIFICALLY SHOWN OR NOTED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL FIELD INSPECT ALL DEMOLITION WORK, PRIOR TO REMOVAL, TO VERIFY ALL EXISTING STRUCTURAL BEARING CONDITIONS AND TO INSURE SUCH REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING BUILDING. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, NOTIFY ARCHITECT/ENGINEER IMMEDIATELY. CONTRACTOR IS RESPONSIBLE TO SHORE THE EXISTING STRUCTURE AS REQUIRED TO ALLOW FOR DEMOLITION AND/OR NEW WORK.
- IF EXISTING BUILDINGS, STRUCTURES, ETC. ARE NOT SHOWN AS DETAILED, CONTACT THE ARCHITECT/ENGINEER.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS, LOOSE PAINT, ETC., FROM ALL NEWLY EXPOSED SURFACES.
- ALL AREAS TO REMAIN THAT ARE AFFECTED BY DEMOLITION & NEW WORK SHALL BE PATCHED TO MATCH EXISTING ADJACENT CONSTRUCTION AND FINISH.
- UNLESS NOTED OTHERWISE, ALL FLOOR, CEILING AND DECK PENETRATIONS SHALL BE PATCHED AND FIRESTOPPED TO MATCH EXISTING. PATCHES SHALL NOT ALLOW LIQUID TO PENETRATE AND SHALL CONFORM TO EQUAL FIRE RATING OF SURROUNDING MATERIAL.
- CONTRACTOR TO FILL ALL VOIDS IN CONCRETE FLOOR SLABS (WITH CONCRETE) AS REQUIRED DUE TO REMOVAL OF FLOOR DRAINS, TRENCHES, PITS, MASONRY WALLS, DUCTWORK, ETC. TO MATCH EXISTING ADJACENT FLOOR FINISH ELEVATION. IF REQUIRED, CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL FLOOR DECKING AND NECESSARY STRUCTURAL SUPPORT TO ACCOMMODATE THE CONCRETE.
- CONTRACTOR TO REMOVE DOOR LEAF & TEMPORARILY STORE TO ALLOW FOR DEMOLITION & NEW WORK, ONCE WORK COMMENCES IN THIS AREA. FURTHERMORE, GENERAL CONTRACTOR TO TEMPORARILY SUPPORT THE EXISTING DOOR FRAMES AND PROVIDE NEW JAMB ANCHORS TO RECONNECT DOOR FRAME TO THE NEW CMU. GROUT SIDE JAMBS FULL.
- CONTRACTOR TO REMOVE CEILING SYSTEM ADJACENT DEMOLISHED CMU AS REQUIRED TO ALLOW FOR NEW WORK. SEE THE REFLECTED CEILING PLANS FOR MORE INFORMATION.



3 Enlarged Ceiling Plan
1/4" = 1'-0"



2 Enlarged Floor Plan
1/4" = 1'-0"



1 Enlarged Demolition Plan
1/4" = 1'-0"



A PROJECT FOR:



WE ARE YOUR SCHOOLS
Holland Elementary School
Renovation

The concepts, ideas, plans, and details shown on this document are the sole property of Moake Park Group, Inc. and were created, developed, and presented for the use on this specific project. None of the concepts, ideas, plans, and details shall be used by any parties, firm, or corporation for any purpose whatsoever without express written consent of Moake Park Group, Inc. The Owner shall be permitted to reproduce copies for information and reference in connection with this project.

mark	date	description
1	10/9/2025	Addendum 1

Enlarged Demolition Plan, Floor
Plan, Ceiling Plan, & Notes

date: 09/29/2025
project: 111031.03
coordinator: JMO
drawn: AJS
checked: CDH
HO-A2.1

Finish Legend		
FLOOR	WALL	CEILING
CPT = CARPET CPT1 - MILLIKEN STYLE: REMIX REMASTERED COLOR: FREESTYLE NUMBER: FR525 SIZE: 1M X1M INSTALL: QUARTER TURN	PT = PAINT PT1 - PPG COLOR: SPECIAL UMBER NUMBER: FWCS CUSTOM COLOR FINISH: GLOSS PT2 - PPG COLOR: KNIGHT ARMOR NUMBER: FWCS CUSTOM COLOR FINISH: GLOSS PT3 - PPG COLOR: COOL CHARCOAL NUMBER: PPG1007-6 FINISH: GLOSS	ACP = ACOUSTICAL CEILING SYSTEM ACP1 - USG CEILING STYLE: RADAR HIGH NRC/AC ACOUSTICAL PANEL NUMBER: 22421 SIZE: 2' X 2' EDGE: SQUARE GRID: 15/16 STANDARD WHITE EPS = EXPOSED STEEL STRUCTURE EPS1 - EXPOSED STEEL STRUCTURE AND MEP FINISH: NOT PAINTED HB1 = HORIZONTAL METAL BLINDS HB1 - LEVOLOR STYLE: RIVIERA COMPLETE 1" SLAT SIZE: 1" INCH LADDYR: STANDARD PER FINISH WIDTH SLAT MATL: METAL ALUMINUM BLINDS FINISH: DUST RESISTANT FINISH COLOR: SQUIRREL GRAY SIZE: PER DRAWINGS, MAX 6FT WIDE TLT CONTROL: RIGHT SIDE INSTALL: INSIDE MOUNT WP = RIGID WALL PROTECTION WP1 - INPRO PRODUCT: PALLADIUM RIGID SHEET COLOR: OATMEAL 0239 THICKNESS: 0.040" HEIGHT: 12" STRIP MOUNTED 30" ON CENTER COMMENT: SEE DETAIL 7-A2.1 WALL PROTECTION ASSEMBLY
SC = SEALED CONCRETE	WALL PROTECTION	
BASE	CG = CORNER GUARD CG1 - INPRO PRODUCT: 150 SURFACE MOUNTED COLOR: OATMEAL 0239 HEIGHT: 48" WING DIM: 3" WP = RIGID WALL PROTECTION WP1 - INPRO PRODUCT: PALLADIUM RIGID SHEET COLOR: OATMEAL 0239 THICKNESS: 0.040" HEIGHT: 12" STRIP MOUNTED 30" ON CENTER COMMENT: SEE DETAIL 7-A2.1 WALL PROTECTION ASSEMBLY	MISC MATERIALS EXT = EXISTING EXT - EXISTING TO REMAIN
RB = RUBBER BASE RB1 - TARKETT STYLE: MATL: JOHNSONITE TRADITIONAL VINYL COLOR: CHARCOAL NUMBER: 20 SIZE: 4"		

Misc. General Remarks

- PROVIDE CORNER GUARDS, CG, WHERE INDICATED ON PLAN 4-A2.1.
- PROVIDE WINDOW BLINDS HB1, WHERE INDICATED ON 4-A2.1 NOTED BY SPECIFIC FINISH PLAN NOTE 804.
- REFER TO 2-A2.1 FLOOR PLAN FOR WHITEBOARD PLACEMENT SPECIFIC FLOOR PLAN NOTE 207.

General Paint / Wall Finish Remarks

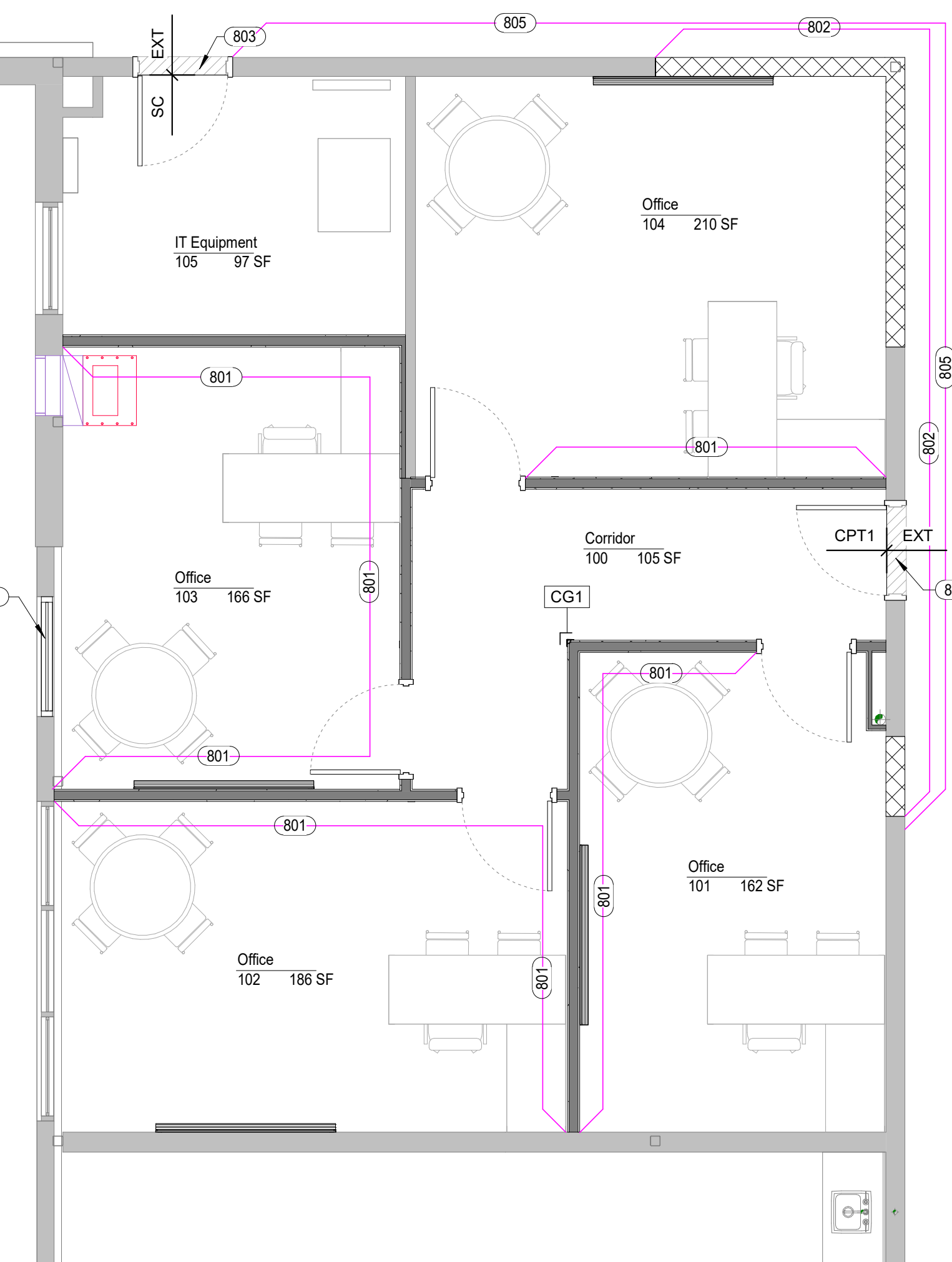
- PAINT ALL NEW & EXISTING HOLLOW METAL DOOR FRAMES, SIDE LIGHT FRAMES AND WINDOW FRAMES PT2 U.N.O.
- PAINT FACE AND UNDERSIDE OF GYP. BD. BULKHEADS TO MATCH ADJ. WALL UNO.
- WALL FINISHES FOR ANY GIVEN WALL SHALL CONTINUE INTO MAJOR AND MINOR OFFSETS INCLUDING, BUT NOT LIMITED TO GYP. BD. WINDOW HEAD AND JAMBS.
- PAINT ALL NEW & EXISTING WIRE MOLDING & CONDUIT ON WALL MOUNTED SURFACES TO MATCH WALL FINISH.

General Flooring Remarks

- ONLY A STRAIGHT EDGE METAL SCHLUTER STRIP SHALL BE USED BETWEEN TWO DIFFERENT MATERIALS TO PROTECT THE EDGES. A SLOPE PROFILE METAL SCHLUTER IS NOT ACCEPTABLE U.N.O.
- DOOR TRANSITIONS BETWEEN ROOMS TO OCCUR AT FINISH FACE OF DOOR SLAB IF PRESENT OR CENTERLINE OF OPENING UNLESS OTHERWISE NOTED. SEE FLOOR TRANSITION DETAIL.

Specific Finish Plan Notes	
801	INSTALL WP1 12" CUT SHEETS MOUNTED 30" ON CENTER. REFER TO WALL PROTECTION ASSEMBLY DETAIL 7-A2.1.
802	PAINT PT1 & PT3 TO MATCH CORRIDOR EXISTING. PAINT PT3 4'-0" WAINSCOT OR TO NEAREST HORIZONTAL MASONRY JOINT LINE & PT1 ABOVE.
803	PATCH & REPAIR VCT AT DOOR THRESHOLDS.
804	PROVIDE & INSTALL HB1.
805	INSTALL RB1 TO MATCH EXISTING CORRIDOR BASE. EXTEND NEW BASE TO DOOR FRAME ON NORTH WALL.

Room Finish Schedule								
Room Number	Room Name	Floor Finish	Base Finish	Walls				Ceiling Finish
				North	South	East	West	
101	Office	CPT1	RB1	PT1, WP1	PT1	PT1	PT1, WP1	ACP1
102	Office	CPT1	RB1	PT1, WP1	PT1	PT1	PT1, WP1	ACP1
103	Office	CPT1	RB1	PT1	PT1, WP1	PT1, WP1	PT1	ACP1
104	IT Equipment	SC	RB1	PT1	PT1	PT1	PT1	EPS1
105	Office	CPT1	RB1	PT1	PT1	PT1	PT1	ACP1
106	Corridor	CPT1	RB1	PT1	PT1	PT1	PT1	ACP1

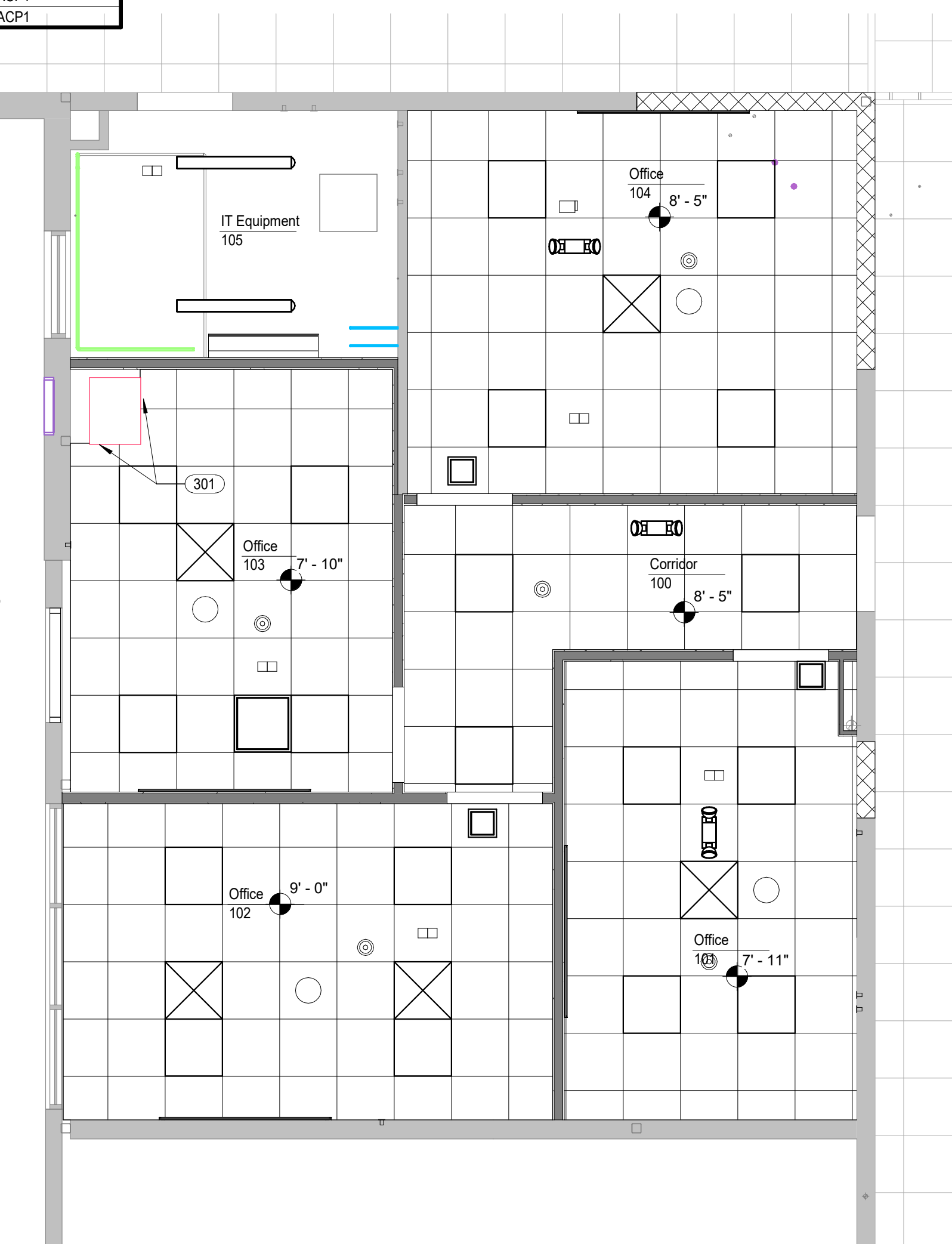


4 Enlarged Finish Plan
1/4" = 1'-0"

FINISH INDEX

- ACP = ACOUSTICAL CEILING SYSTEM
CG = CORNER GUARD
CPT = CARPET
EPS = EXPOSED STRUCTURE
EXT = EXISTING TO REMAIN
HB = HORIZONTAL METAL BLINDS
PT = PAINT
RB = RUBBER BASE
SC = SEALED CONCRETE
VCT = VINYL COMPOSITE TILE
WP1 = RIGID WALL PROTECTION

7 Wall Protection Assembly
3/8" = 1'-0"



3 Enlarged Ceiling Plan
1/4" = 1'-0"

General Patching Notes

CONTRACTOR TO FILL ALL VOIDS IN CONCRETE FLOOR SLABS (WITH CONCRETE) AS REQUIRED DUE TO REMOVAL OF FLOOR DRAINS, TRENCHES, PITS, MASONRY WALLS, DUCTWORK, FINTUBE, ETC. TO MATCH EXISTING ADJACENT FLOOR FINISH ELEVATION. IF REQUIRED CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL FLOOR DECKING AND NECESSARY STRUCTURAL SUPPORT TO ACCOMMODATE THE CONCRETE.

VOIDS IN CMU LESS THAN 1" SQUARE SHALL BE GROUTED FILL AND PAINTED. VOIDS IN CMU GREATER THAN 1" SQUARE SHALL BE SOAEPD IN W/ FULL MASONRY SOAP UNITS, BLOCK FILL, PRIME AND PAINT TO MATCH EXISTING.

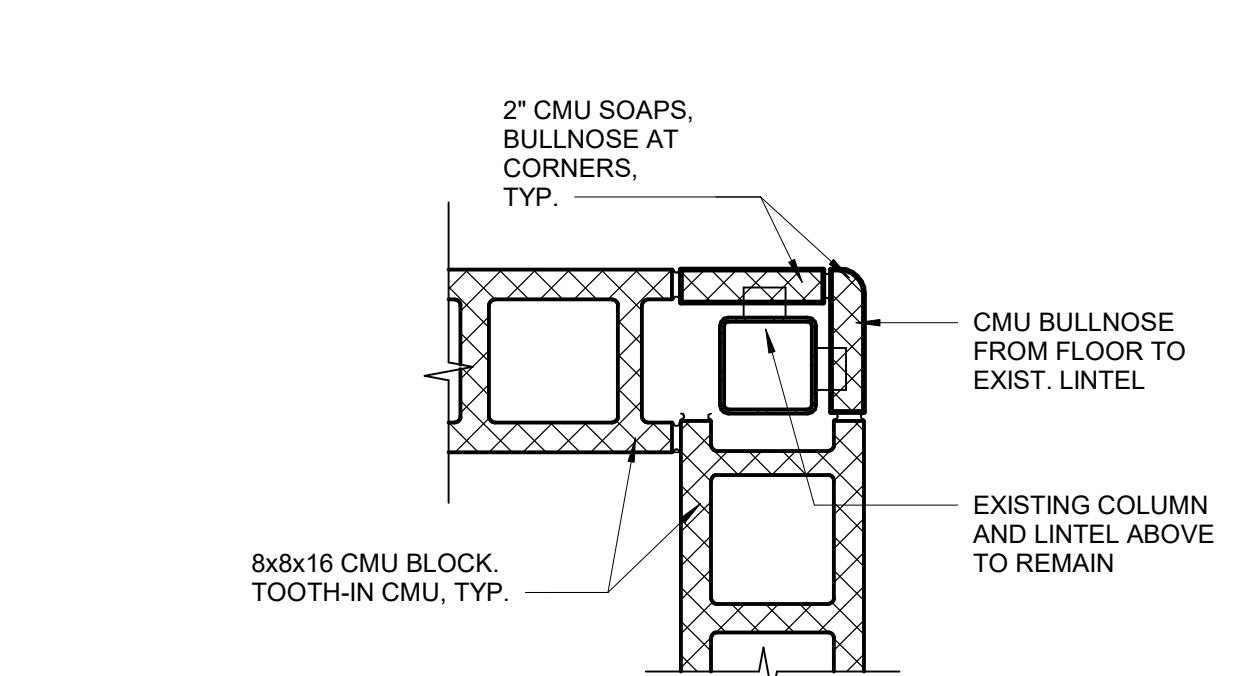
WALL SURFACES THAT ARE GYP. BD. OR PLASTER AND DISTURBED DUE TO DEMOLITION / NEW CONSTRUCTION SHALL BE PATCHED BACK WITH LIKE ADJACENT MATERIALS TO CREATE A SMOOTH FLUSH SURFACE. PRIME AND PAINT TO MATCH EXISTING.

CEILING SURFACES SHALL BE PATCHED BACK WITH LIKE ADJACENT MATERIALS TO CREATE A SMOOTH FLUSH SURFACE. PRIME AND PAINT TO MATCH EXISTING IF APPLICABLE. PROVIDE MATCHING GRID AND CEILING TILE, TYPICAL.

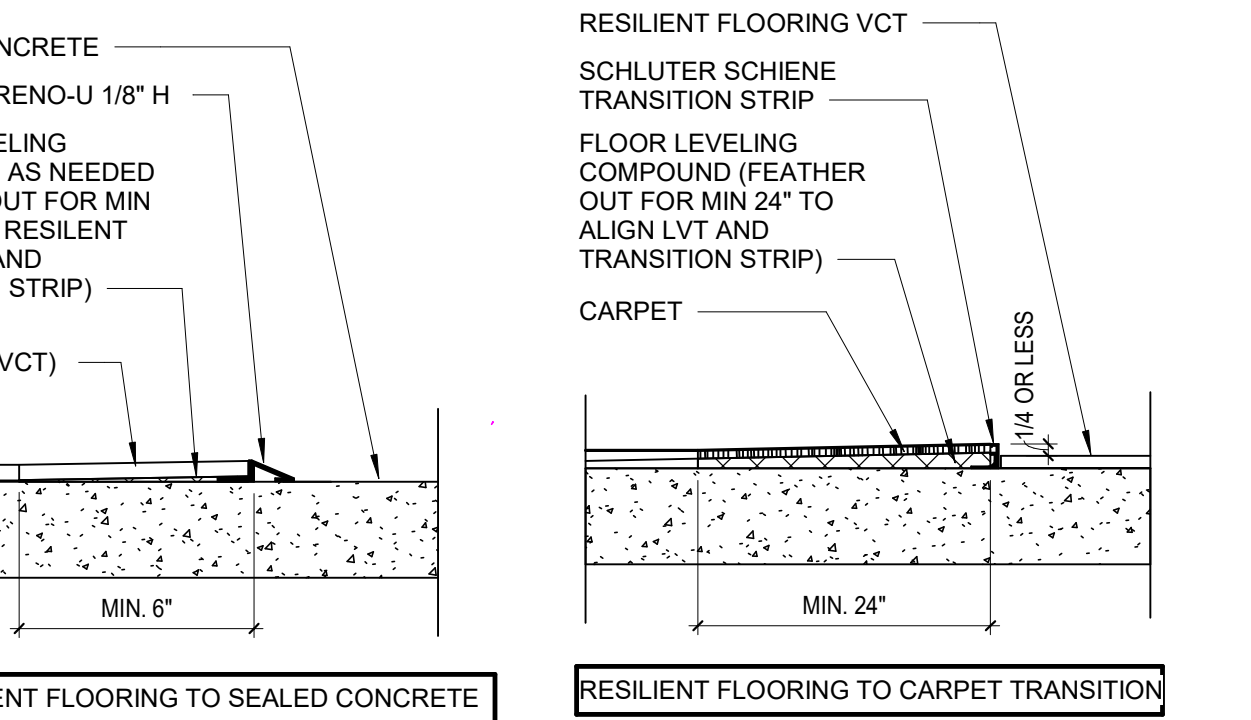
Ceiling Plan Legend	
	2x4 LED LIGHT FIXTURE
	SUPPLY DIFFUSER
	RETURN / EXHAUST DIFFUSER
	SPECIFIC REFLECTED CEILING PLAN NOTE

Specific Reflected Ceiling Plan Notes

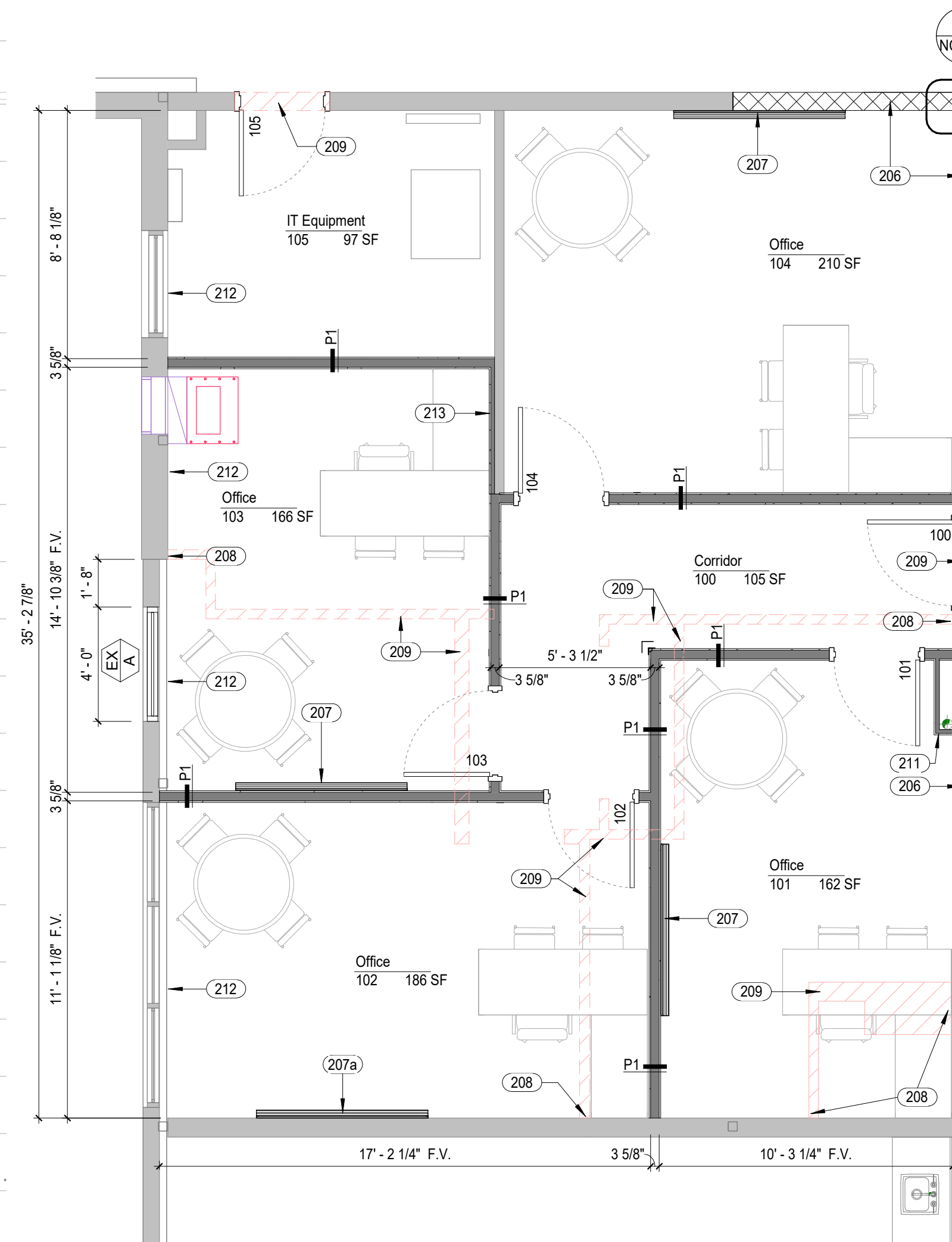
301 TERMINATE CEILING GRID TO NEW UNIT VENTILATOR



6 Enlarged Plan Detail
1 1/2" = 1'-0"



5 Floor Transition Details
1 1/2" = 1'-0"



2 Enlarged Floor Plan
1/4" = 1'-0"

Floor Plan General Notes

- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, & NATIONAL BUILDING CODES AND THE AMERICANS WITH DISABILITY ACT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS RELATIVE TO THE PROJECT AS ILLUSTRATED AND CONFIRMS OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT / ENGINEER IMMEDIATELY FOR RESOLUTION.
- ANY PENETRATIONS IN DESIGNATED FIRE WALLS SHALL MAINTAIN THE REQUIRED FIRE SEPARATIONS BETWEEN AREAS. SEE THE CODE STUDY SHEETS FOR ADDITIONAL FIRESTOPPING REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE EQUIPMENT MANUFACTURER TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION AND USE.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS ARE FROM THE FINISHED FACE OF BLOCK OR STEEL STUDS, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL LAYOUT & MARK ALL WALLS & OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REFERENCE RELATED ELECTRICAL, STRUCTURAL, MECHANICAL, & PLUMBING DOCUMENTS FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE F.R. WOOD BLOCKING OR STEEL STUD BAKER BAR FOR ALL ACCESSORIES MOUNTED ON STEEL STUD WALL CONSTRUCTION.

Floor Plan Legend

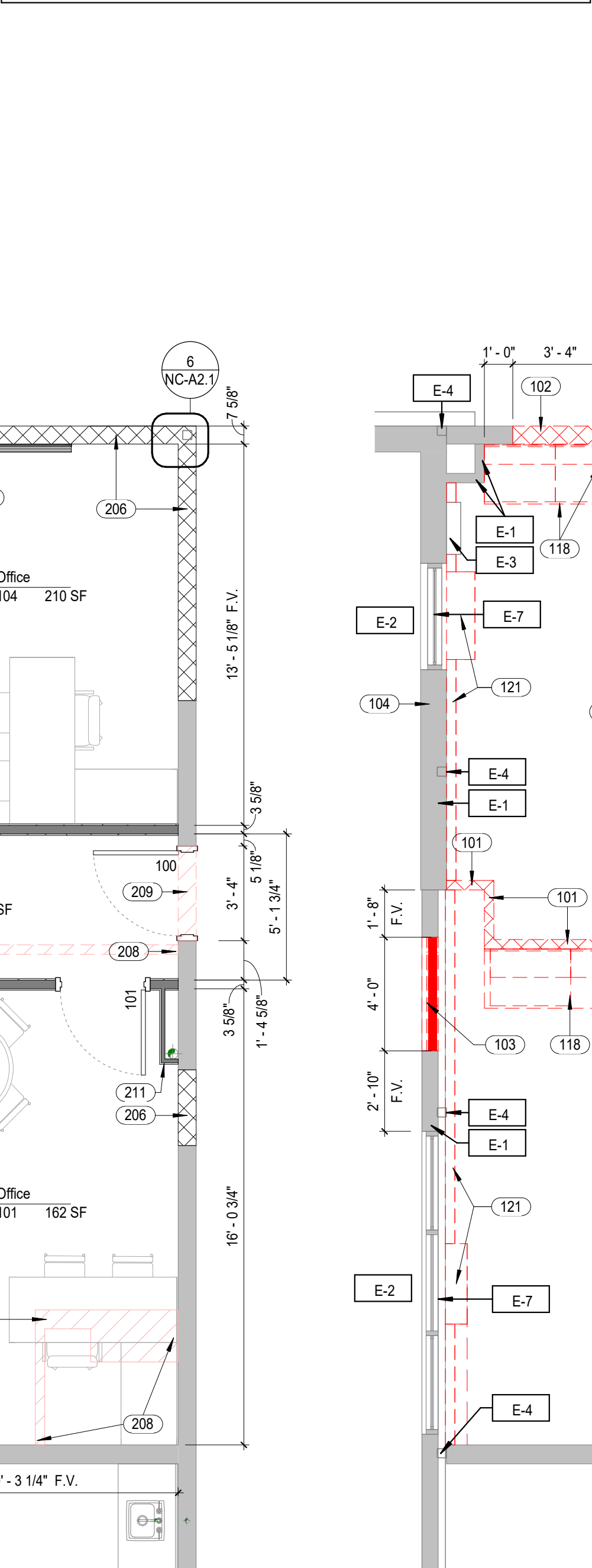
- STEEL STUD WALL PARTITION. REFER TO THIS A4.0 SHEET FOR MORE INFORMATION
- SEE A4.0 SHEET FOR EXTERIOR WINDOW ELEVATIONS
- SPECIFIC FLOOR PLAN NOTE

Specific Floor Plan Notes

- INFILL OPENING WITH LIKE ADJACENT MATERIALS. TOOTH-IN MASONRY, TYP. SEE FINISH SCHEDULE FOR NEW FINISHES.
- CONTRACTOR TO PROVIDE AND INSTALL 6" x 4" MARKER BOARD CLARIDGE SERIES 2 S&S/ILS TYPE A.
- CONTRACTOR TO INSTALL SALVAGED MARKERBOARD.
- CONTRACTOR TO PATCH AND REPAIR EXISTING WALL SURFACES DUE TO DEMOLITION TO RECEIVE NEW FINISHES.
- CONTRACTOR TO PATCH AND REPAIR EXISTING FLOOR SURFACES DUE TO DEMOLITION TO RECEIVE NEW FINISHES.
- CONSTRUCT 5/8" AQUA-TOUGH GYP BD. OVER 1-5/8" STEEL STUDS FRAMING WITH A MINIMUM 1" CLR FROM EXISTING ROOF LEADER. TERMINATE 4" ABOVE CEILING.
- PATCH AND REPAIR EXISTING CMU WALL SURFACES AS REQUIRED DUE TO DEMOLITION OF EXISTING FANCOLUNIT VENT.
- CONSTRUCT 5/8" AQUA-TOUGH GYP BD. OVER 1-5/8" STEEL STUDS FRAMING OVER EXISTING CMU WALL. TERMINATE 4" ABOVE CEILING.

Existing To Remain Notes

- EXISTING WALL TO REMAIN. SEE FINISH PLAN FOR MORE INFO.
- EXISTING WINDOW / STOREFRONT SYSTEM TO REMAIN.
- EXISTING MEP UNIT TO REMAIN. SEE MEP DWGS FOR MORE INFO.
- EXISTING STRUCTURAL COLUMN TO REMAIN.
- EXISTING HORIZONTAL METAL BLINDS TO REMAIN.
- EXISTING PLUMBING RISER TO REMAIN.



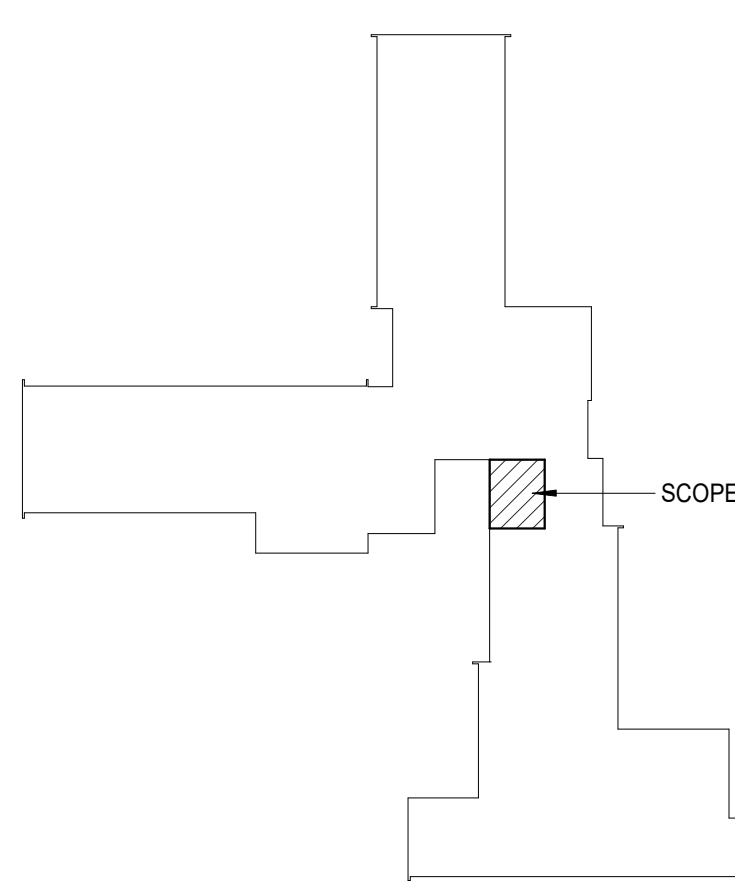
1 Enlarged Demolition Plan
1/4" = 1'-0"

General Demolition Notes

- ALL MATERIALS INDICATED AS DASHED AND HATCHED ARE TO BE DEMOLISHED. THIS INCLUDES ALL MATERIALS AND FINISHES NOT SPECIFICALLY CALLED OUT BUT PERTAINING TO THE INTENDED SCOPE.
- THE OWNER SHALL REMOVE ALL FURNISHINGS, AND LOOSE EQUIPMENT TO REMAIN THE OWNERS. ALL REMAINING ITEMS SHALL BE DEMOLISHED UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER SHALL BE STORED ON SITE AS INDICATED BY THE OWNER.
- IF HAZARDOUS MATERIALS ARE UNCOVERED CONTACT THE ARCHITECT/ENGINEER. ALL HAZARDOUS MATERIALS SHALL BE REMOVED BY THE OWNER SEPARATE FROM THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS. THESE DEMOLITION SHEETS SHALL SERVE TO AID THE CONTRACTOR IN HIS EVALUATION OF THE EXTENT OF DEMOLITION, BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING WALL, FLOOR, AND CEILING/ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION TO ALLOW FOR NEW C ONSTRUCTION.
- FOR FURTHER INFORMATION WITH REGARD TO THE EXACT EXTENT OF DEMOLITION, SEE THE CONSTRUCTION PLANS WHICH ILLUSTRATE THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION REQUIRED FOR THE INSTALLATION OF NEW WORK, WHETHER OR NOT IT IS SPECIFICALLY SHOWN OR NOTED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL FIELD INSPECT ALL DEMOLITION WORK PRIOR TO REMOVAL, TO VERIFY ALL EXISTING STRUCTURAL BEARING CONDITIONS AND TO INSURE SUCH REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING BUILDING. IF FIELD INSPECTION INDICATES STRUCTURAL I NTEGRITY MAY BE IMPAIRED, NOTIFY ARCHITECT/ENGINEER IMMEDIATELY. CONTRACTOR IS RESPONSIBLE TO SHORE THE EXISTING STRUCTURE AS REQUIRED TO ALLOW FOR DEMOLITION AND/OR NEW WORK.
- IF EXISTING BUILDINGS, STRUCTURES, ETC. ARE NOT SHOWN AS DETAILED, CONTACT THE ARCHITECT/ENGINEER.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS, LOOSE PAINT, ETC., FROM ALL NEWLY EXPOSED SURFACES.
- ALL AREAS TO REMAIN THAT ARE AFFECTED BY DEMOLITION & NEW WORK SHALL BE PATCHED TO MATCH EXISTING ADJACENT CONSTRUCTION AND FINISH.
- UNLESS NOTED OTHERWISE, ALL FLOOR, CEILING AND DECK PENETRATIONS SHALL BE PATCHED AND FIRESTOPPED TO MATCH EXISTING. PATCHES SHALL NOT ALLOW LIQUID TO PENETRATE AND SHALL CONFORM TO EQUAL FIRE RATING OF SURROUNDING MATERIAL.
- CONTRACTOR TO FILL ALL VOIDS IN CONCRETE FLOOR SLABS (WITH CONCRETE) AS REQUIRED DUE TO REMOVAL OF FLOOR DRAINS, TRENCHES, PITS, MASONRY WALLS, DUCTWORK, ETC. TO MATCH EXISTING ADJACENT FLOOR FINISH ELEVATION. IF REQUIRED, CONTRACTOR SHALL PROVIDE AND I NSTALL NEW METAL FLOOR DECKING AND NECESSARY STRUCTURAL SUPPORT TO ACCOMMODATE THE CONCRETE.
- CONTRACTOR TO REMOVE DOOR LEAFS & TEMPORARILY STORE TO ALLOW FOR DEMOLITION & NEW WORK. ONCE WORK COMMENCES IN THIS AREA. FURTHERMORE, GENERAL CONTRACTOR TO TEMPORARILY SUPPORT THE EXISTING DOOR FRAMES AND PROVIDE NEW JAMB ANCHORS TO RECONNECT DOOR FRAME TO THE NEW CMU. GROUT SIDE JAMBS FULL.
- CONTRACTOR TO REMOVE CEILING SYSTEM ADJACENT DEMOLISHED CMU AS REQUIRED TO ALLOW FOR NEW WORK. SEE THE REFLECTED CEILING PLANS FOR MORE INFORMATION.

Specific Demolition Notes

- CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO, ELECTRICAL DEVICES AND APPLIED FINISHES. PATCH FLOOR/REMAINING WALLS AS NECESSARY FOR NEW CONSTRUCTION AND FINISHES. CONTRACTOR SHALL F.V. SCOPE OF WORK.
- CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING WALL AS NECESSARY TO ALLOW FOR NEW CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, ELECTRICAL DEVICES, AND APPLIED FINISHES. CONTRACTOR SHALL F.V. SCOPE OF WORK. SEE A2 SERIES OF DRAWINGS FOR MORE INFO.
- CONTRACTOR TO REMOVE AND SALVAGE EXISTING COMPONENTS AS NECESSARY TO ALLOW FOR NEW CONSTRUCTION. CONTRACTOR TO REMOVE AND DISPOSE OF ELECTRICAL DEVICES AND APPLIED FINISHES. CONTRACTOR TO F.V. SCOPE OF WORK. SEE A2 SERIES OF DRAWINGS FOR MORE INFO.
- CONTRACTOR TO PARTIALLY REMOVE EXISTING WALL IN PREPARATION FOR NEW LOUVER INSTALLATION. SEE A4.0 FOR MORE INFO.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING DOOR LEAF, DOOR FRAME, AND ALL RELATED HARDWARE.
- EXIST. WINDOW / STOREFRONT ASSEMBLY TO BE REMOVED IN ITS ENTIRETY.
- OWNER TO RELOCATE SAME.
- CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING CMU FROM FLOOR TO LINTEL. CONTRACTOR SHALL F.V. SCOPE OF WORK.
- CONTRACTOR SHALL REMOVE & DISPOSE OF EXISTING TOILET, LAVATORY, WALL MOUNTED ACCESSORIES, MOUNTING BRACKETS, ANCHORS & ALL ASSOCIATED HARDWARE.
- CONTRACTOR SHALL REMOVE & SALVAGE FOR REUSE OF EXISTING TACK BOARDS, CHALKBOARDS & MARKER BOARDS. SEE PLUMBING DWGS FOR PIPING DEMOLITION.
- CONTRACTOR SHALL REMOVE & DISPOSE OF EXISTING FLOOR FINISHES, WALL BASE, AND SUSPENDED CEILING SYSTEMS. CONTRACTOR TO PREP AND REPAIR EXISTING CONCRETE SLAB AS NECESSARY TO RECEIVE NEW FINISHES.
- FLOORING AND MASTIC SHALL BE REMOVED BY OWNER UNDER SEPERATE CONTRACT.
- CONTRACTOR SHALL REMOVE & DISPOSE OF EXISTING CASEWORK / SHELVES. WHEN APPLICABLE, CONTRACTOR SHALL ALSO REMOVE EXISTING SINK AND/OR CASEWORK-BULKHEAD.
- CONTRACTOR TO REMOVE EXISTING FAN COL. UNITS. SEE MEP FOR MORE INFO.

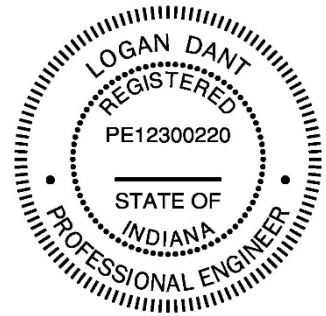


mark	date	description
1	10/9/2025	Addendum 1

Enlarged Demolition Plan, Floor Plan, Ceiling Plan, & Notes



Primary Engineering, Inc.
2828 Lake Ave.
Fort Wayne, Indiana 46805
260-424-0444 ph
www.primary-eng.com



Addendum: 1

Date: 10/08/2025

Project: Holland and Northcrest Elementary School Renovation

Comm #: 23476

The following items shall be incorporated into the specifications and drawings and are considered to be integral to the bid documents for the project. Acknowledgement of receipt of this addendum is required on the bid form.

Item #1: Drawing Sheet NC-M2.1, "Mechanical Plans".

- A. Revised new mechanical equipment naming conventions. Refer to supplemental sheet NC-M2.1 for additional information.

Item #2: Drawing Sheet NC-M5.1, "Mechanical Schedules".

- A. Revised new mechanical equipment naming conventions. Refer to supplemental sheet NC-M5.1 for additional information.

Item #3: Drawing Sheet HO-M2.1, "Mechanical Plans".

- A. Revised new mechanical equipment naming conventions. Refer to supplemental sheet HO-M2.1 for additional information.

Item #4: Drawing Sheet HO-M2.1, "Mechanical Schedules".

- A. Revised new mechanical equipment naming conventions. Refer to supplemental sheet HO-M5.1 for additional information.

Item #5: Drawing Sheet NC-E2.1, "Electrical Plans".

- A. Revised new mechanical equipment naming conventions. Refer to supplemental sheet NC-E2.1 for additional information.

Item #6: Drawing Sheet NC-E4.1, "Electrical Details and Schedule Sheet".

- A. Revised equipment schedule, new equipment naming conventions. Refer to supplemental sheet NC-E4.1 for additional information.

Item #7: Drawing Sheet HO-E2.1, "First Floor Electrical Plans".

- A. Revised new mechanical equipment naming conventions. Refer to supplemental sheet HO-E2.1 for additional information.

Item #8: Drawing Sheet HO-E4.1, "Electrical Details and Schedule Sheet".

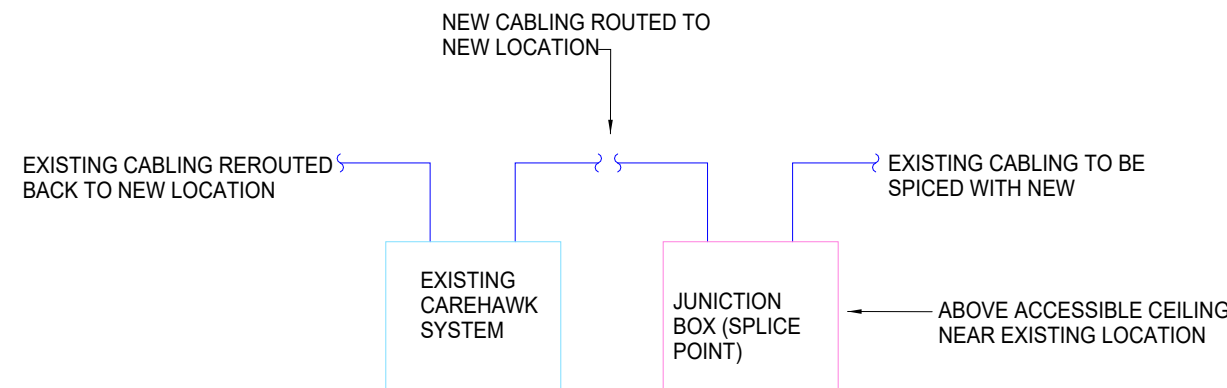
- A. Revised equipment schedule, new equipment naming conventions. Refer to supplemental sheet HO-E4.1 for additional information.



- LIGHTING PLAN NOTES**
1. PROVIDE AND INSTALL NEW EMERGENCY LIGHT FIXTURE. CONNECT ALL EXIT / EGRESS FIXTURES TO ROOM LIGHTING CIRCUIT AHEAD OF ALL SWITCHES, SENSORS AND RELAYS PER NEC.
 2. PROVIDE AND INSTALL NEW LIGHT FIXTURES. EXTEND EXISTING BRANCH CIRCUIT AS REQUIRED TO CONNECT NEW LIGHT AND LIGHTING CONTROL DEVICES IN THIS AREA.
 3. PROVIDE AND INSTALL 0-10V DIMMING CONTROL CABLING WITH EXISTING BRANCH CIRCUIT FROM DIMMER SWITCH TO LIGHT FIXTURES IN THIS ROOM. PROVIDE AND INSTALL NEUTRAL CONDUCTOR, AS REQUIRED, TO ALL FOR INSTALLATION OF NEW SWITCH.

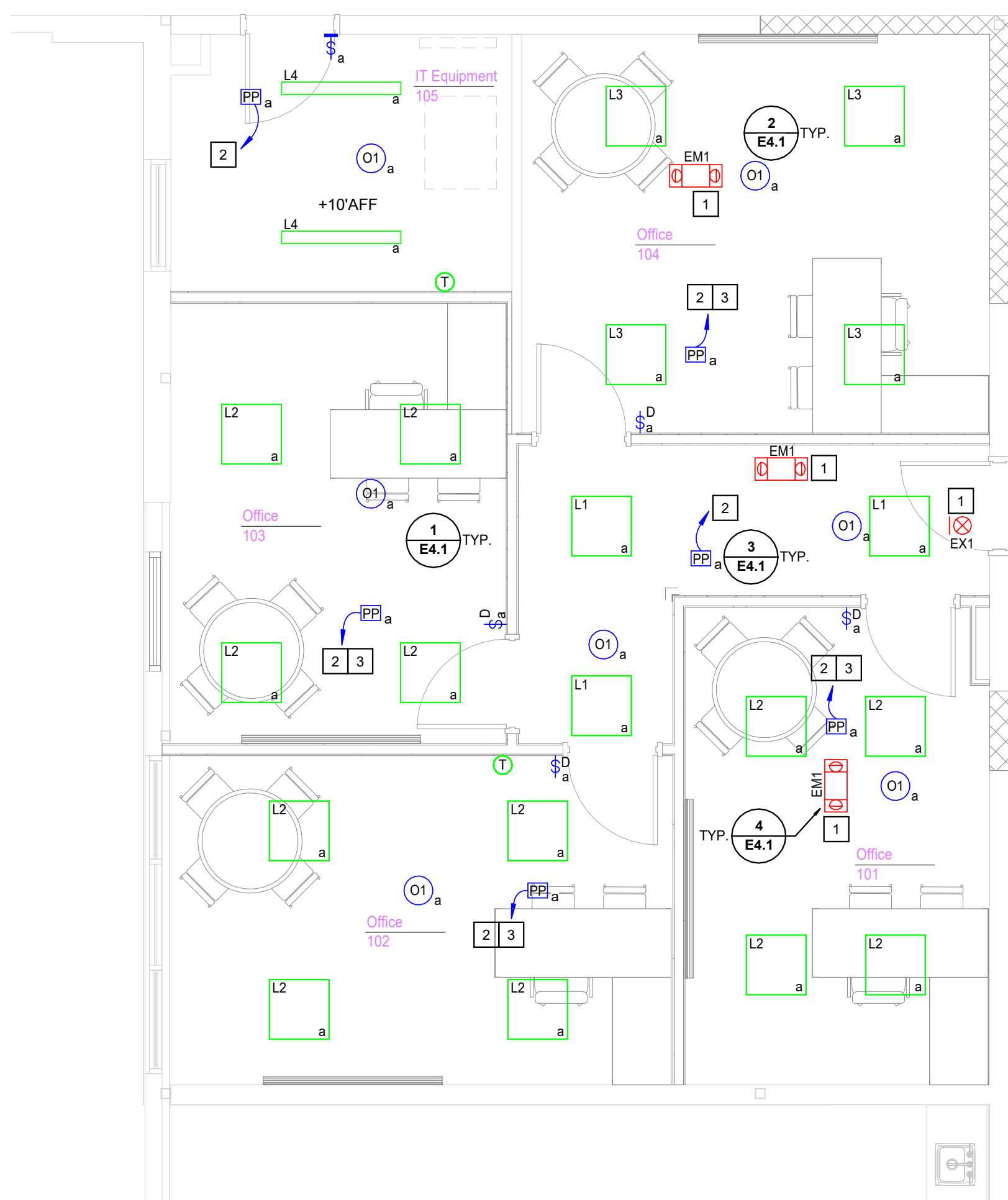
- POWER & SYSTEMS PLAN NOTES**
1. COORDINATE LOCATION, ROUGH-IN AND ELECTRICAL REQUIREMENTS WITH CONTRACTOR AND APPROVED SHOP DRAWINGS PRIOR TO ROUGH-IN. REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.
 2. PROVIDE AND INSTALL RECEPTACLE AND TELECOMMUNICATION OUTLET TO SERVE OFFICE DESK. COORDINATE EXACT LOCATION AND ELECTRICAL REQUIREMENTS WITH OWNER PRIOR TO ROUGH-IN.
 3. PROVIDE AND INSTALL SURFACE MOUNT RECEPTACLE USING LEGRAND WIREMOLD SERIES #700. PROVIDE ALL NECESSARY MATERIALS AS REQUIRED FOR COMPLETE INSTALL.
 4. PROVIDE AND INSTALL NEW FIRE ALARM DEVICE. PROVIDE ALL NECESSARY HARDWARE, SOFTWARE AND LABOR AS REQUIRED. CONNECT DEVICE TO EXISTING SIMPLEX 4100 CONTROL PANEL AND CIRCUITRY SERVING AREA.
 5. RELOCATE EXISTING CARE HAWK EDUCATIONAL INTERCOM RACK TO STORAGE AREA. PROVIDE AND INSTALL ALL NECESSARY MATERIALS FOR COMPLETE INSTALL. INTERCEPT AND EXTEND ALL CABLING AS REQUIRED FOR COMPLETE INSTALL OF EXISTING SYSTEM.
 6. PROVIDE AND INSTALL NEW EDUCATIONAL INTERCOM SPEAKER IN CEILING. PROVIDE ALL NECESSARY MATERIALS FOR CONNECTION TO ASSOCIATED VOLUME CONTROL. ALL ROOMS TO HAVE HOMERUN TO HEADEND.
 7. PROVIDE AND INSTALL NEW DATA CABLING ABOVE ACCESSIBLE CEILING FOR WIRELESS ACCESS POINT. WIRELESS ACCESS POINT TO BE PROVIDE AND INSTALLED BY OWNER.
 8. PROVIDE AND INSTALL RECEPTACLE AND TELECOMMUNICATION OUTLET TO SERVE TV/MONITOR. COORDINATE EXACT LOCATION AND ELECTRICAL REQUIREMENTS WITH OWNER PRIOR TO ROUGH-IN.

- DEMOLITION PLAN NOTES**
1. DISCONNECT EXISTING MECHANICAL EQUIPMENT. COORDINATE WITH MECHANICAL CONTRACTOR PRIOR TO DISCONNECT. REMOVE ASSOCIATED CONTROLLER, CONDUIT AND CONDUCTORS BACK TO SOURCE.
 2. DISCONNECT AND REMOVE LIGHT FIXTURE(S). BRANCH CIRCUITRY SHALL REMAIN AND BE EXTENDED, AS REQUIRED, TO CONNECT NEW LIGHT FIXTURE(S) AND LIGHTING CONTROL(S). TYPICAL OF ALL FIXTURES IN THIS AREA, UNLESS NOTED OTHER WISE.
 3. DISCONNECT AND REMOVE EXISTING LIGHTING CONTROLS AND SWITCH(ES). DEVICE BOX AND CONDUIT TO BE REMOVED. EXISTING CONDUCTORS SHALL REMAIN TO BE UTILIZED FOR NEW LIGHTING CONTROL DEVICE.
 4. DISCONNECT AND REMOVE EXISTING RECEPTACLE DEVICE(S). DEVICE BOX AND CONDUIT TO BE REMOVED. EXISTING WIRING SHALL REMAIN PREPARE WIRING AND CONDUIT TO BE INTERCEPTED AND EXTENDED FOR NEW DEVICES.
 5. DISCONNECT AND REMOVE EXISTING SURFACE MOUNT RECEPTACLE DEVICE(S). RACEWAY TO BE REMOVED. EXISTING WIRING SHALL REMAIN. PREPARE WIRING AND CONDUIT TO BE INTERCEPTED AND EXTENDED FOR NEW DEVICES.
 6. DISCONNECT AND REMOVE EXISTING DATA OUTLET(S). EXISTING WIRING, DEVICE BOX AND RACEWAY TO BE REMOVED.
 7. DISCONNECT AND REMOVE EXISTING SURFACE MOUNT DATA OUTLET(S). EXISTING WIRING AND RACEWAY TO BE REMOVED.
 8. DISCONNECT AND REMOVE EXISTING EDUCATIONAL INTERCOM SPEAKER AND ASSOCIATED CONTROLS. EXISTING WIRING AND RACEWAY TO BE REMOVED.
 9. DISCONNECT AND SALVAGE EXISTING EDUCATIONAL INTERCOM HEADEND (CAREHAWK SYSTEM). EXISTING WIRING TO REMAIN. PREPARE CABLING TO BE INTERCEPTED AND EXTENDED AS REQUIRED FOR RELOCATION OF HEADEND.
 10. DISCONNECT AND SALVAGE EXISTING WIRELESS ACCESS POINT(S). EXISTING WIRING TO BE REMOVED. WIRELESS ACCESS POINT(S) TO BE TURNED OVER TO OWNER, COORDINATE WITH OWNER AS REQUIRED.
 11. DISCONNECT AND SALVAGE EXISTING WALL CLOCK. EXISTING WIRING TO BE REMOVED. CLOCK TO BE TURNED OVER TO OWNER, COORDINATE WITH OWNER AS REQUIRED.
 12. DISCONNECT AND REMOVE EXISTING FIRE ALARM DEVICE(S). EXISTING DEVICE BOX AND RACEWAY TO BE REMOVED. EXISTING WIRING TO REMAIN. PREPARE WIRING AND CONDUIT TO BE INTERCEPTED AND EXTENDED FOR NEW DEVICES.
 13. DISCONNECT AND SALVAGE EXISTING INTERCOM CONTROL STATION. RELOCATE INTERCOM CONTROL STATION TO NEW SECURE OFFICE AREA. COORDINATE WITH OWNER PRIOR TO DISCONNECT AND REINSTALL. PROVIDE ALL NECESSARY LABOR, HARDWARE AND SOFTWARE FOR COMPLETE INSTALL.
 14. DISCONNECT AND REMOVE MONITOR AND ASSOCIATED CABLING AND SURFACE MOUNTED RACEWAY. PREPARE FOR MONITOR RELOCATION, AS REQUIRED.

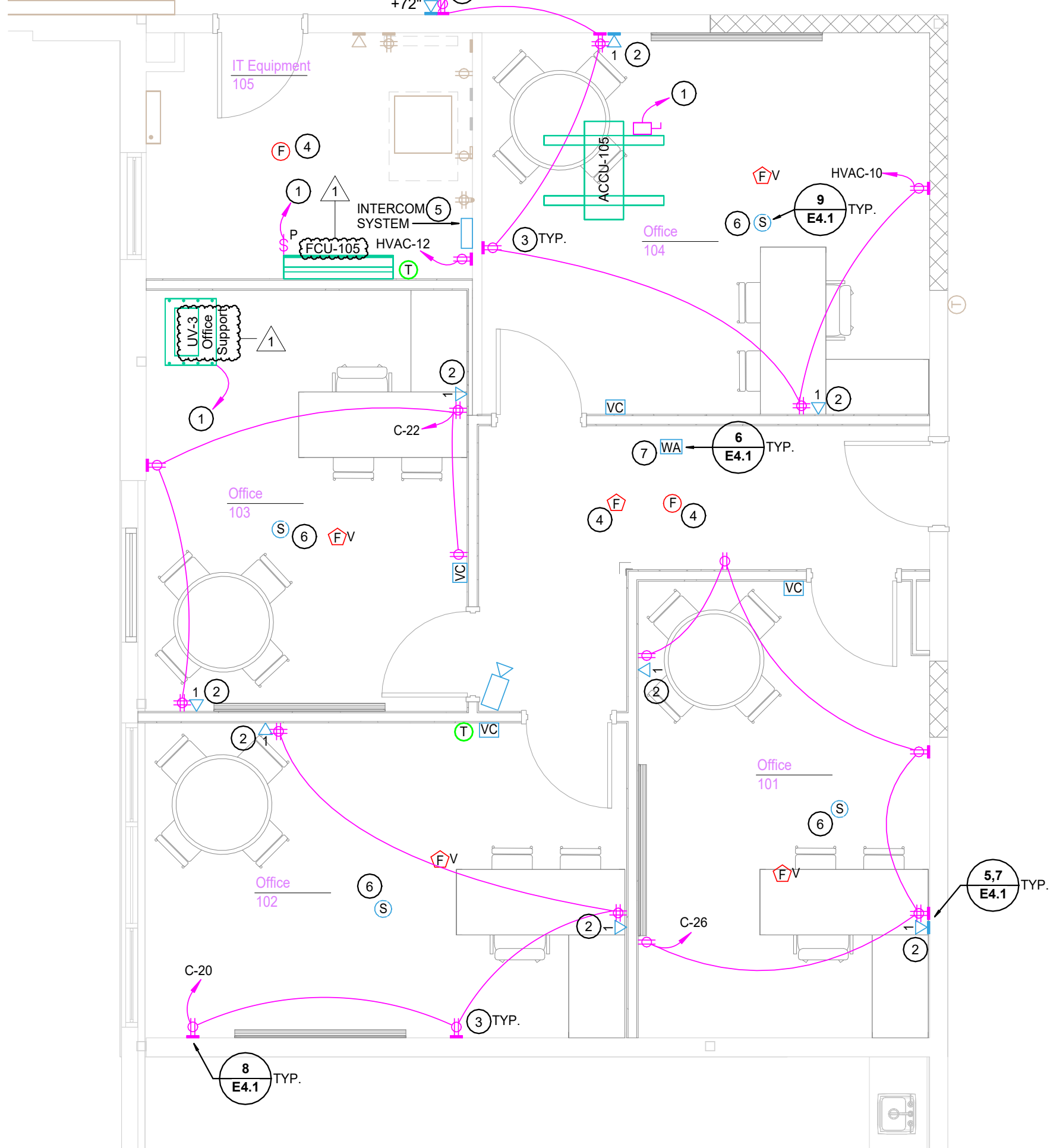


- NOTES:
1. INTERCEPT AND EXTEND EXISTING INTERCOM CABLING AS REQUIRED FOR RELOCATION OF EXISTING SYSTEM.
 2. VERIFY EXISTING CABLING SERVING INTERCOM. REROUTE AND PULLBACK ALL CABLING WHEN POSSIBLE.

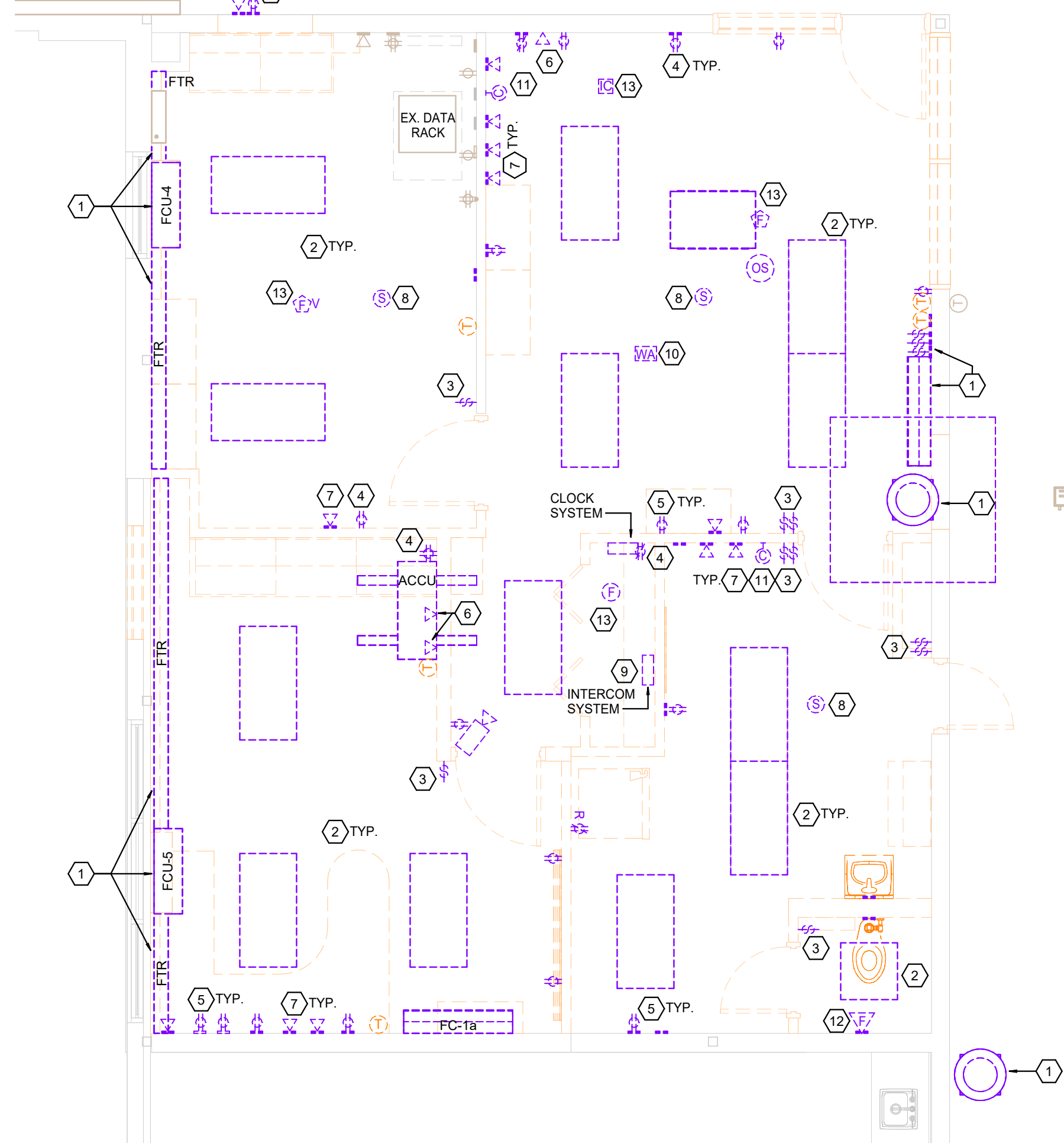
1 INTERCOM SYSTEM RELOCATION
NOT TO SCALE



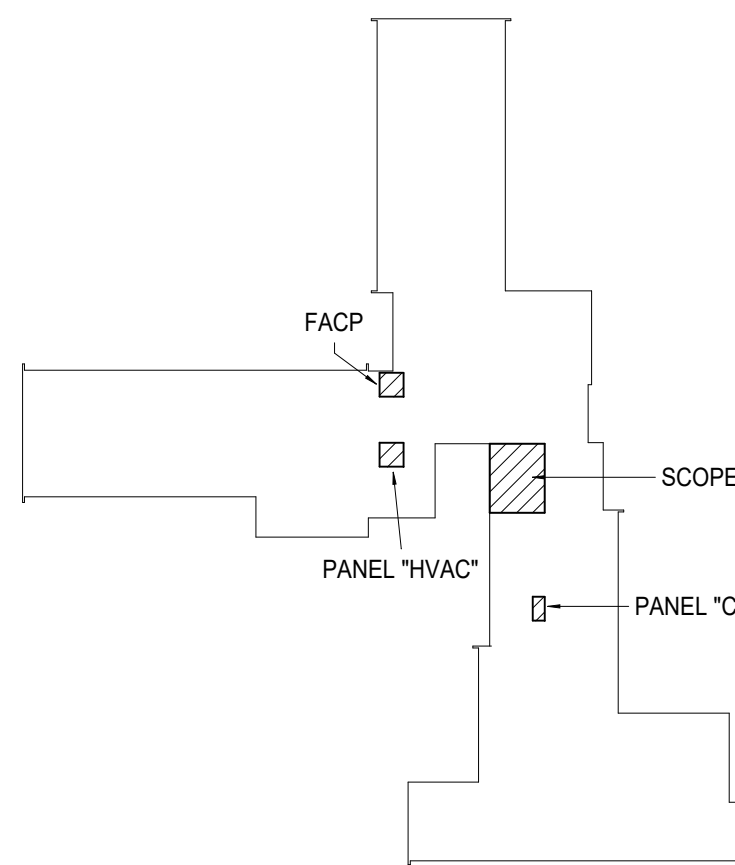
3 First Floor Lighting Plan
1/4" = 1'-0"



2 First Floor Power & Systems Plan
1/4" = 1'-0"



1 First Floor Electrical Demolition Plan
1/4" = 1'-0"



A PROJECT FOR:



WE ARE YOUR SCHOOLS
Northcrest Elementary School
Renovation

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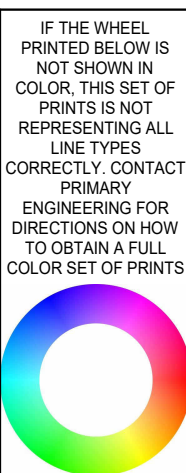
mark	date	description
1	10/08/25	ADDENDUM #1

Electrical Plans

date: 9/24/2025
project: 111031.02
coordinator: BHR
drawn: BHR
checked: BJ

NC-E.2.1

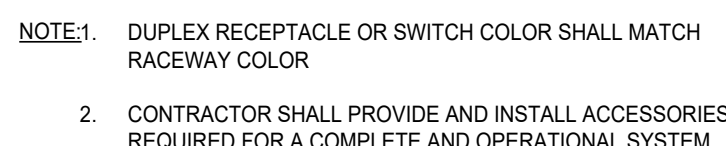
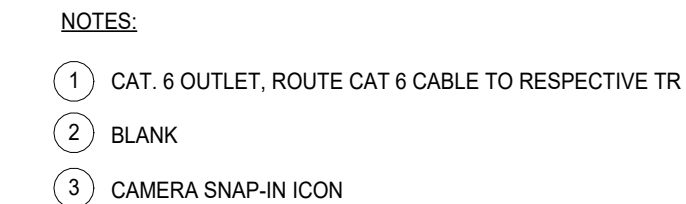
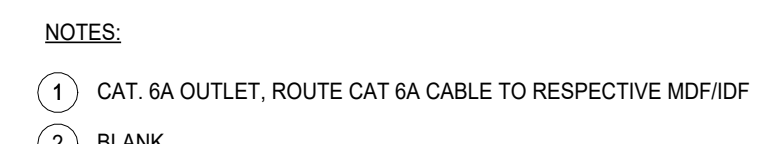
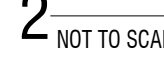
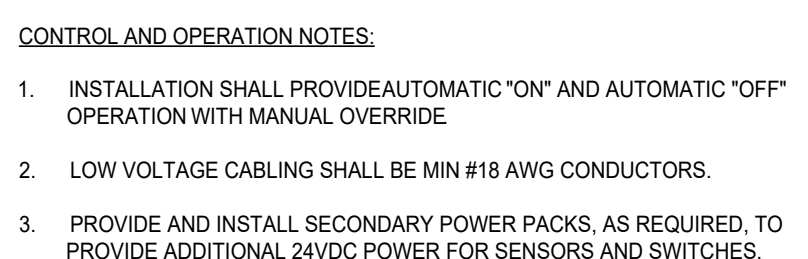
PRIMARY JOB # 23476 Rvt.25



SCALE: 1/16" = 1'-0" SCALE: 3/32" = 1'-0" SCALE: 1/8" = 1'-0" SCALE: 1/4" = 1'-0" SCALE: 1/2" = 1'-0" SCALE: 3/4" = 1'-0" SCALE: 1" = 1'-0"

1 —

1 —

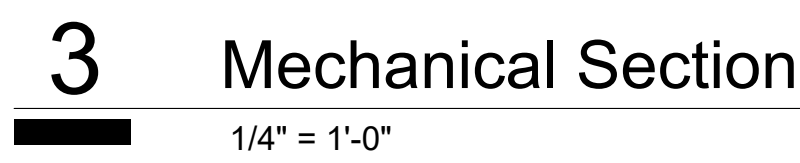
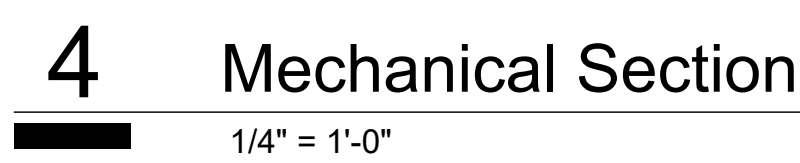
REMARKS:

REMARKS:

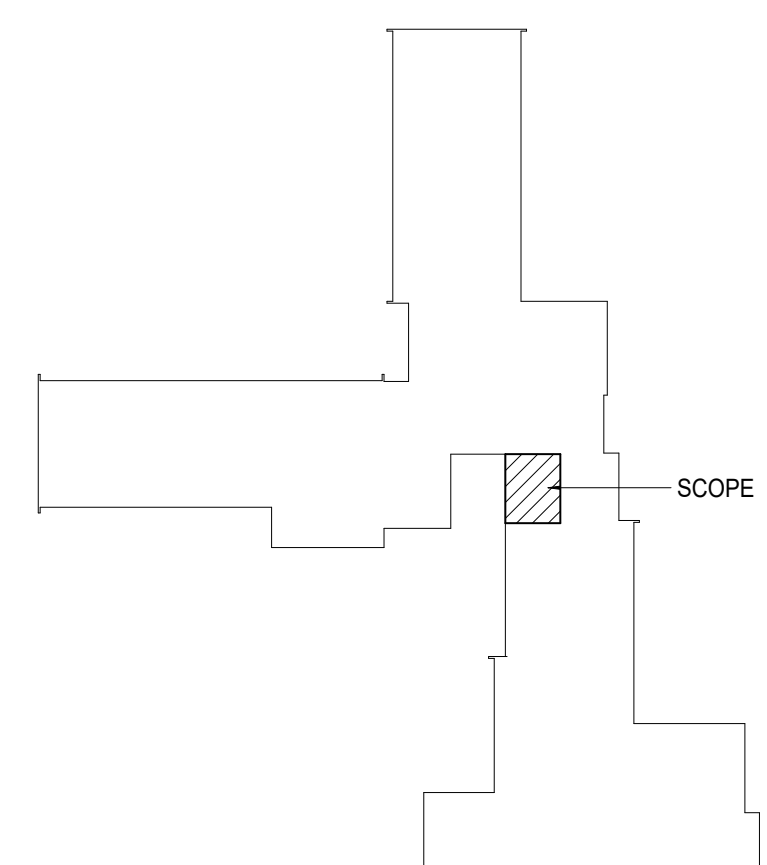
1. PROVIDE POWER PACKS AND EMERGENCY LIGHTING CONTROL UNITS AS REQUIRED TO OPERATE LIGHTING AS SHOWN ON FLOOR PLANS

2. 120/277V SENSOR IN LIEU OF POWER PACK IS ACCEPTABLE.

1. CEILING MOUNTED



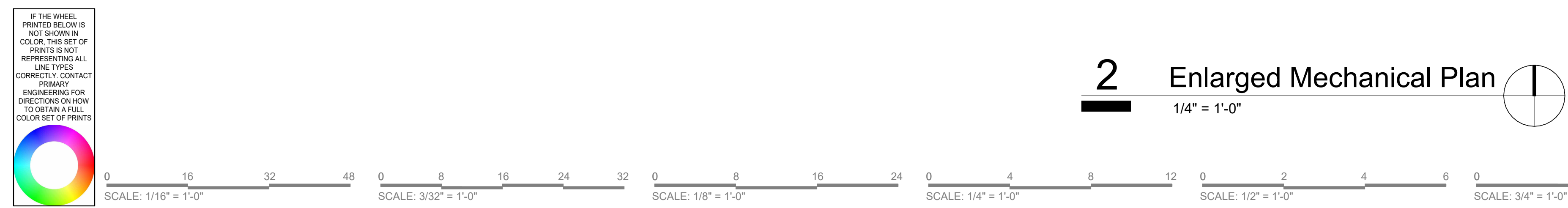
- | DEMOLITION PLAN NOTES | |
|------------------------------|--|
| 1. | REMOVE EXISTING FAN COIL UNIT COMPLETE INCLUDING ALL ASSOCIATED PIPING, HANGERS, MOUNTING DEVICES, CONTROLS, WIRING, ETC. |
| 2. | REMOVE EXISTING THERMOSTAT COMPLETE INCLUDING ALL ASSOCIATED WIRING. |
| 3. | REMOVE EXISTING PIPING COMPLETE INCLUDING ALL ASSOCIATED HANGERS. |
| 4. | REMOVE EXISTING DUCTWORK COMPLETE INCLUDING ALL ASSOCIATED HANGERS. |
| 5. | REMOVE EXISTING FINNED TUBE RADIATION COMPLETE INCLUDING ALL ASSOCIATED PIPING AND MOUNTING DEVICES. |
| 6. | REMOVE EXISTING CONDENSING UNIT COMPLETE INCLUDING ALL ASSOCIATED PIPING AND MOUNTING DEVICES. |
| 7. | REMOVE EXISTING EXHAUST FAN COMPLETE INCLUDING ALL ASSOCIATED DUCTWORK, WIRING, CONTROLS, ETC. CAP EXISTING ROOF CURB WITH 16 GA GALVANIZED SHEET METAL. SEAL AIR AND WATER TIGHT. INSULATE WITH 4" OF RIGID INSULATION AND MARK WITH "N.I.S." (NOT IN SERVICE). |
| 8. | CAREFULLY DISCONNECT AND REMOVE EXISTING EQUIPMENT. TURN SALVAGED EQUIPMENT OVER TO THE OWNER. |

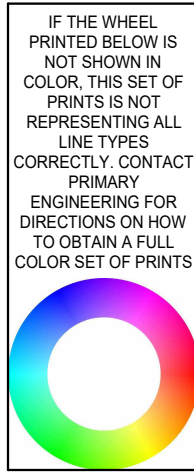
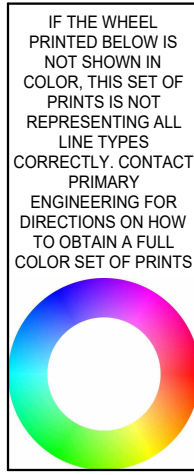
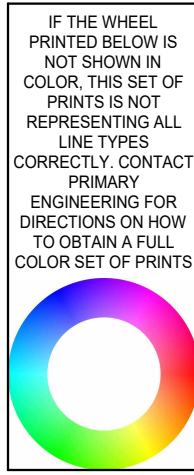
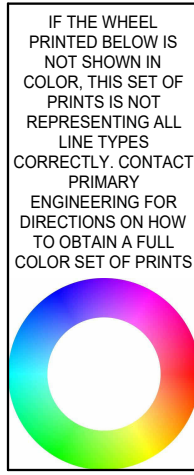
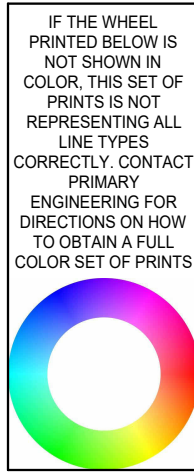
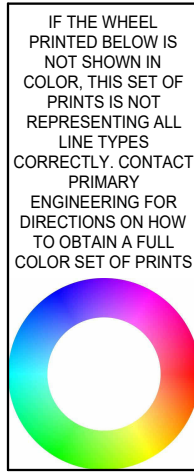
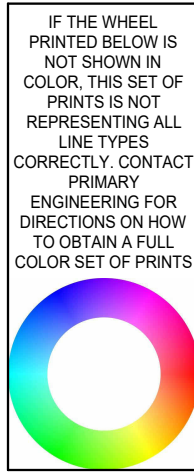
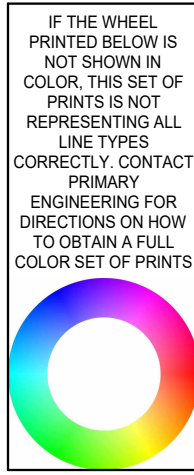
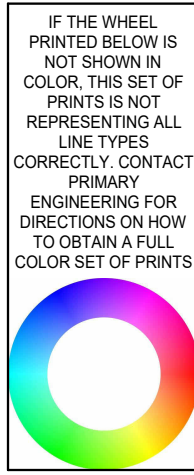
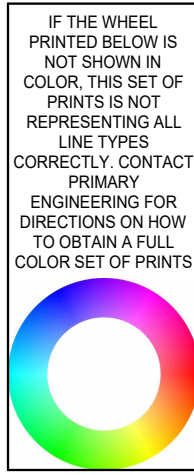
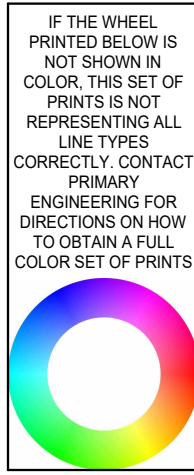
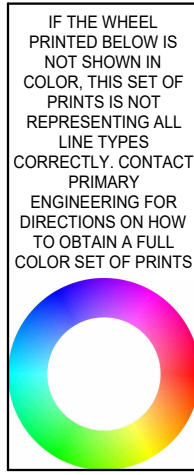
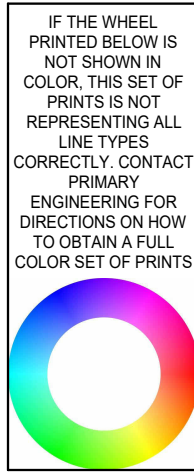
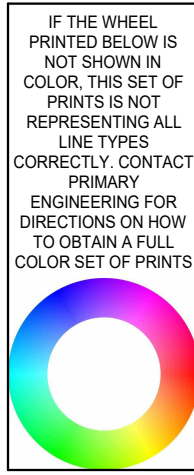
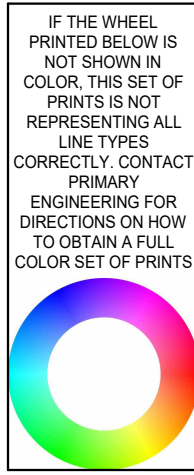
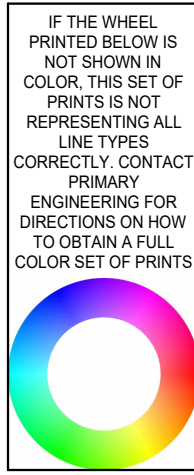
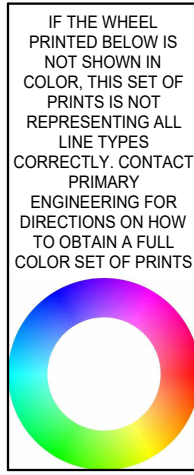
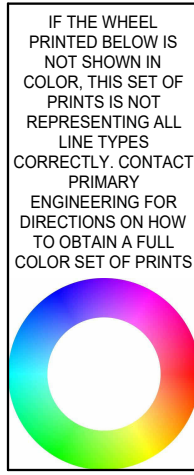
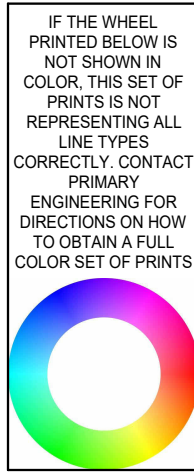
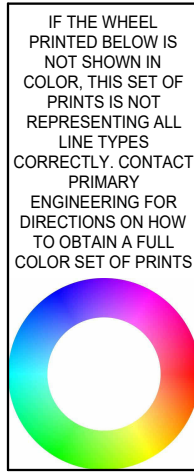
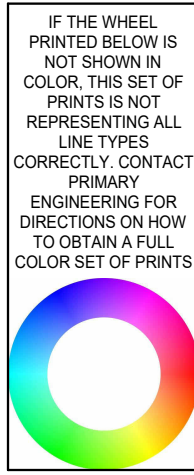
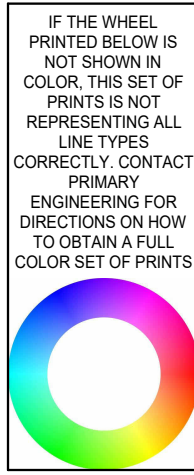
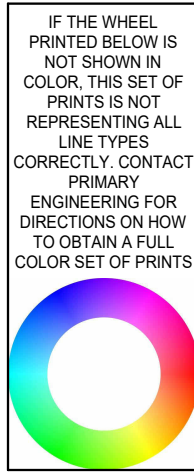
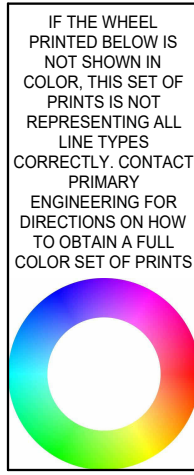
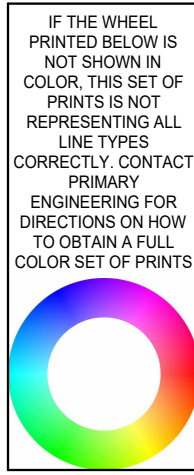
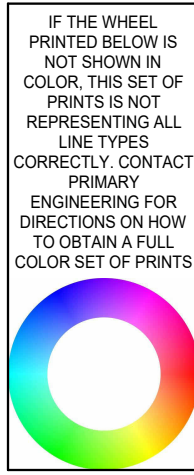
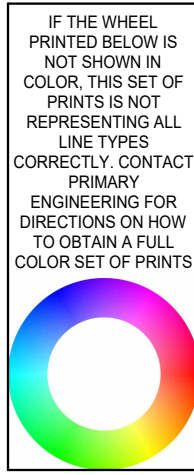
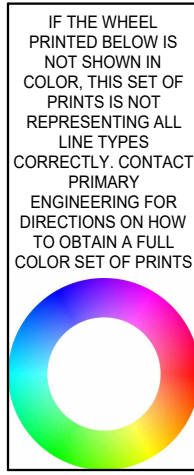
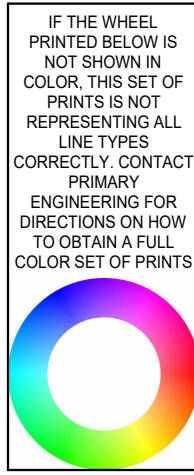
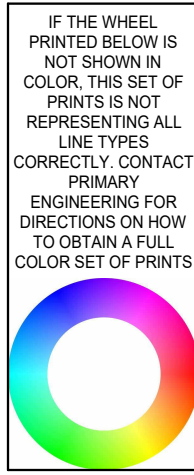
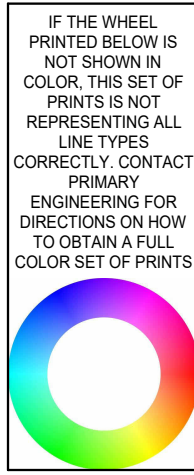
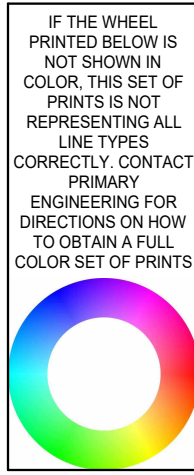
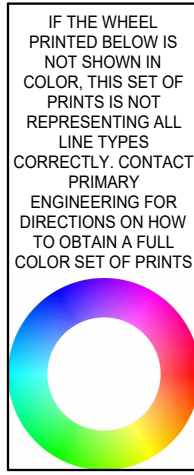
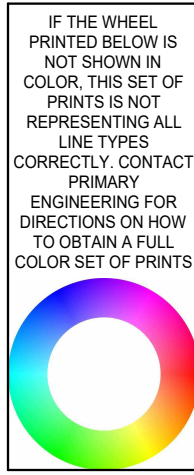
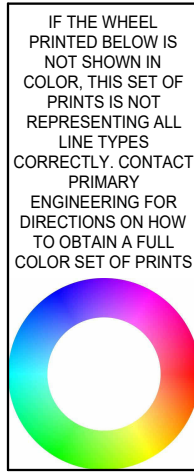
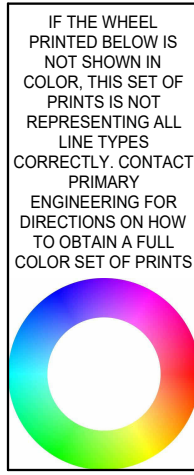
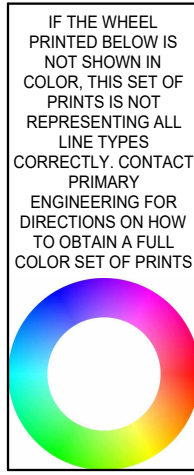
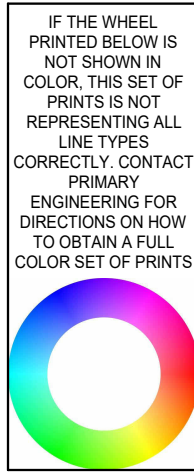
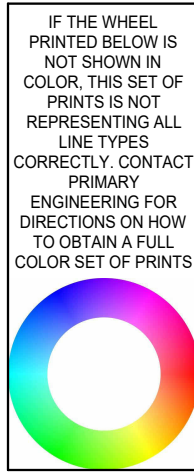
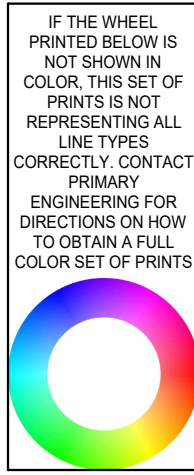
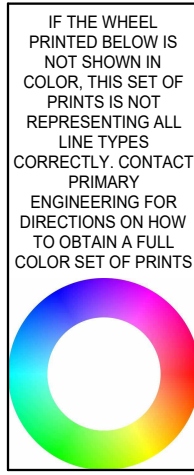
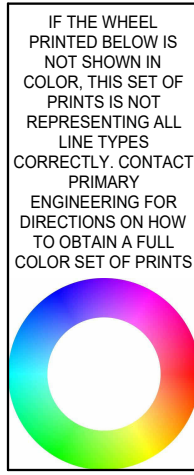
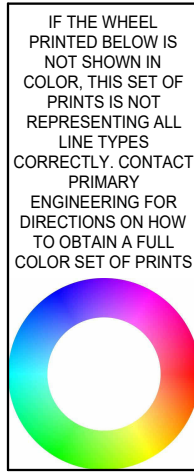
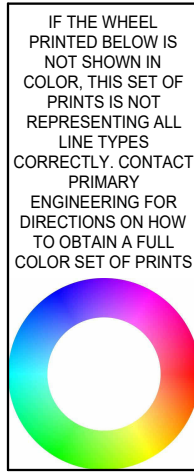
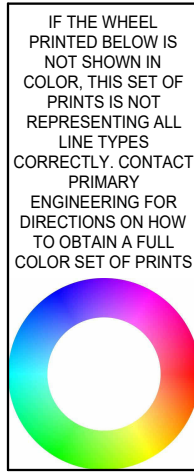
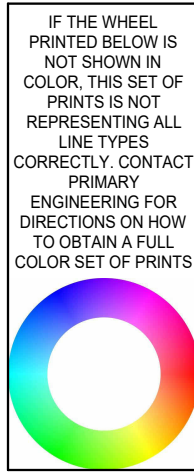
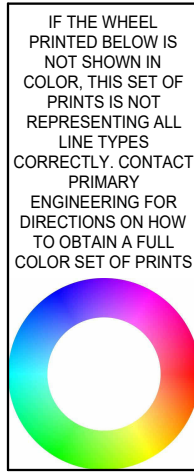
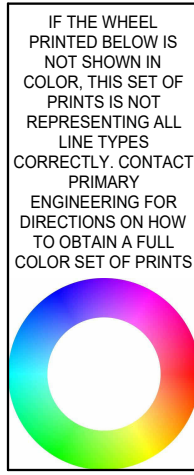
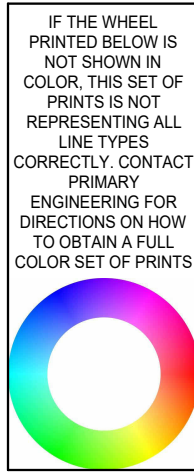
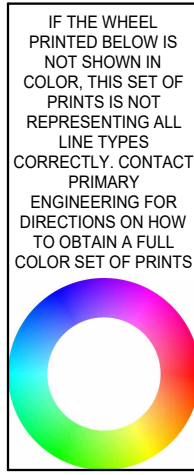
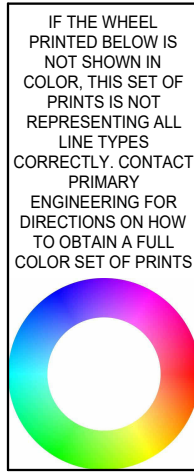
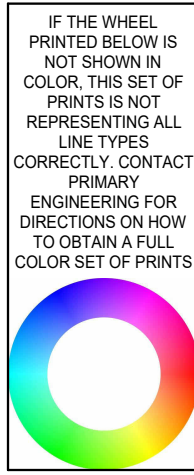
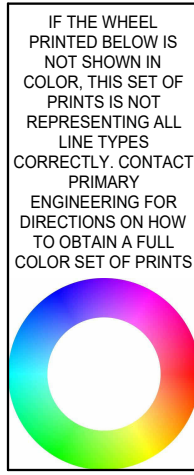
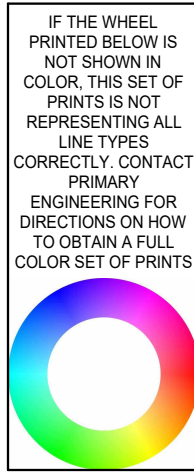
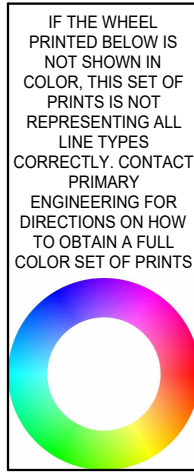
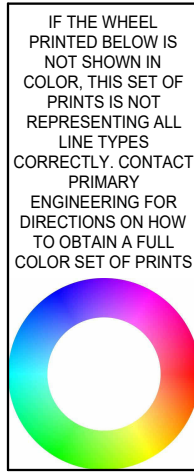
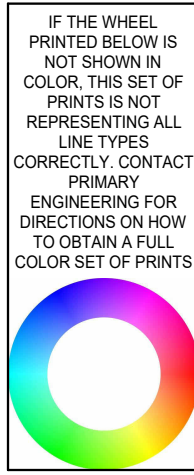
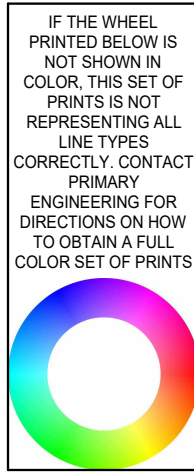
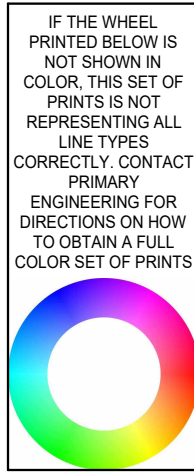
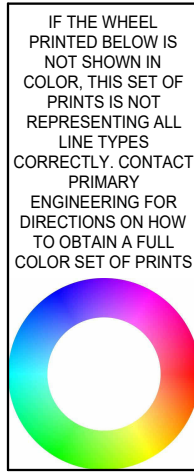
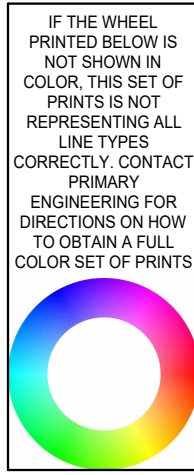
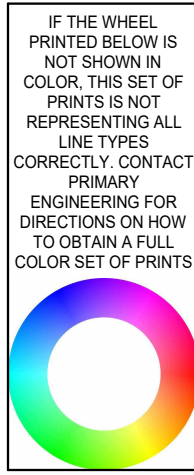
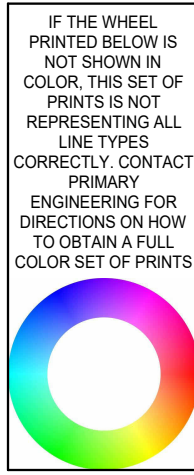
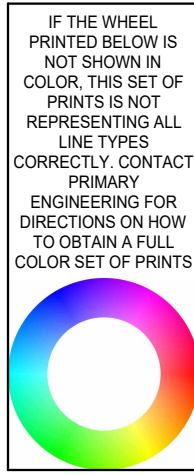
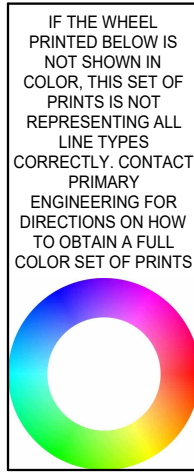
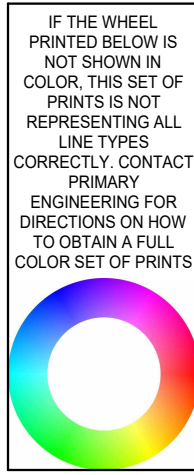
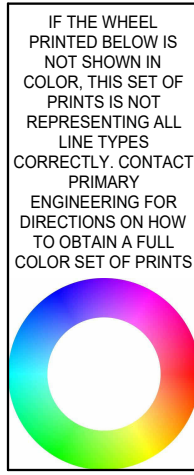
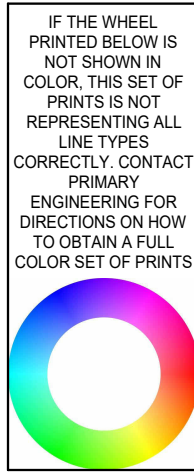
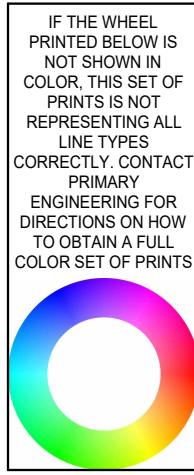
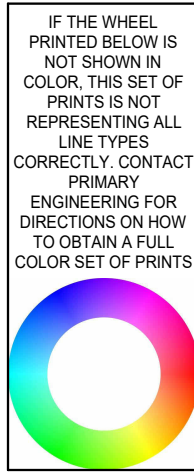
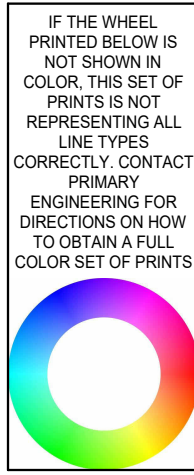
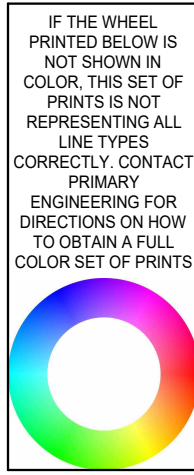
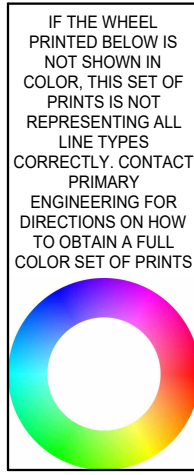
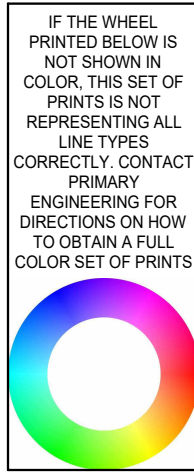
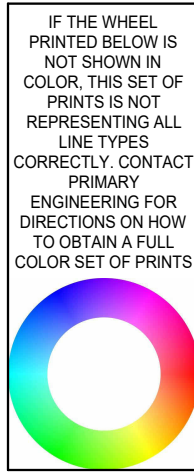
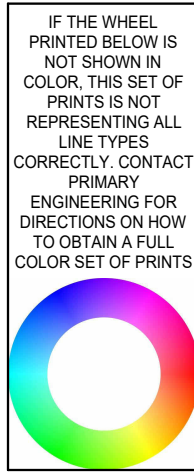
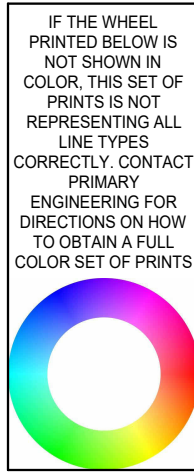
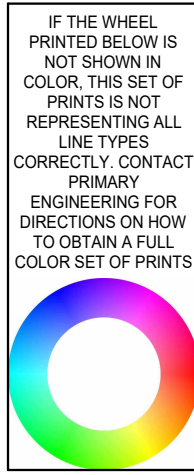
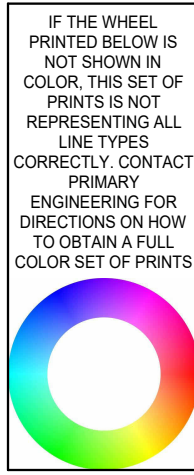
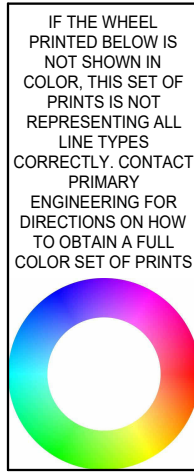
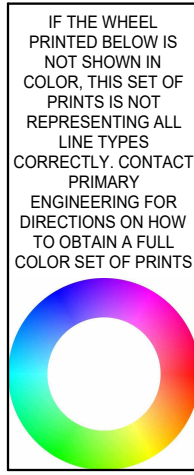
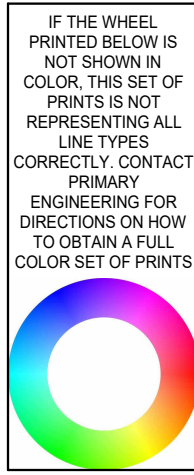
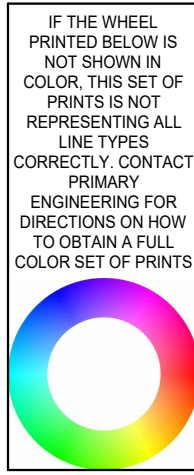
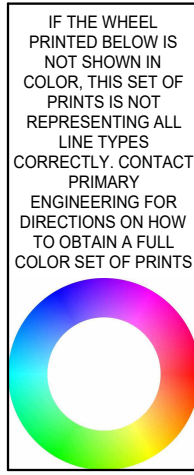
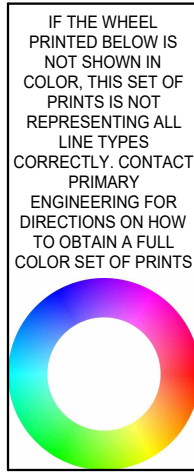
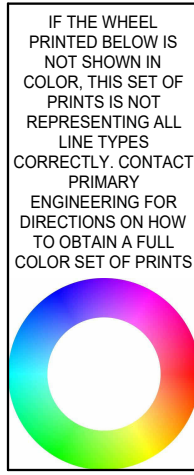
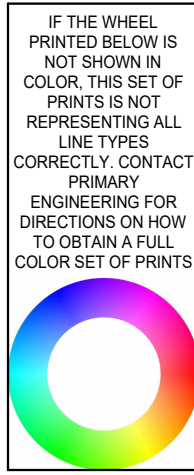
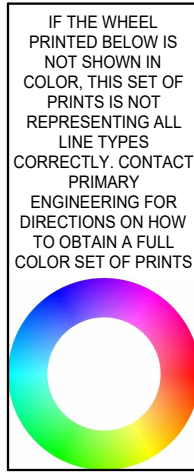
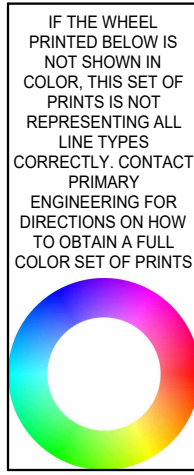
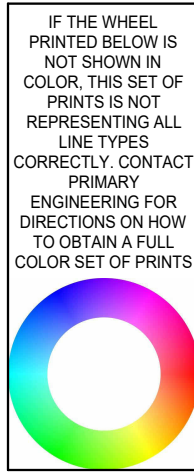
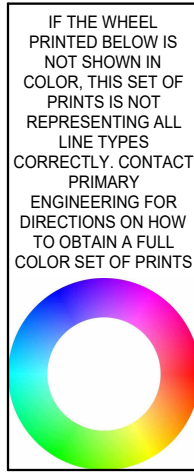
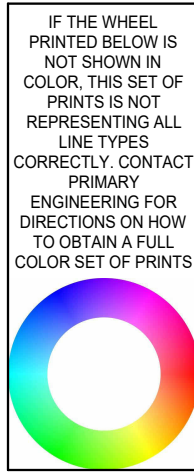
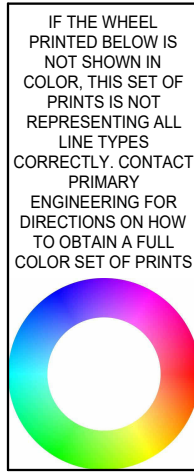
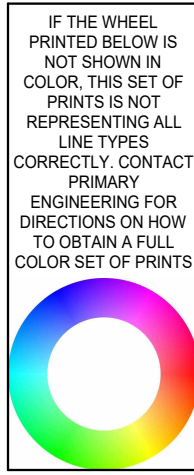
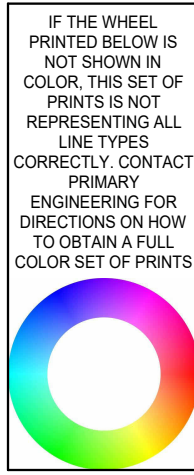
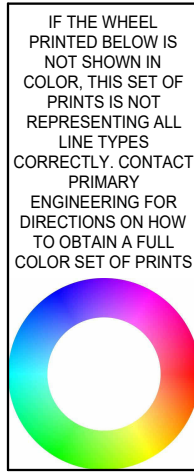
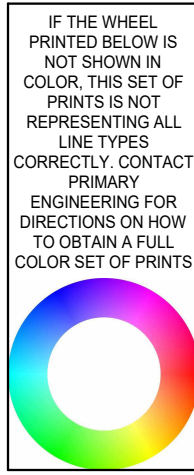
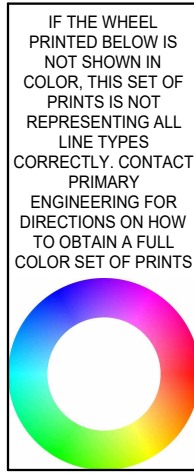
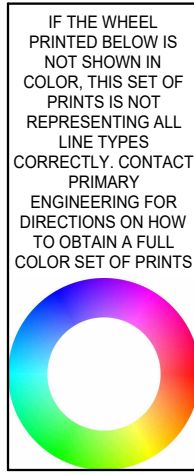
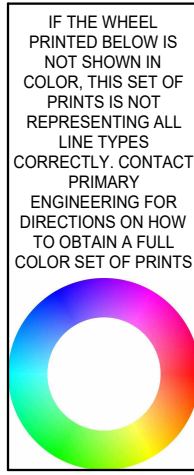
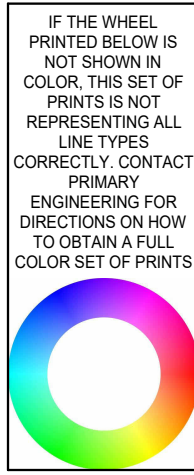
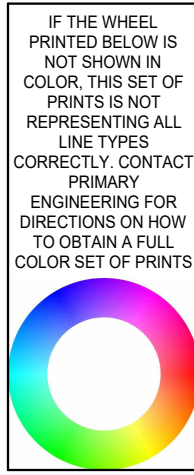
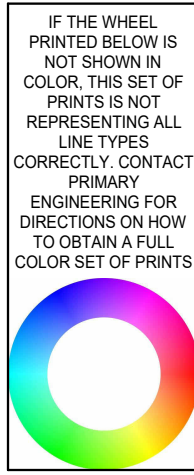
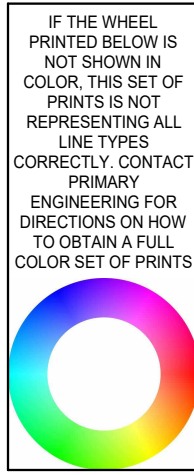
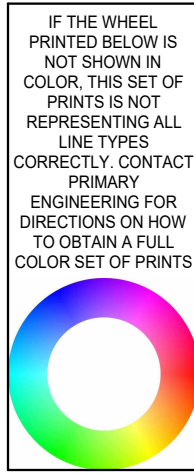
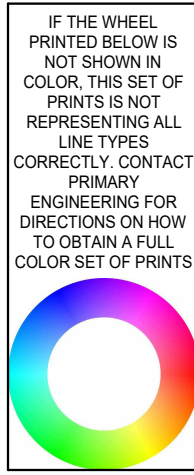
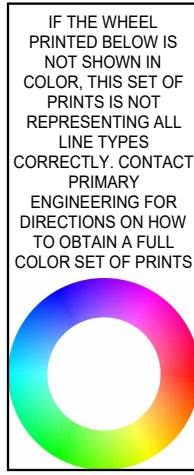
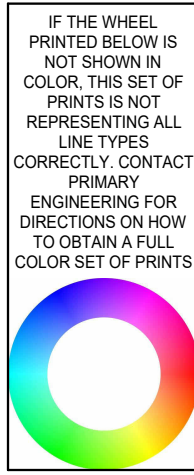
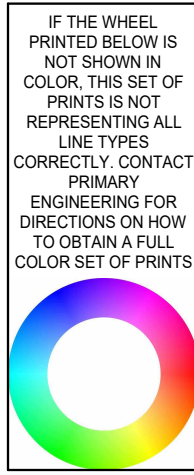
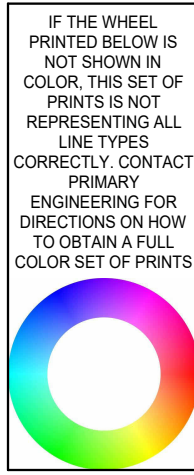
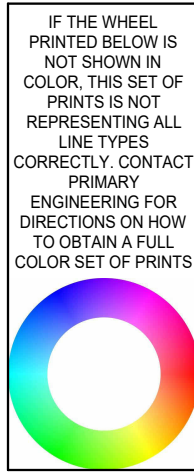
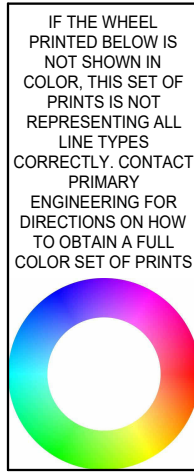
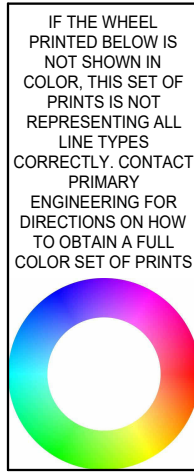
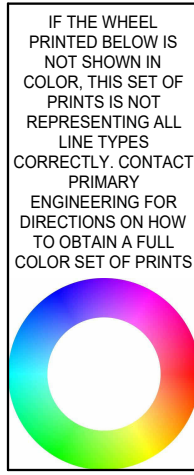
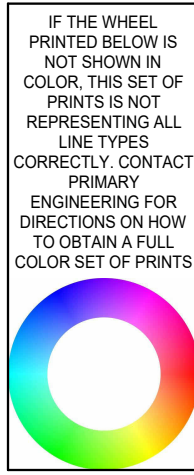
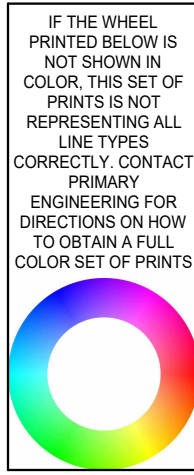
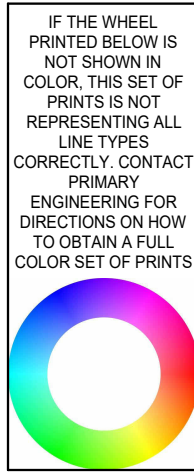
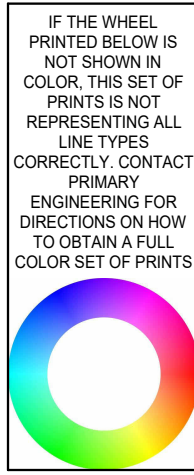
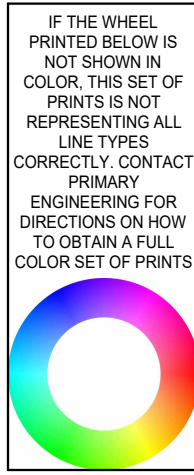
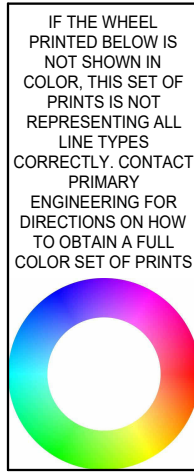
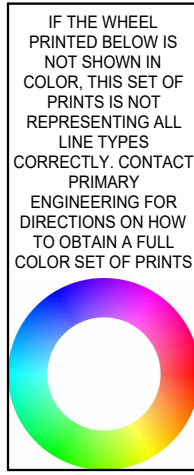
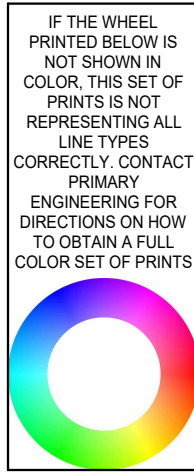
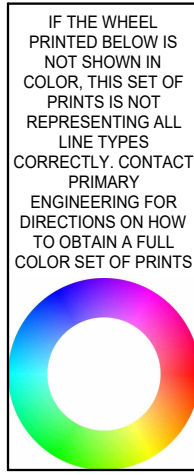
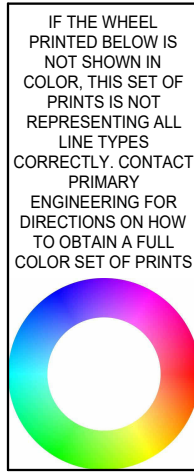
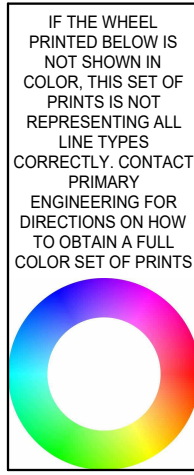
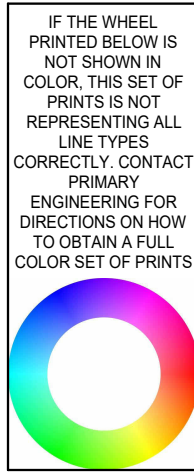
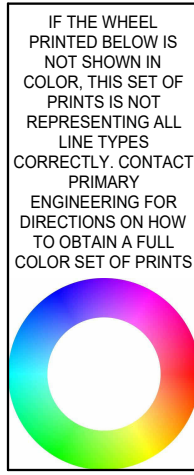
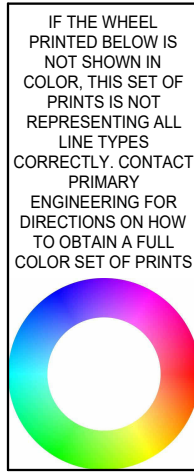
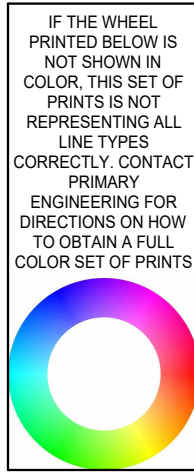
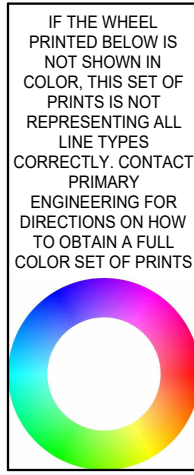
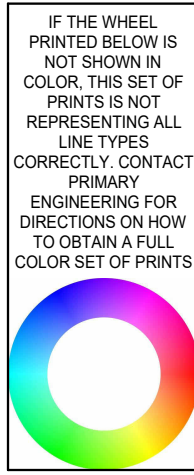
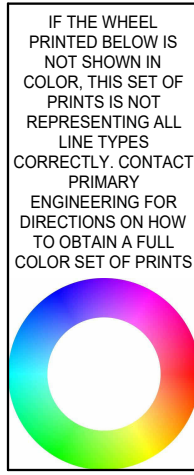
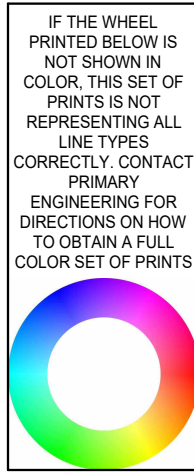
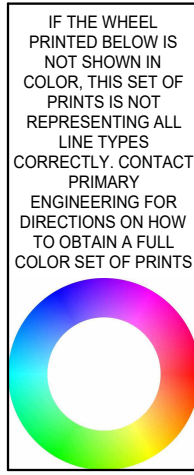
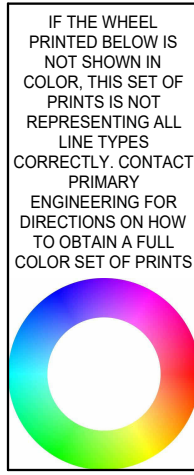
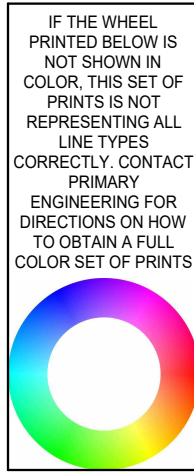


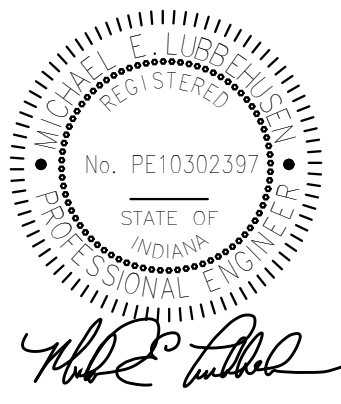
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Mechanical Plans

date: 09/29/2025
 project: 111031.02
 coordinator: LMD
 drawn: JAB
 checked: LMD

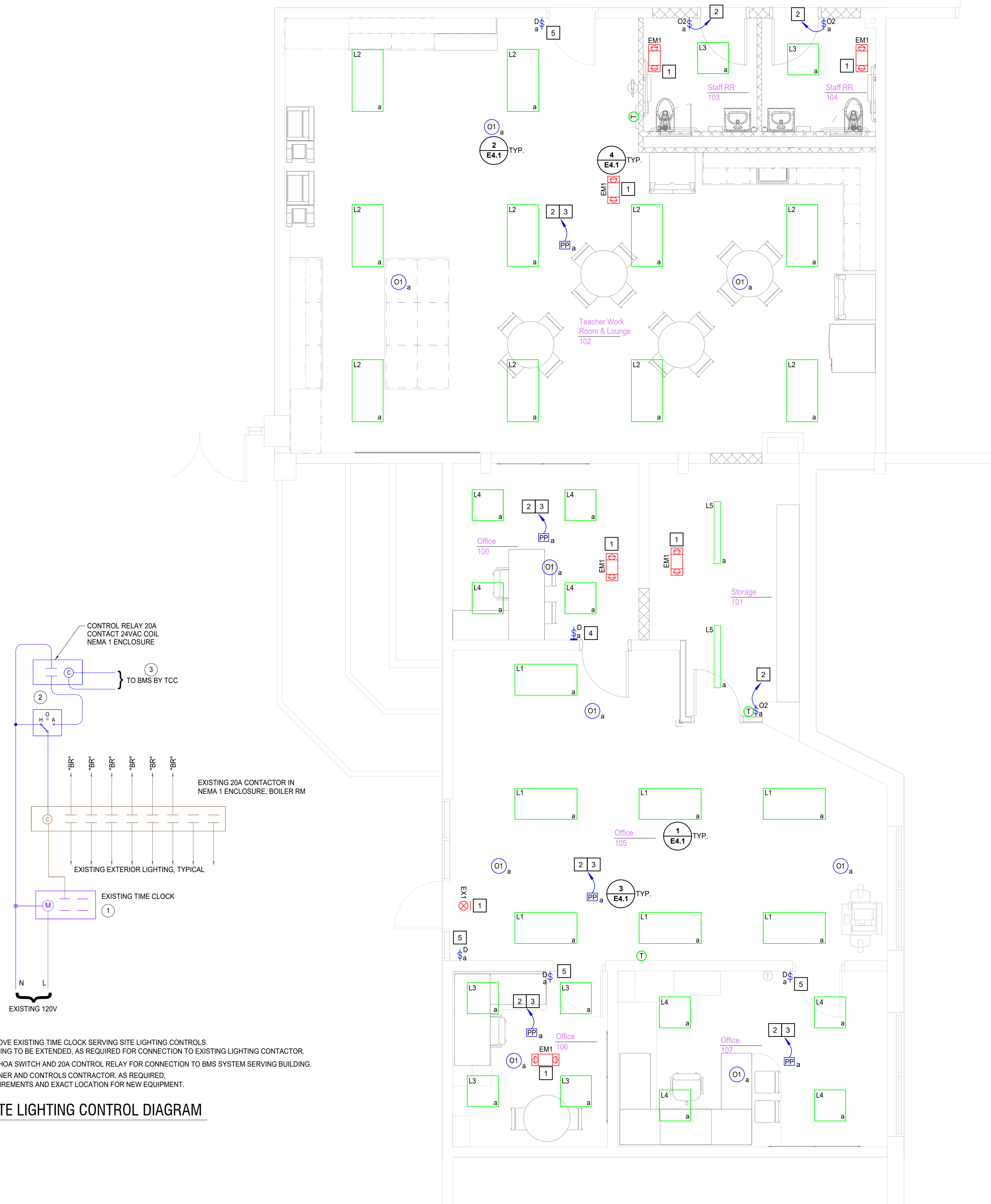




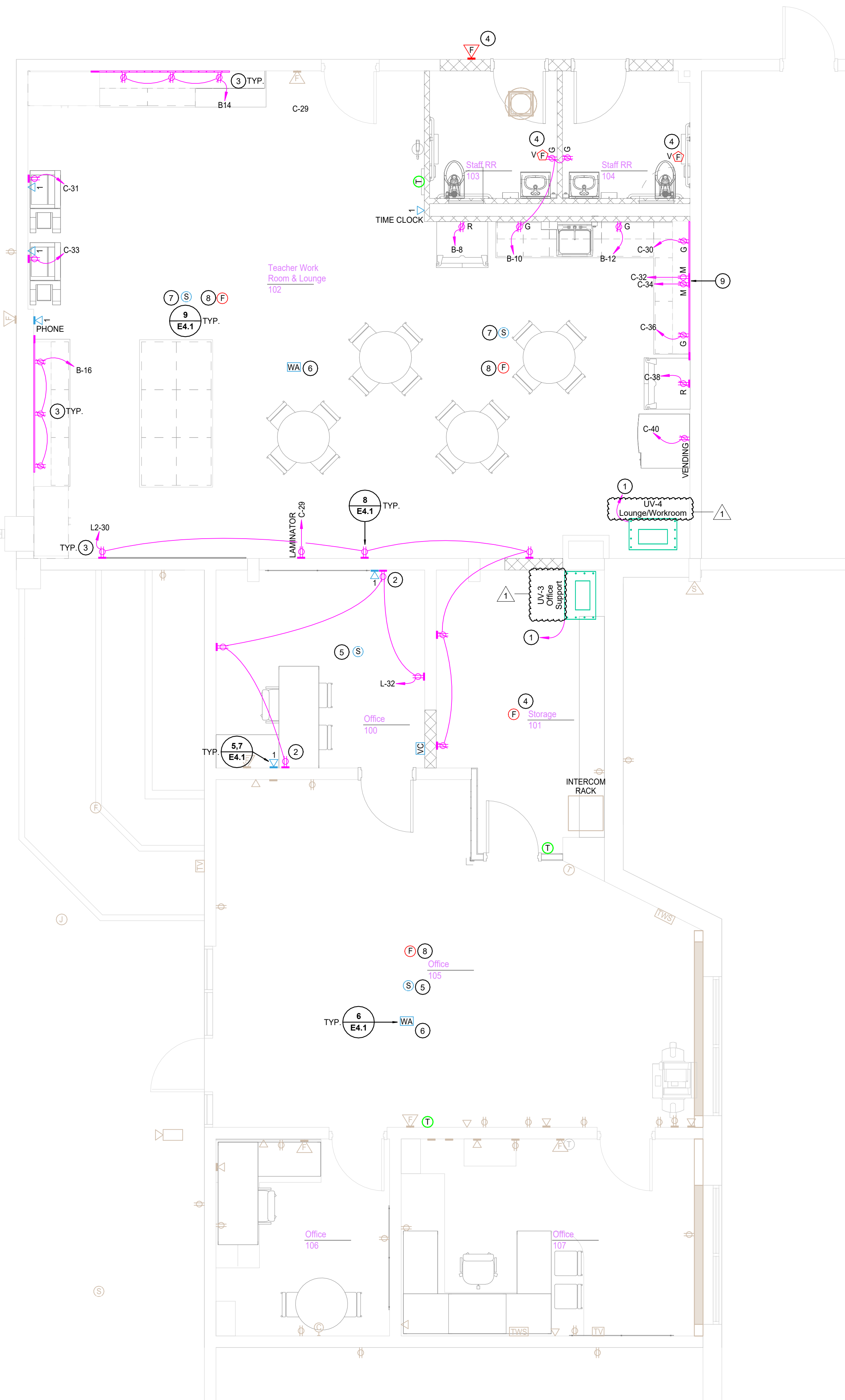


- LIGHTING PLAN NOTES**
1. PROVIDE AND INSTALL NEW EMERGENCY LIGHT FIXTURE. CONNECT ALL EXIT / EGRESS FIXTURES TO ROOM LIGHTING CIRCUIT AHEAD OF ALL SWITCHES, SENSORS AND RELAYS PER NEC.
 2. PROVIDE AND INSTALL NEW LIGHT FIXTURES. EXTEND EXISTING BRANCH CIRCUIT AS REQUIRED TO CONNECT NEW LIGHT AND LIGHTING CONTROL DEVICES IN THIS AREA.
 3. PROVIDE AND INSTALL 0-10V DIMMING CONTROL CABLING WITH EXISTING BRANCH CIRCUIT FROM DIMMER SWITCH TO LIGHT FIXTURES IN THIS ROOM. PROVIDE AND INSTALL NEUTRAL CONDUCTOR, AS REQUIRED, TO ALL FOR INSTALLATION OF NEW SWITCH.
 4. PROVIDE AND INSTALL NEW SURFACE MOUNT 0-10V DIMMER SWITCH USING SERIES #700 LEGRAND WIREMOLD. PROVIDE ALL NECESSARY MATERIALS AS REQUIRED FOR COMPLETE INSTALL.
 5. PROVIDE AND INSTALL NEW 0-10 DIMMER IN EXISTING DEVICE BOX. EXTEND EXISTING BRANCH CIRCUIT, AS REQUIRED, TO CONNECT TO NEW DIMMER. PROVIDE AND INSTALL NEUTRAL CONDUCTOR, AS REQUIRED, TO ALLOW FOR INSTALLATION OF NEW DIMMER. PROVIDE BLANK INSERTS AS REQUIRED.
 6. INTERCEPT SITE LIGHTING CONTACTOR AND CONTROLS, LOCATED IN THE BOILER ROOM. PROVIDE AND INSTALL ALL NECESSARY HARDWARE, SOFTWARE AND LABOR FOR CONNECTION OF SITE AND BUILDING LIGHTING TO BUILDING MANAGEMENT SYSTEM. COORDINATE WITH OWNER AND CONTROLS CONTRACTOR, AS REQUIRED FOR ELECTRICAL REQUIREMENTS AND EXACT LOCATIONS. REFER TO DETAIL #1 ON THIS SHEET.

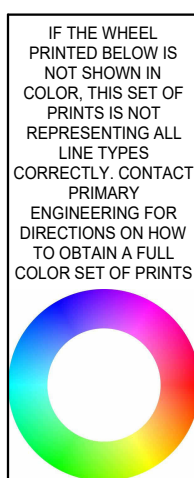
- POWER & SYSTEMS PLAN NOTES**
1. COORDINATE LOCATION, ROUGH-IN AND ELECTRICAL REQUIREMENTS WITH CONTRACTOR AND APPROVED SHOP DRAWINGS PRIOR TO ROUGH-IN. REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.
 2. PROVIDE AND INSTALL RECEPTACLE AND TELECOMMUNICATION OUTLET TO SERVE OFFICE DESK. COORDINATE EXACT LOCATION AND ELECTRICAL REQUIREMENTS WITH OWNER PRIOR TO ROUGH-IN.
 3. PROVIDE AND INSTALL SURFACE MOUNT RECEPTACLE USING LEGRAND WIREMOLD SERIES #700. PROVIDE ALL NECESSARY MATERIALS AS REQUIRED FOR COMPLETE INSTALL.
 4. PROVIDE AND INSTALL NEW FIRE ALARM DEVICE. PROVIDE ALL NECESSARY HARDWARE, SOFTWARE AND LABOR AS REQUIRED. CONNECT DEVICE TO EXISTING EST3 EDWARDS CONTROL PANEL AND CIRCUITRY SERVING AREA.
 5. PROVIDE AND INSTALL NEW EDUCATIONAL INTERCOM SPEAKER IN NEW CEILING. PROVIDE ALL NECESSARY MATERIALS FOR CONNECTION TO ASSOCIATED VOLUME CONTROL, AS REQUIRED. ALL ROOMS TO HAVE HOMERUN TO HEADEND.
 6. INSTALL SALVAGED WIRELESS ACCESS POINT IN NEW CEILING. COVER AND PROTECT EXISTING CABLING AND DEVICE AS REQUIRED FOR RECONNECTION.
 7. INSTALL SALVAGED EDUCATIONAL INTERCOM SPEAKER IN NEW CEILING. COVER AND PROTECT EXISTING CABLING AND SPEAKER AS REQUIRED FOR RECONNECTION. PROVIDE ALL NECESSARY HARDWARE, SOFTWARE AND LABOR AS REQUIRED. INTERCEPT AND EXTEND EXISTING WIRING SERVING AREA, AS REQUIRED.
 8. INSTALL SALVAGED FIRE ALARM DEVICE IN NEW CEILING. COVER AND PROTECT EXISTING WIRING AND DEVICE AS REQUIRED FOR RECONNECTION. PROVIDE ALL NECESSARY HARDWARE, SOFTWARE AND LABOR AS REQUIRED. CONNECT DEVICE TO EXISTING EST3 EDWARDS CONTROL PANEL, INTERCEPT AND EXTEND EXISTING WIRING SERVING AREA, AS REQUIRED.
 9. COORDINATE WITH PROPER TRADES FOR CABINET AND ELECTRICAL ROUGH-IN. MODIFY CASEWORK, AS REQUIRED, FOR ROUTING OF RECEPTACLES SERVING EQUIPMENT.



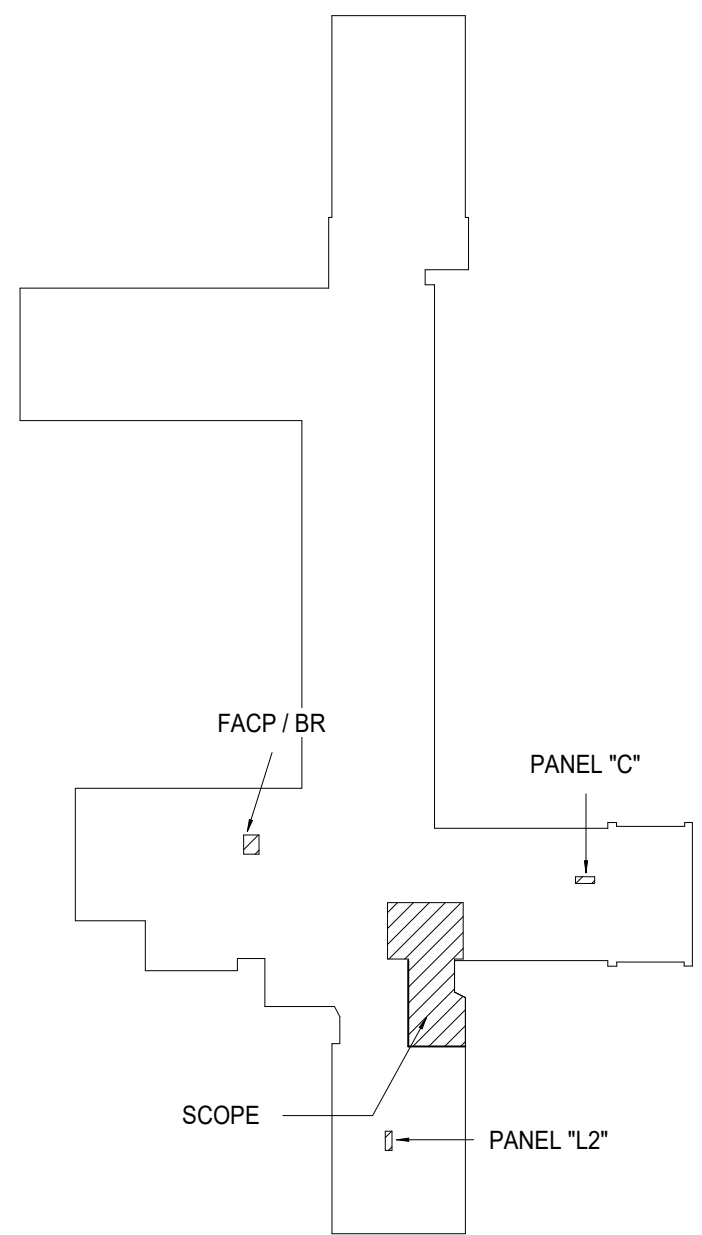
2 First Floor Lighting Plan
1/4" = 1'-0"



1 First Floor Power & Systems Plan
1/4" = 1'-0"



SCALE: 1/16" = 1'-0" SCALE: 3/32" = 1'-0" SCALE: 1/8" = 1'-0" SCALE: 1/4" = 1'-0" SCALE: 1/2" = 1'-0" SCALE: 3/4" = 1'-0" SCALE: 1" = 1'-0"



A PROJECT FOR:



WE ARE YOUR SCHOOLS
Holland Elementary School
Renovation

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mark	date	description
1	10/08/25	ADDENDUM #1

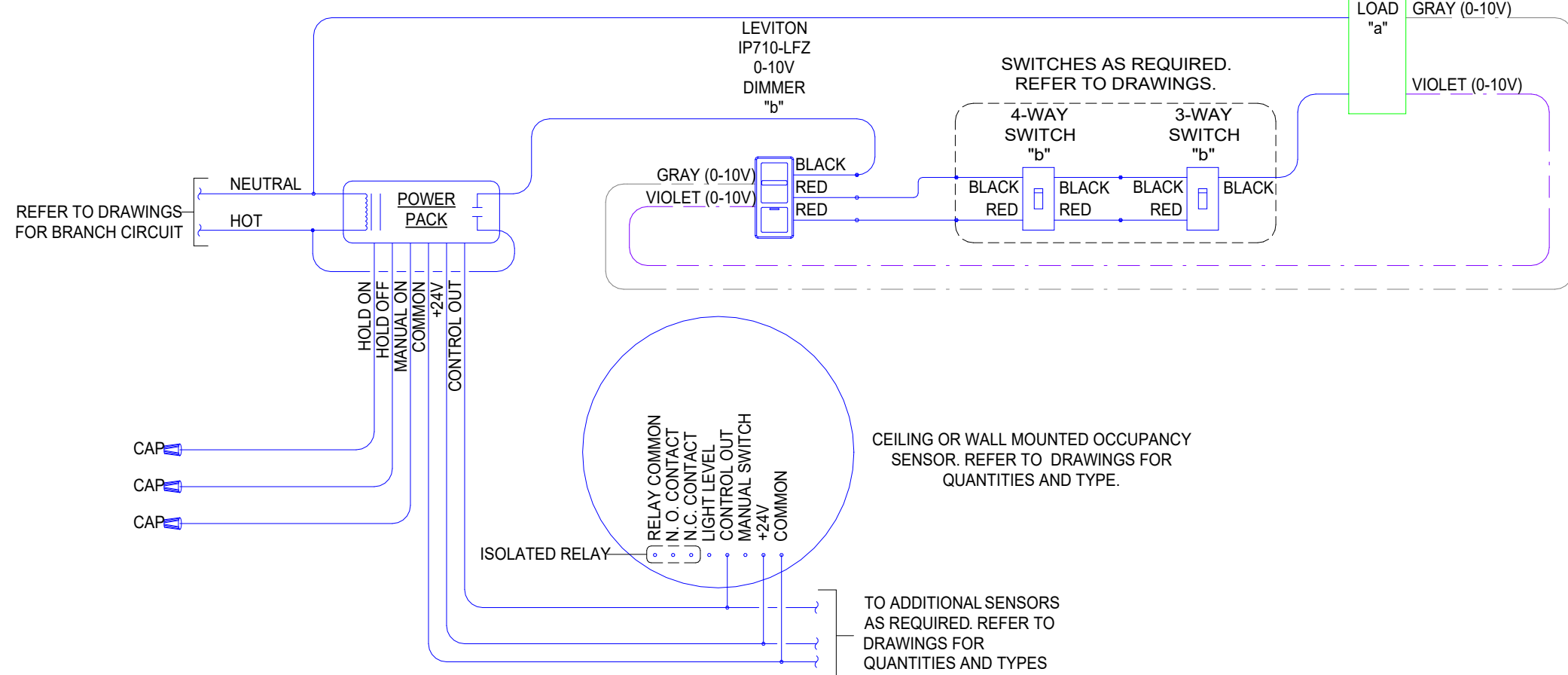
First Floor Electrical Plans

date: 9/24/2025
project: 111031.02
coordinator: BHR
drawn: BHR
checked: BJ

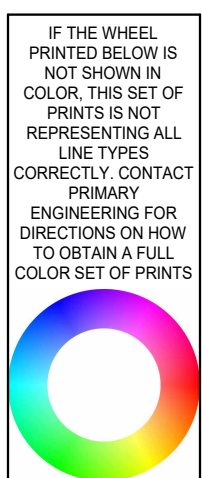
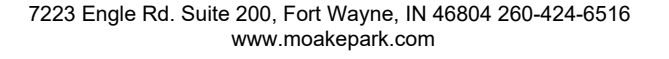
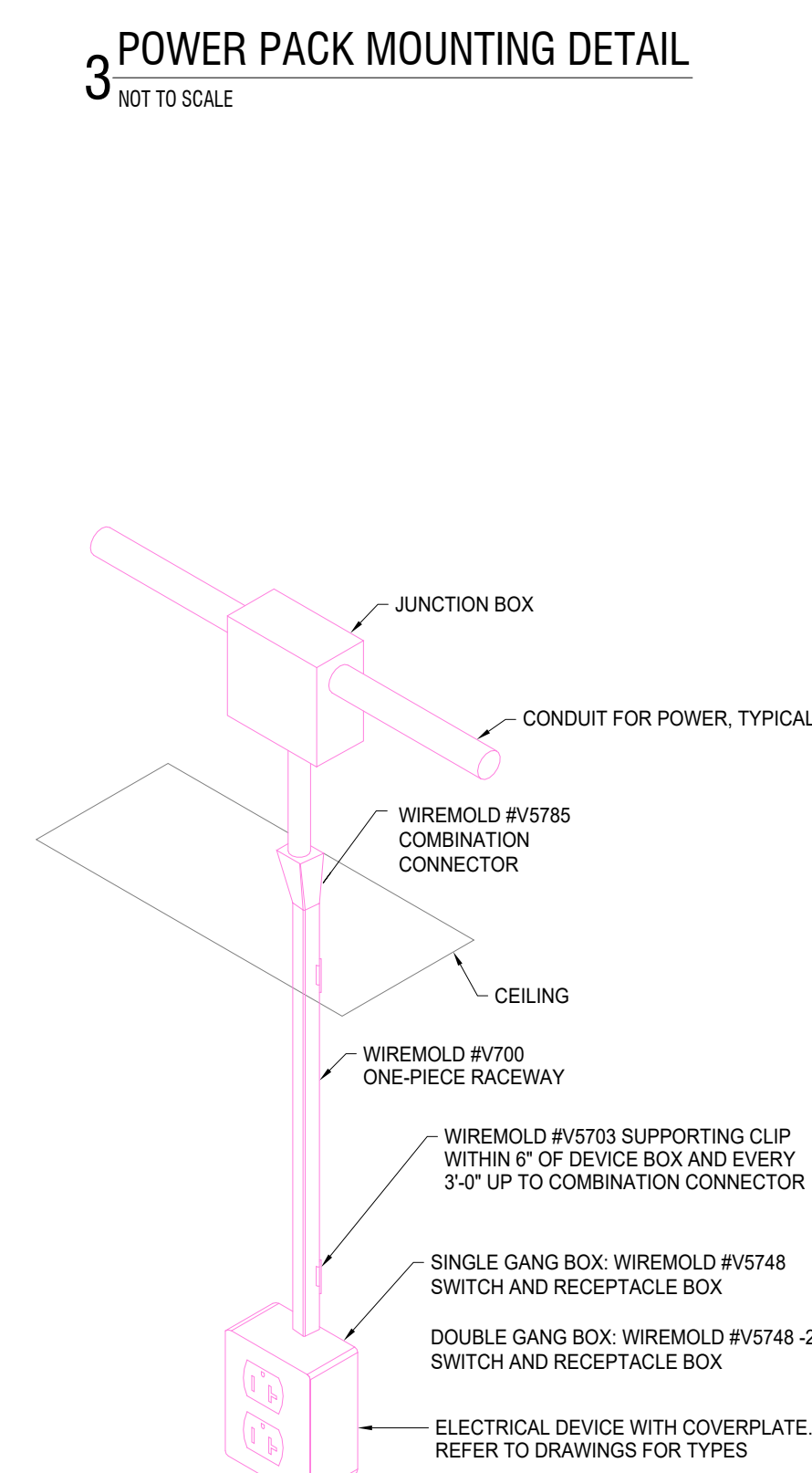
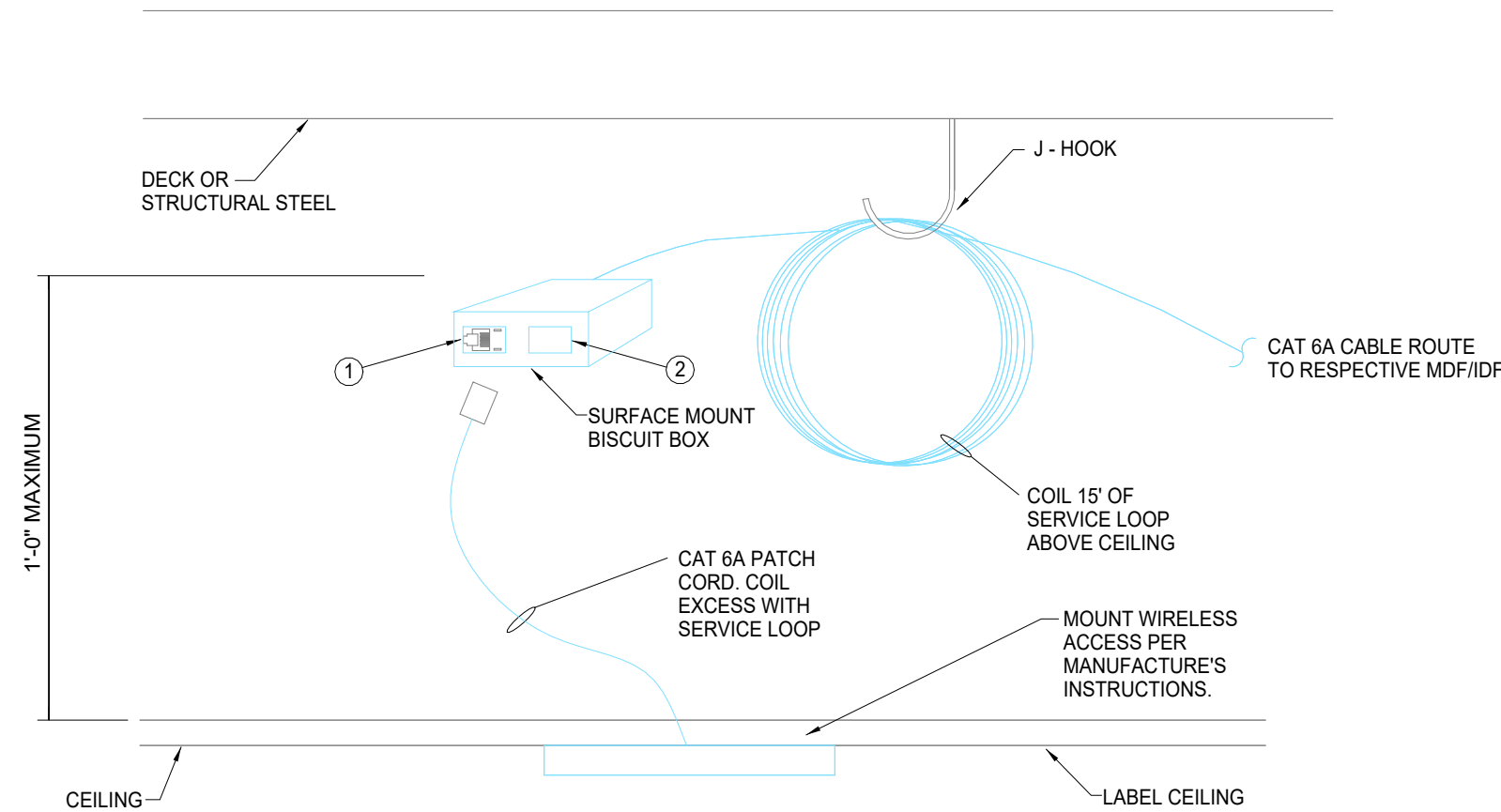
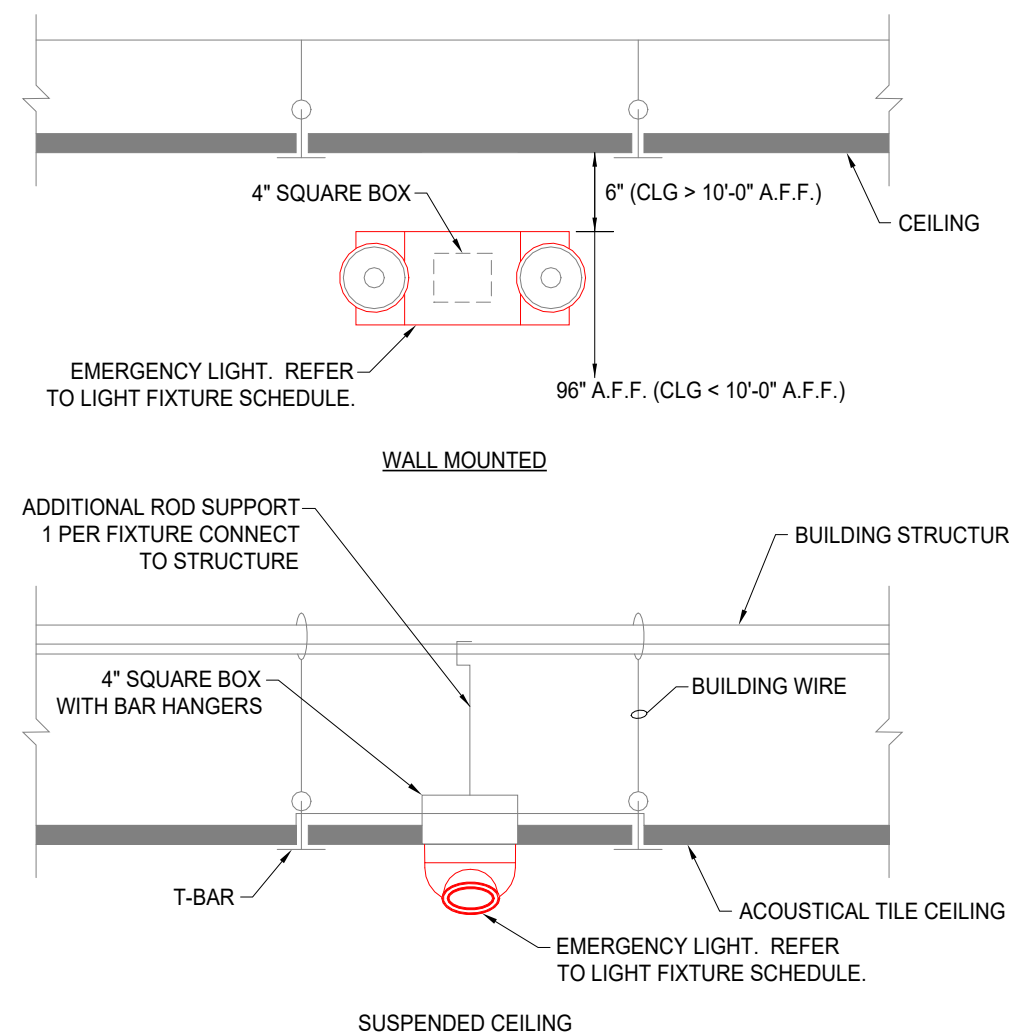
HO-E2.1

EQUIPMENT SCHEDULE

LIGHT FIXTURE SCHEDULE



LIGHTING SENSOR SCHEDULE



A PROJECT FOR:



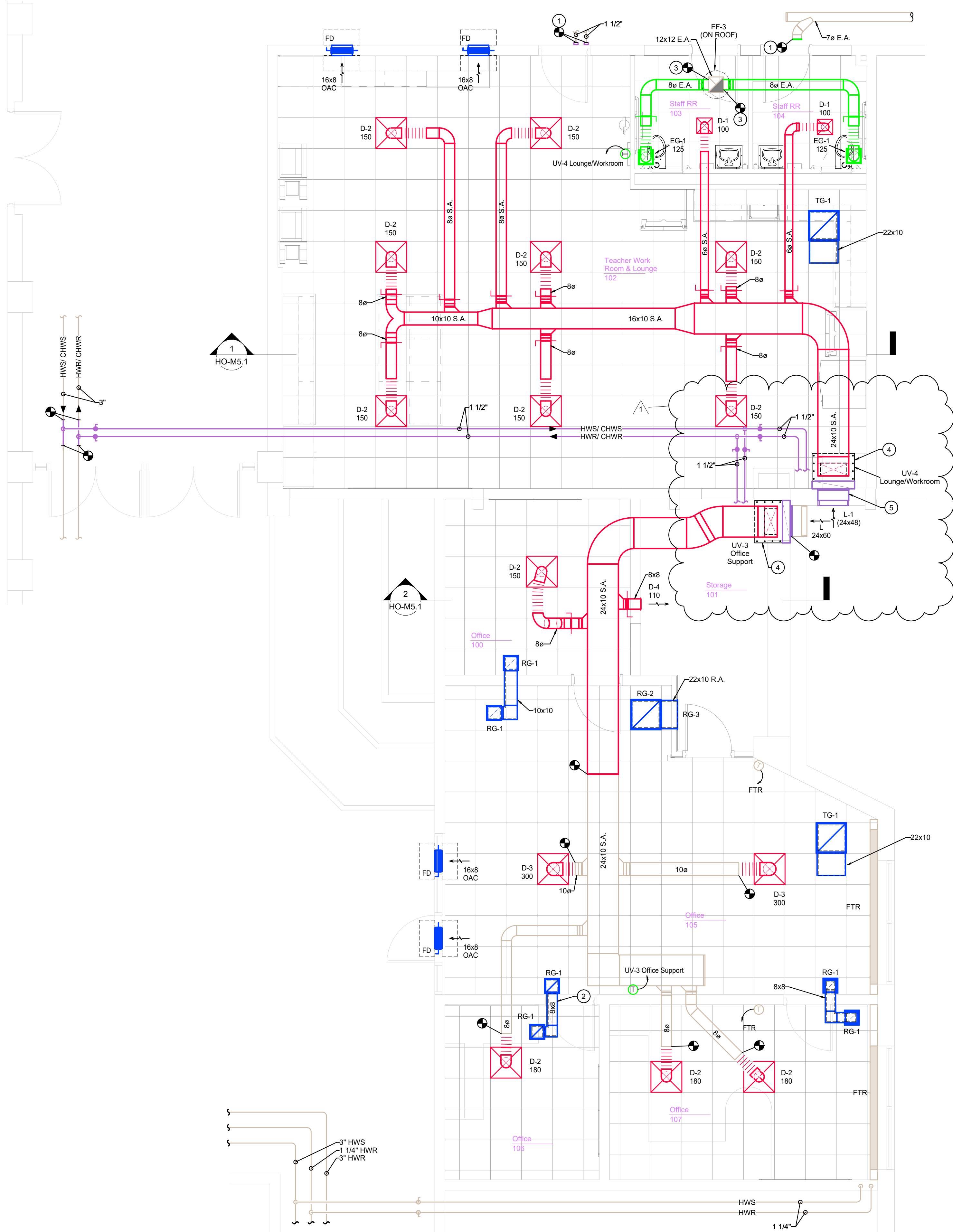
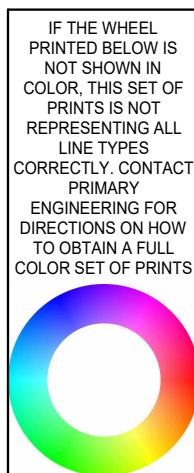
WE ARE YOUR SCHOOLS

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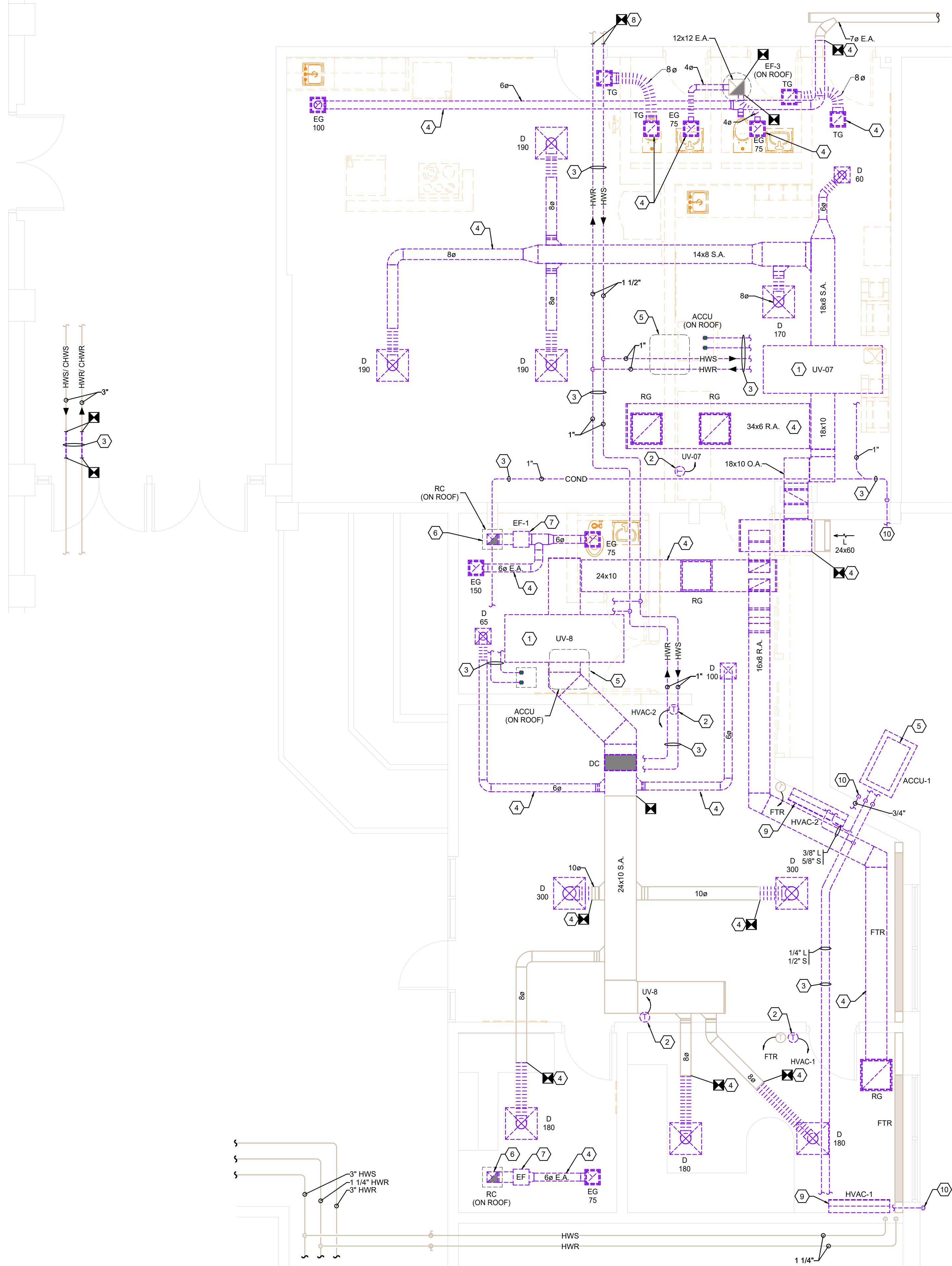
Electrical Details and Schedules

date: 9/24/2025
project: 111031.02
coordinator: BHR
drawn: BHR
checked: BJ

PRIMARY JOB # 23476 Rvt 25



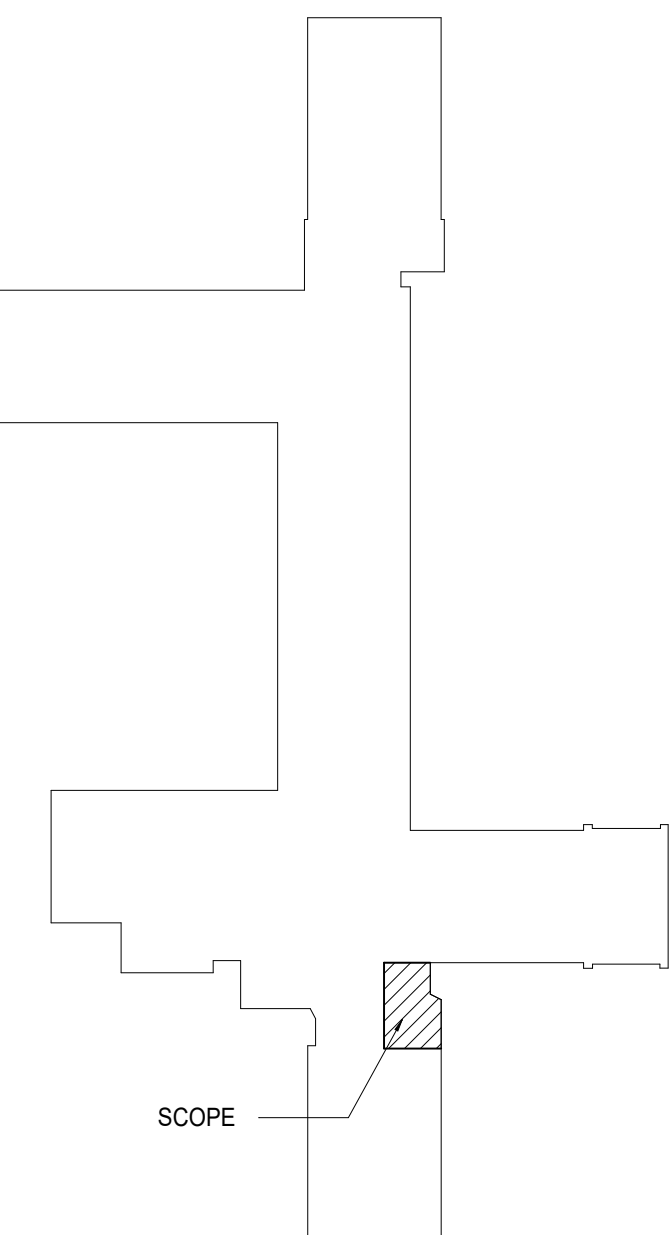
2 Enlarged Mechanical Plan
1/4" = 1'-0"



1 Enlarged Mechanical Demolition Plan
1/4" = 1'-0"

- PLAN NOTES**
- PROVIDE AND INSTALL PIPING/DUCTWORK CAPS TO ABANDONED PIPING/DUCTWORK.
 - LINED RETURN DUCTWORK. REFER TO DETAIL ON SHEET M4.1 FOR MORE INFORMATION.
 - TIE INTO EXISTING DUCT RISE UP TO EXHAUST FAN.
 - REFER TO VERTICAL UNIT VENTILATOR DETAIL ON SHEET M4.1 FOR MORE INFORMATION.
 - CUT EXTERIOR WALL AS REQUIRED FOR NEW LOUVER. COORDINATE WITH G.C. TO CUT AND PATCH EXISTING WALL FOR NEW PENETRATION.

- DEMOLITION PLAN NOTES**
- REMOVE EXISTING CEILING UNIT VENTILATOR UNIT COMPLETE INCLUDING ALL ASSOCIATED PIPING, HANGERS, MOUNTING DEVICES, CONTROLS, WIRING, ETC.
 - REMOVE EXISTING THERMOSTAT COMPLETE INCLUDING ALL ASSOCIATED WIRING.
 - REMOVE EXISTING PIPING COMPLETE INCLUDING ALL ASSOCIATED HANGERS.
 - REMOVE EXISTING DUCTWORK COMPLETE INCLUDING ALL ASSOCIATED HANGERS.
 - REMOVE EXISTING CONDENSING UNIT COMPLETE INCLUDING ALL ASSOCIATED PIPING AND MOUNTING DEVICES.
 - REMOVE EXISTING ROOF CAP COMPLETE INCLUDING ALL ASSOCIATED DUCTWORK, WIRING, CONTROLS, ETC. CAP EXISTING ROOF CURB WITH 16 GA GALVANIZED SHEET METAL. SEAL AIR AND WATER TIGHT. INSULATE WITH 4" OF RIGID INSULATION AND MARK WITH "N.I.S." (NOT IN SERVICE).
 - REMOVE EXISTING IN-LINE EXHAUST FAN COMPLETE INCLUDING ALL ASSOCIATED DUCTWORK, HANGERS, WIRING, CONTROLS, ETC.
 - COORDINATE WITH OWNER'S TEMPERATURE CONTROL CONTRACTOR TO REMOVE CHANGE OVER VALVE IN CORRIDOR.
 - REMOVE EXISTING FAN COIL UNIT COMPLETE INCLUDING ALL ASSOCIATED PIPING, HANGERS, MOUNTING DEVICES, CONTROLS, WIRING, ETC.
 - COORDINATE WITH G.C. TO PATCH EXTERIOR WALL FOR DEMOLISHED PIPING.



A PROJECT FOR:



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mark	date	description
1	10/08/25	ADDENDUM #1

Mechanical Plans

date: 09/29/2025
project: 111031.03
coordinator: LMD
drawn: JAB
checked: LMD

HO-M2.1

PRIMARY JOB # 23476 Rev 25

UNIT VENTILATOR SCHEDULE																																					
COOLING													PRE-HEAT COIL																								
TAG	MFR.	MODEL	STYLE	CEILING ELEV. (FT./IN.) A.F.F.)	REAR PLENUM DEPTH (IN.)	SIDE FILLER WIDTH (IN.)	DM (WxH) WIDTH (IN.)	HW/CHW CONNECTION	DOOR SWING	LOCATION	AIRFLOW (CFM)	MIN O.A. (CFM)	FAN SPD (R.P.M.)	FAN (HP) (HP)	ESP (IN. W.C.)	TOTAL CAP. (MBH)	SENS. CAP. (MBH)	EDB/EBW (DEG F)	LAT (DEG F)	EWLT/LWT (DEG F)	FLOW (GPM)	WPD (FT)	ROWS	CONTROL VALVE	TOTAL CAP. (MBH)	EAT (DEG F)	LAT (DEG F)	EWLT/LWT (DEG F)	FLOW (GPM)	WPD (FT)	ROWS	CONTROL VALVE	ELEC (V/PH)	ELEC MCA	ELEC MOP	FILTER TYPE	REMARKS
UV-3 Office Support	TEMSPEC	VUD 1600D	DUCTED	-	6	4	33x23	TOP	LEFT	Storage 101	1400	280	1400	3/4	.5	65.3	34.9	79/70	57/56	45/57	10.50	13.9	5	2-WAY	106.1	54.0	123	135/123	10.50	11.9	5	2-WAY	120/1	14	25	1" MERV 13	1, 2, 3, 4, 6, 7, 8, 9, 10, 11, 12
UV-4 Lounge/Workroom	TEMSPEC	VUD 1600D	DUCTED	B-6"	6	4	33x23	TOP	LEFT	Teacher Work Room 102	1400	280	1400	3/4	.5	65.3	34.9	79/70	57/56	45/57	10.50	13.9	5	2-WAY	106.1	54.0	123	135/123	10.50	11.9	5	2-WAY	120/1	14	25	1" MERV 13	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12
REMARKS:																																					
1. PROVIDE AND INSTALL WITH FACTORY WIRED ELECTRICAL DISCONNECT AT UNIT WIRING CONTROL BOX.																																					
2. SUPPLY FAN SHALL BE ECM WITH 4-030 VMA INPUT FROM BMS FOR SPEED CONTROL WITH FULL RANGE SPEED CONTROL.																																					
3. ALL ACCESS DOORS SHALL BE HINGED WITH INTEGRAL DOOR POWER HILL SWITCH.																																					
4. MANUFACTURER SHALL FACTORY INSTALL. TCC FURNISHED CONTROL VALVES, ACTUATORS, SENSORS, AND CONTROLS. COORDINATE WITH TCC.																																					
5. PROVIDE AND INSTALL WITH TOP SHROUD TO 2" ABOVE CEILING. VERIFY EXACT CEILING HEIGHTS WITH ARCHITECTURAL DRAWINGS.																																					
6. PROVIDE AND INSTALL WITH FULLY INSULATED REAR PLENUM. ALL REAR PLENUMS SHALL HAVE INSULATED BACKS.																																					
7. UNIT SHALL HAVE FACE AND BYPASS DAMPERS.																																					
8. PROVIDE WITH SIDE CHASE TRIM AND REAR TRIM AS SHOWN ON DRAWING DETAILS.																																					
9. UNIT COLOR SHALL BE SELECTED BY ARCHITECT FROM STANDARD OPTIONS.																																					
10. FAN SPEED SHALL NOT EXCEED 1500 RPM UNLESS SPECIFICALLY NOTED.																																					
11. PROVIDE WITH FACTORY INSTALLED FREEZE/STAT SENSOR ON LEAVING SIDE OF HEATING COIL. DO NOT WIRE INTO FAN CIRCUIT. SHALL BE WIRE TO FIELD MOUNTED CONTROLS. CAPILLARY SHALL BE 1 FT/1" SQ FT OF COIL SURFACE.																																					
12. PROVIDE AND INSTALL WITH CUSTOM 1" FILTER FRAME AND MEDIA FROM HOMETOWN FILTER, FORT WAYNE, INDIANA (200) 423-6100.																																					
NOTES:																																					
1. ALL TRIM PIECES AND ACCESSORIES SHALL HAVE FACTORY FINISH MATCHING TO UNIT VENTILATOR FINISH, INCLUDING EXACT PAINT COLOR, SHEEN, AND TEXTURE.																																					

CONTROLS RESPONSIBILITY CHART				
ITEM	OWNER'S CONTRACTOR	MECHANICAL CONTRACTOR	ELECTRICAL CONTRACTOR	REMARKS
FURNISH CONTROL VALVES	X			
INSTALL CONTROL VALVES		X		
FURNISH PIPE WELLS FOR SENSORS	X	X		
INSTALL PIPE WELLS FOR SENSORS		X		
PROVIDE 120 VOLT POWER FOR CONTROL PANELS			X	
PROVIDE INTERLOCK WIRING BETWEEN DEVICES, PANELS, BOILERS, CHILLERS, VRF, ETC		X		1
FURNISH VARIABLE SPEED DRIVES	X			
INSTALL VARIABLE SPEED DRIVES			X	
PROVIDE LINE AND LOAD WIRING TO VARIABLE SPEED DRIVES			X	
PROVIDE CONTROL WIRING TO VSD	X			
PROGRAM AND STARTUP VSD	X			
PROVIDE 120 VOLT POWER TO CONTROLS			X	
PROVIDE LOW VOLTAGE CABLEING TO CONTROLS	X			
FURNISH CONTROL DAMPERS	X			
INSTALL CONTROL DAMPERS		X		
PROGRAM AND COMMISSION BOILER SEQUENCER		X		
PROGRAM AND COMMISSION CHILLER SEQUENCER		X		
COORDINATE PROJECT SCHEDULE WITH ALL TRADES	X	X	X	
PROVIDE SHOP DRAWINGS TO ALL TRADES	X	X		
VERIFY AND TEST SEQUENCE OF OPERATIONS		X		
REMOVE EXISTING PNEUMATIC TUBE		X		2
TERMINATE DUCT DETECTORS	X			
PROVIDE DUCT DETECTORS			X	
ROUGH IN OF THERMOSTAT WALL BOXES			X	
INSTALL INTERIOR AND EXTERIOR LOW VOLTAGE CABLEING AND CONDUIT	X			3
REMARKS:				
1. MECHANICAL CONTRACTOR/MANUFACTURER SHALL PROVIDE AND INSTALL ALL ASSOCIATED INTERLOCK WIRING AND DEVICES FOR A COMPLETE UNIT.				
2. PRIOR TO DEMOLITION, MECHANICAL CONTRACTOR SHALL COORDINATE WITH CONTROL CONTRACTOR FOR DEMOLITION OF PNEUMATIC TUBING BY PROVIDING A PNEUMATIC TUBING REMOVAL SCHEDULE. PNEUMATIC TUBING SHALL BE REMOVED TO NEAREST JUNCTION BOX AND CAPPED. MAINTAIN ALL PNEUMATIC TUBING AND CONTROLS AS REQUIRED.				
3. MECHANICAL EQUIPMENT IS SPECIFIED SUCH THAT LOW VOLTAGE WIRING SHALL HAVE DEDICATED CONDUIT PATH(S), OR CAN BE ROUTED THROUGH BASE OF EQUIPMENT.				

[illegible]

LOUVER SCHEDULE											
TAG	MFR.	MODEL	FACE SIZE	FREE AREA	ARROW (CFM)	FACE VELOCITY (FPM)	THICKNESS (IN)	WATER PEN EFT (")	FINISH	SERVICE	REMARKS
L-1	GREENHECK	ESD-403	24x48	6.2	1400	334	4	90.4	2.0 mil 70% KYNAR PVDF	INTAKE	1, 2, 3, 4
REMARKS:											
1. PROVIDE AND INSTALL WITH FLANGED FRAME.											
2. COLOR SHALL BE SELECTED BY ARCHITECT.											
3. PROVIDE WITH 1" SQUARE ALUMINUM BRD SCREEN ON BACK FACE OF LOUVER WITH FRAME.											
4. PROVIDE AND INSTALL WITH HINGED FRAME.											
NOTE: PRIOR TO ORDERING ANY LOUVER, CONTRACTOR SHALL VERIFY ANY EXISTING OPENINGS THAT LOUVERS MUST BE INSTALLED IN.											
** WATER PENETRATION EFFECTIVENESS WITH 3 INHR RAINFALL AND 29 MPH WIND.											

HVAC INSULATION SCHEDULE							
TYPE	SYSTEM	FIBER GLASS	EPDM ELASTO	POLYISO	INTERIOR JACKET	EXTERIOR JACKET	REMARKS
PIPE	Dual temp HW/CWH - 3" to 4"	-	3/8"	-	PVC fittings	-	-
PIPE	Dual temp HW/CWH - 1" to 2"	-	3/4"	1"	PVC fittings	-	-
PIPE	Dual temp HW/CWH - 2.5" & up	-	-	1.5"	PVC fittings	-	-
DUCT	Concealed supply	1.5" - 0.75 Fiberglass	Concealed return	-	-	-	-
DUCT	Concealed return	-	Concealed return	-	-	-	-
DUCT	Concealed outside air	1.5" - 1.5 Fiberglass	-	-	-	-	-
DUCT	Concealed exhaust inside of damper	1.5" - 1.5 Fiberglass	-	-	-	-	-
DUCT	Concealed exhaust outside of damper	1.5" - 1.5 Fiberglass	-	-	-	-	-
DUCT	Pierium all louvers	3" fiberglass board	-	-	-	-	-
DUCT	Unlined return	1.5" Fiberglass duct liner	-	-	-	-	-

NOTES (APPLY TO ALL):

- CHILLED WATER SHALL HAVE A CONTINUOUS VAPOR BARRIER. USE POLY ISO ON PIPING AND EPDM ON FITTINGS AND VALVES.
- ALL INTERIOR PIPING SUBJECT TO DAMAGE SHALL BE JACKETED WITH VICTORY CLAD HMI502 W5.
- THIS INCLUDES ALL EXPOSED PIPE BELOW 10 FT AFF IN FINISHED SPACES AND ALL PIPING IN GYMNASIUMS/FITNESS AREAS REGARDLESS OF ELEVATION.
- ALL EXTERIOR PIPE AND DUCT THAT IS INSULATED SHALL BE COVERED WITH UNPAINTED GALVANIZED AND GALNEALD WATER TIGHT JACKET.
- D. ALL PIPING/ DUCT EXPOSED IN FINISHED SPACES WITH CEILING CLOUDS SHALL HAVE PAINTABLE JACKETS FOR FIELD PANT PER ARCHITECT FINISH SCHEDULE

DIFFUSER AND GRILLE SCHEDULE											
TAG	MFR.	MODEL	NECK SIZE (IN)	FACE SIZE (IN)	THROW PATTERN	MAX CFM	MAX APD (IN)	THROW (FT)	MAX NC	MATERIAL	REMARKS
D-1	TITUS	TMS	8	12x12	4-WAY	150	0.03	8	15	STEEL	1, 2
D-2	TITUS	TMS	8	24x24	4-WAY	250	0.05	9	15	STEEL	1, 2
D-3	TITUS	TMS	10	24x24	4-WAY	400	0.06	13	19	STEEL	1, 2
D-4	TITUS	300PL	8x8	10x10	DBL DEFL	150	0.05	14	-	STEEL	1, 3
R-1	TITUS	45F	-	14x14	45 DEG DEG	400	0.07	-	25	ALUMINUM	1, 2
R-2	TITUS	45F	-	22x22	45 DEG DEG	1600	0.10	-	37	STEEL	1, 2
R-3	TITUS	360PL	22x22	24x24	35 DEG DEFL	1600	0.06	-	37	ALUMINUM	1, 3
EG-1	TITUS	45F	-	14x14	45 DEG DEG	400	0.07	-	25	ALUMINUM	1, 2
TG-1	TITUS	45F	-	22x22	45 DEG DEG	1600	0.10	-	37	ALUMINUM	1, 2

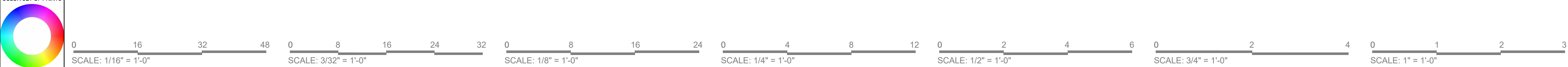
REMARKS:

- COLOR SHALL BE WHITE.
- PROVIDE AND INSTALL WITH FRAME FOR LAY-IN INSTALLATION.
- PROVIDE AND INSTALL WITH FRAME FOR SURFACE INSTALLATION.

 1/4" = 1'-0"

$$1/4" = 1'-0"$$

IF THE WHEEL
PRINTED BELOW IS
NOT SHOWN IN
COLOR, THIS SET OF
PRINTS IS NOT
REPRESENTING ALL
LINE TYPES
CORRECTLY. CONTACT
PRIMARY
ENGINEERING FOR
DIRECTIONS ON HOW
TO OBTAIN A FULL
COLOR SET OF PRINTS



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mark	date	description
1	10/08/25	ADDENDUM #1

Mechanical Schedules

date: 09/29/202

project: 111031.03

coordinator: LMC

drawn: JAB

checked: LMC

HO-M5.1