

**Grand Wayne Convention Center
Outdoor Event Space - Patio
9/11/2026**

ADDENDUM NO. 1

This addendum is issued as a supplement to the plans and specifications and shall be considered an integral part of the same.

Item: 1.01
Location: Pre-bid meeting minutes
Description: The pre-bid meeting minutes include the sign-in sheet, agenda, and pre-bid RFIs and responses.

Item: 1.02
Location: Sheet C1.0
Description: Revised note 12.

Item: 1.03
Location: A1.2 Exterior Elevations
Description: See adjusted panel heights on 7/A1.2 Custom Metal Fence - South Elevation.

Each contractor is responsible for incorporating all changes into their bid.

Respectfully submitted,



Hannah Arthur, Project Manager
Design Collaborative, Inc.
HA/TM

Sign-In Sheet



Grand Wayne Center - Outdoor Event Space - Patio

9/8/2026

[illegible]

September 8th, 2026**Grand Wayne Convention Center****Outdoor Event Center - Patio**

Pre-Bid Meeting

Meeting Agenda:

1. **Project Scope:** The Work includes the construction of an outdoor deck on a portion of the Grand Wayne Convention Center property along Webster Street. The project consists of site modifications necessary to support the installation of a composite deck that will serve as an outdoor event space. Tree protection measures will be required throughout construction. The scope also includes the construction of concrete ramps, installation of a new decorative metal fence with gates, and new site lighting, along with all other work indicated in the Contract Documents. All work shall be performed in accordance with the Contract Documents and shall provide a complete, fully functional installation completed in a timely and professional manner.
2. **Owner's Comments:**
 - Pfister Sprinkler Systems – coordinate any modifications to the sprinkler system with Pfister.
3. **Site Visit:** Additional site visits can be coordinated by contacting:
Dennis Raney, Director of Operations
Phone: 260-426-4100 / Direct: 260-407-5106
draney@grandwayne.com
4. **Bids Due: 10:00AM** local time, **Monday September 21st, 2026**, to the Grand Wayne Convention Center.

All bids received at such place, date, and time will be publicly opened and read aloud at **2:00PM on Monday, September 21st**, in the War Room. All work for construction of the project will be under contract with the Owner based on the bid packages and on bids received.

5. **Required Documents:** to be submitted in duplicate hard copies in sealed envelopes:
 - **Bid Bond:** The bid shall also be accompanied by a certified check, cashier's check, or bid bond in the amount of 5% of the bid.
 - **Form 96:** State Board of Account: Contractor's Bid for Public Work.
 - **00 41 13 Bid Form:** Completed and certified.
6. **Required after bidding:**
 - **Performance Bond and Payment Bond:** A Performance Bond and Payment Bond in the amount of 100 percent of the contract price shall be required no later than 10 days after contract.
 - **Federal Identification Number:** To be provided to Department of Purchase (SSN acceptable in absence of FIN).

- Employment Eligibility Verification “E-Verify”: Enroll and participate in the program.
 - Preliminary Project Schedule, Schedule of Values, Temporary Partitions and/or dust control measures: To be provided within 48 hours as requested from apparent low bidder(s).
 - **Please note that selected bids to be fully vetted with contractor, Owner, and Architect once awarded to ensure that all scope is covered in the bids.**
7. **Specifications:** Please review the specifications in their entirety.
 8. **Phased Construction:** Each bid package will perform all work in coordination with other trades and the Owner.
 9. **Procurement Substitution Procedures:** If bidder wants to suggest an as-equal product or system to be considered, please follow the procedure listed in 00 26 00 Procurement Substitution Procedures. Submit the form at least 5 business days prior to bidding, or **September 16th**.
 10. **Preliminary Schedules:**

Preliminary Project Schedule: Within 48 hours after bids are received

Preliminary Schedule of Values: Within 48 hours after bids are received
 11. **Protection from Work:**

Coordinate any sidewalk closures with Owner.
 12. **Allowances:**
 - Contingency allowance to be INCLUDED in the Base Bid per section 012100: 6% of the base bid.
 - Contractors OH&P shall be included in the base bid and not as part of the allowance.
 13. **Addenda:**
 - Addendum 1 planned for **Friday 09/11/2025 EOD**, depending on the volume of questions.
 - Final addenda will be issued no later than **Friday 09/18/2026**.
 - Please have all questions to the architect no later than **Wednesday 09/16/2026**.
 14. **Bid Bond:** The bid shall also be accompanied by a bid bond in the amount of 10% of the bid. Refer to specifications for all required documents to be submitted.
 15. **Brief review of construction documents:**
 - Civil
 - Structural
 - Architectural
 - *Plumbing (1 hose bibb – included on architectural plan)*
 - Electrical
 16. **Questions.** See attached Pre-Bid RFI log.
 17. **Other notable items discussed.**
 18. **Walk area of scope of work.**

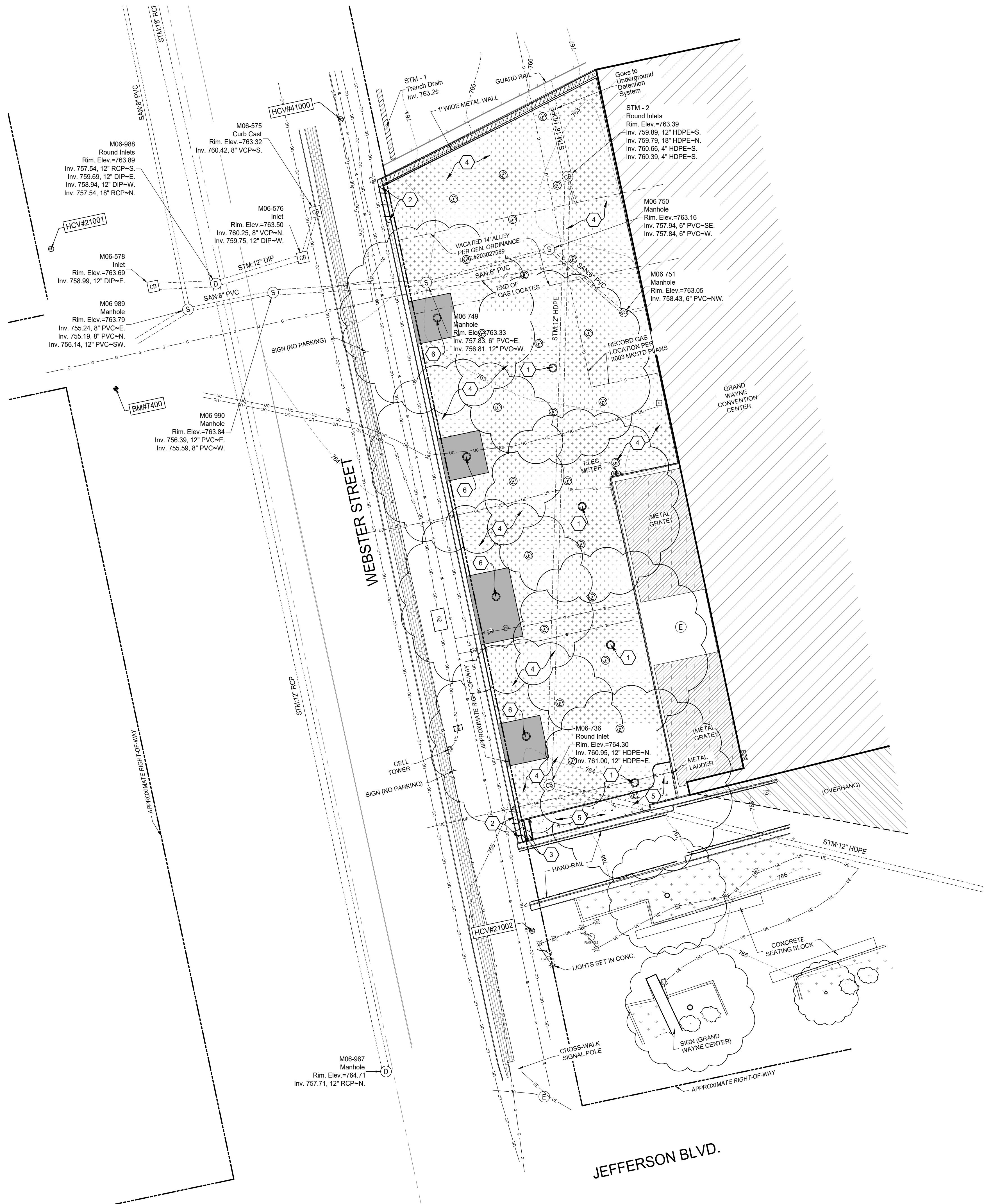
Pre-Bid RFI



Grand Wayne Center - Outdoor Event Space - Patio

9/8/2026

Date Received	From	Question	Response	From	Drawing/Spec Revision?	Addendum No.
9/2/2026	Eric Strebig Strebig Construction	There is note 12 on C1.0 that references capping abandoned wells. How should we go about estimating this for the bid?	In discussing this with the civil engineer, we can remove Note 12 from the plans and issue in an addendum. Because the site is developed and has public water, the likelihood of finding an abandoned well is not likely.	Diane Reynolds (ERI)	C1.0	1
9/2/2026	Eric Strebig Strebig Construction	The specifications list two different timeframes for bids to remain valid. Is it 60 or 90 days?	After reviewing the specs, the bids are to remain valid for 90 days (see 00 11 13-3). The 60 refers to how many days the the Owner has to accept the bid (see 00 22 13-3).	Hannah Arthur (DC)	No	1
9/2/2026	Eric Strebig Strebig Construction	Does the Owner have a construction schedule/timeframe in mind?	There is not a schedule, but the Owner would like the contractors to specify their estimated project duration.	Hannah Arthur (DC)	No	1
9/2/2026	Dennis Raney Grand Wayne Center	General comment	Use Pfister Sprinkler Systems to work through any irrigation system modifications as they are the ones that installed the sytem.	Dennis Raney (GWC)	No	1
9/8/2026	Michelle Stoll Strebig Construction	Where should construction workers and vehicles park?	The construction supervisor can park at the Grand Wayne Convention Center dock. Others can park in the library parking lot across the street (note that this lot does not allow for truck parking e.g. box trucks and trailers). The lot costs \$7/day.	Dennis Raney (GWC)	No	1
9/8/2026	Michelle Stoll Strebig Construction	Where can staging occur?	Staging can take place on the Grand Wayne Center dock. Coordinate with Dennis to make sure there are no conflicts with events taking place.	Dennis Raney (GWC)	No	1
9/8/2026	Michelle Stoll Strebig Construction	Is there water, power, and restrooms available for use?	Yes, restrooms are located inside near the dock and contractors will have access to those for the duration of construction. There is water access along the exterior wall at the dock ramp. Power can be taken from the panels located inside. Coordinate with Dennis on where to pull power from.	Dennis Raney (GWC)	No	1
9/8/2026	Michelle Stoll Strebig Construction	The specifications mention a trailer and office setup. Is this needed?	No, this project does not require a trailer and office. Storage accomodations can be made inside the Grand Wayne Center. Coordinate with Dennis.	Hannah Arthur (DC) / Dennis Raney (GWC)	No	1
9/8/2026	Michelle Stoll Strebig Construction	There isn't a dimension on how far the helical piles should extend. The structural sheet references a soil boring report. Is there a soil borings report?	There is not a report. Design Collaborative will coordinate with ERI to order this. For bidding purposes, assume a 20' depth.	Hannah Arthur (DC)	No	1



SITE DEMOLITION PLAN
SCALE: 1" = 10'-0"
NORTH

DEMOLITION NOTES:

- 1 REMOVE TREE(S), INCLUDING ROOT BALLS. ONLY REMOVE MAIN ROOT BALL. MINIMIZE DISTURBANCE TO ROOTS OF THE TREES SCHEDULED TO REMAIN.
- 2 SAWCUT AND REMOVE CONCRETE WALL JUST BELOW PROPOSED CONCRETE STOOP. WALL FOUNDATION SHALL REMAIN - SEE STOOP DETAIL ON C2.1.
- 3 REMOVE CONCRETE STEPS.
- 4 REMOVE GROUNDCOVER FROM THE AREA. DO NOT REMOVE THE GROUNDCOVER LOCATED AROUND THE TREE SCHEDULED TO REMAIN.
- 5 SAWCUT AND REMOVE CONCRETE SIDEWALK.
- 6 CONTRACTOR TO PROTECT EXISTING TREES SCHEDULED TO REMAIN. CARE SHALL BE TAKEN TO NOT STORE MATERIALS UNDER THE TREES CANOPY. THE USE OF HEAVY CONSTRUCTION TRAFFIC UNDER THE TREE'S CANOPY IS TO BE AVOIDED. CARE SHALL BE TAKEN TO PREVENT COMPACTING THE SOILS OVER THE EXISTING TREE ROOTS.

DEMOLITION LEGEND:

- REMOVE GROUNDCOVER.
- SAWCUT AND REMOVE CONCRETE SIDEWALK
- GROUNDCOVER TO REMAIN.
- SAWCUT AND REMOVE CONCRETE WALL

GENERAL NOTES:

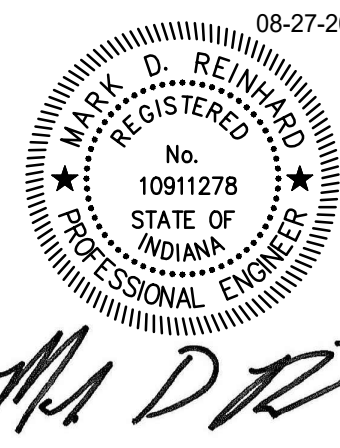
1. OBTAIN ALL REQUIRED PERMITS AND COORDINATE INSPECTIONS FROM AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL NOT INTERRUPT ANY SERVICE TO ADJACENT PROPERTIES WITHOUT WRITTEN AUTHORIZATION FROM PROPERTY OWNER. AN EMERGENCY PLAN SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION TO OUTLINE CORRECTIVE MEASURES IN THE EVENT OF ANY UNAUTHORIZED UTILITY SHUTDOWN.
3. CONTRACTOR SHALL STUDY ALL DRAWINGS PRIOR TO CONSTRUCTION. RESEARCH PUBLIC UTILITY RECORDS, CONTACT THE LOCAL UTILITY LOCATOR SERVICE, AND FIELD VERIFY ALL EXISTING STRUCTURES PRIOR TO CONSTRUCTION. CONTACT ENGINEER FOR DIRECTION IF EXISTING UTILITY CONDITIONS CONFLICT WITH PROPOSED WORK. OR ANY ALTERATIONS SHALL BE THE CONTRACTORS RESPONSIBILITY.
4. EXISTING UTILITIES ARE APPROXIMATIONS BASED ON BEST AVAILABLE DATA. CAUTION SHALL BE EXERCISED TO NOT INTERRUPT SERVICE TO ANY BUILDING. EXPLORATORY TRENCH TO VERIFY DEPTH AND LOCATION OF SEWERS PRIOR TO CONSTRUCTION OF NEW SEWER UTILITIES. ASSURE ALL STORM WATER IS DIRECTED INTO THE STORM SEWER SYSTEM.
5. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION REQUIRED BY UTILITY OWNERS TO CONSTRUCT PROJECT.
6. PROVIDE RECORD DRAWINGS TO THE OWNER FOR BELOW GRADE IMPROVEMENTS. INCLUDE MATERIALS OF CONSTRUCTION, SIZE, ELEVATIONS, AND LOCATION DESCRIPTIONS IN THE RECORD. RECORD DRAWINGS SHALL BE CERTIFIED BY A LAND SURVEYOR REGISTERED IN THE STATE OF INDIANA.
7. CONTRACTOR SHALL COORDINATE WITH EACH UTILITY PROVIDER TO DETERMINE TOTAL COST OF SERVICE TO BUILDING AND TO INCLUDE IN THE COST OF THE PROJECT.
8. CONTRACTOR SHALL LOCATE ALL PRIVATE UTILITIES NOT COVERED BY THE PUBLIC LOCATING SERVICE.
9. CONSTRUCTION DE-WATERING AS NECESSARY BY CONTRACTOR.
10. ADJUST ANY EXISTING MANHOLES, VALVES, HYDRANTS, AND HANDHOLES, LOCATED WITHIN PROJECT LIMITS, TO PROPOSED GRADES.
11. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION OF ADJACENT WORK.
12. SEE SITE SURVEY FOR EXISTING CONDITIONS.
13. COORDINATE ALL DEMOLITION WORK WITH OWNER.
14. CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES, TAPPING FEES, INSPECTION FEES, ETC.

EXISTING IRRIGATION:

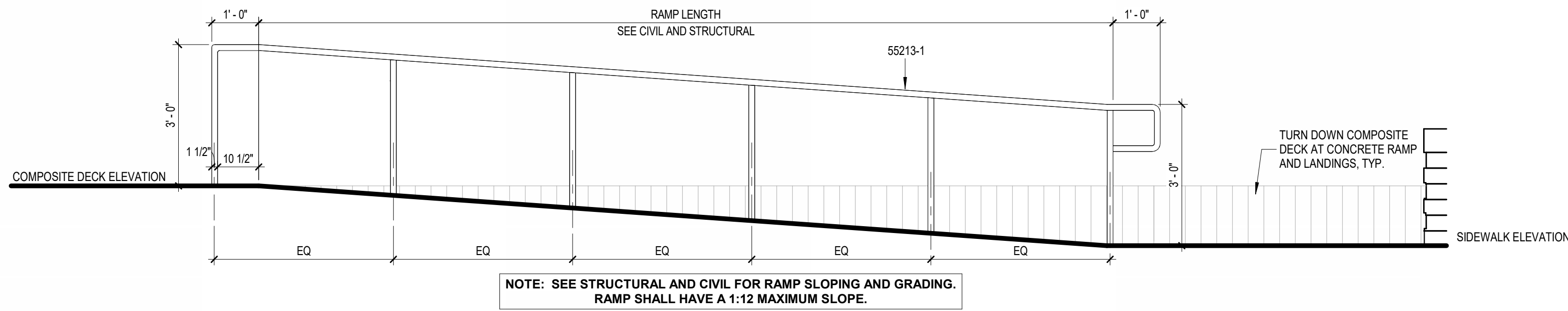
CONTRACTOR TO MODIFY EXISTING IRRIGATION SYSTEM TO REMOVE IRRIGATION HEADS LOCATED IN AREAS THAT WILL BE COVERED BY THE PROPOSED DECK AND CONCRETE STOOP / RAMP. MODIFY IRRIGATION TO PROVIDE WATER TO TREES SCHEDULED TO REMAIN UTILIZING DRIP IRRIGATION.

EXISTING TREES TO REMAIN:

CONTRACTOR TO HIRE A CERTIFIED ARBORIST PRIOR TO WORK BEING STARTED. ARBORIST SHALL DO SELECTIVE PRUNING AND BEGIN A FERTILIZER PROGRAM FOR ALL EXISTING TREES SCHEDULED TO REMAIN.

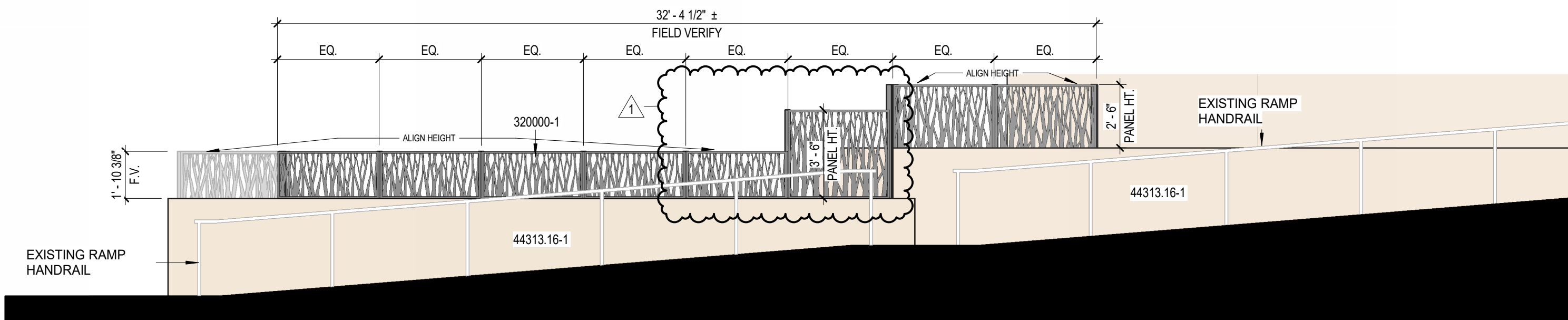


NO.	DATE	DESCRIPTION
1	09/11/2026	Addendum 1



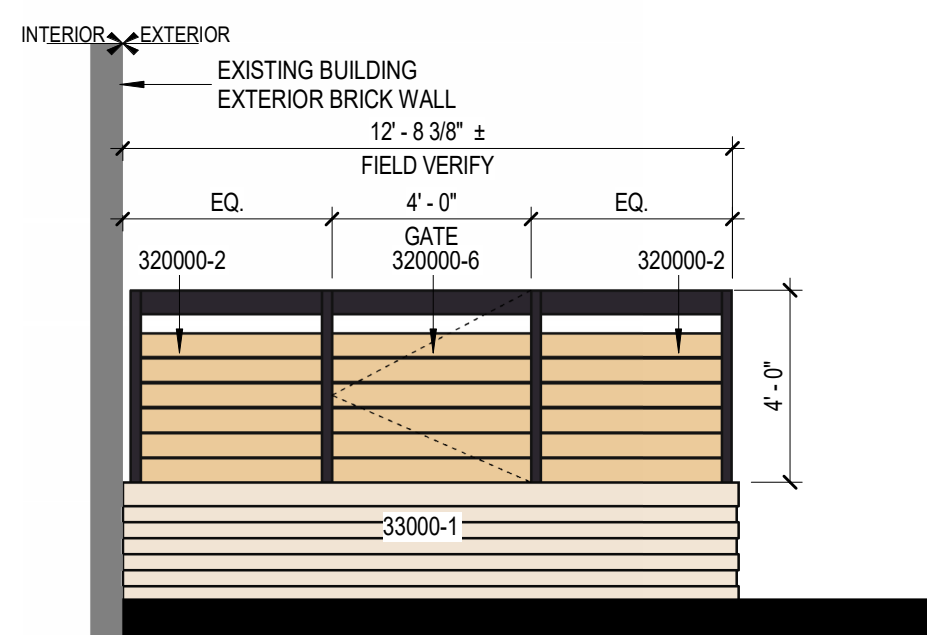
6 SITE HANDRAIL

SCALE: 1/2" = 1'-0"



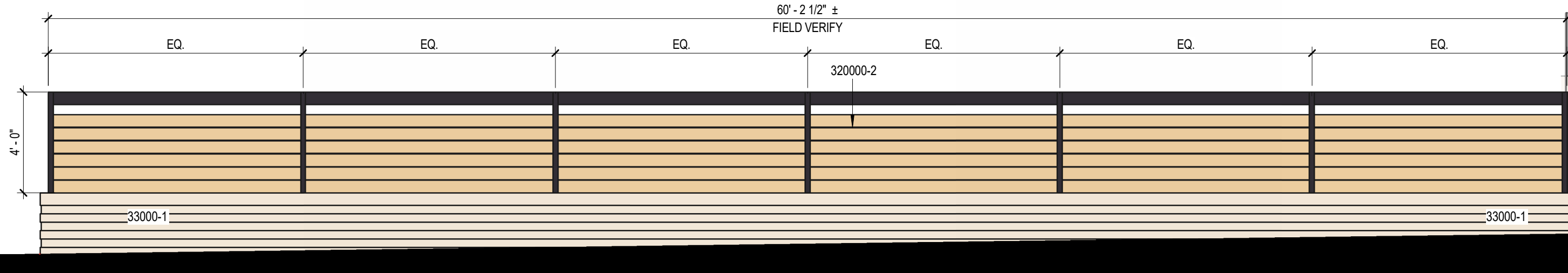
7 CUSTOM METAL FENCE - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



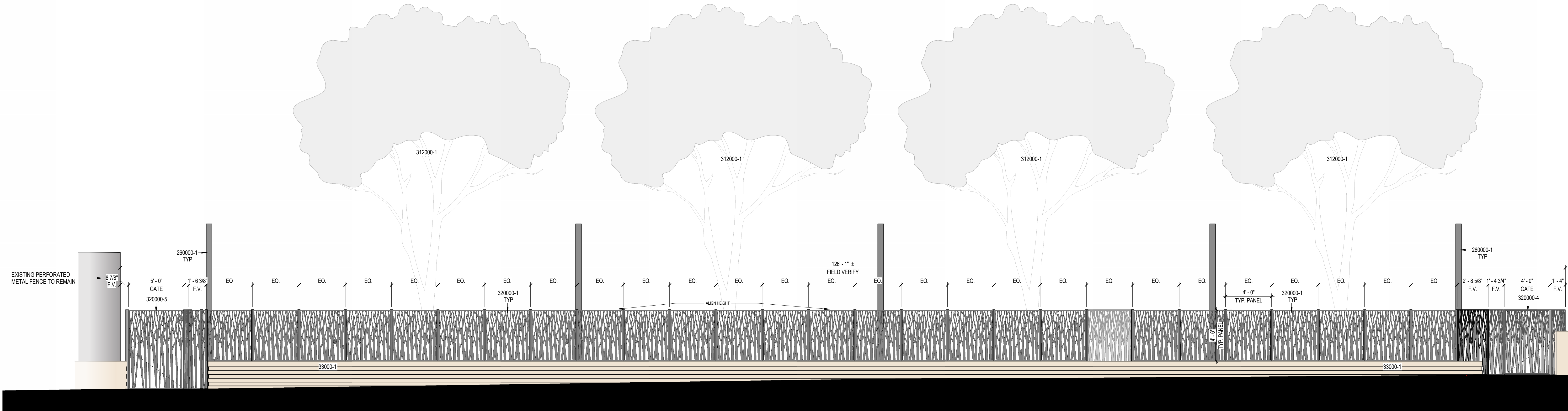
3 TRANSFORMER VAULT FENCE - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



2 TRANSFORMER VAULT FENCE - WEST ELEVATION

SCALE: 1/4" = 1'-0"



1 CUSTOM METAL FENCE - WEBSTER STREET ELEVATION

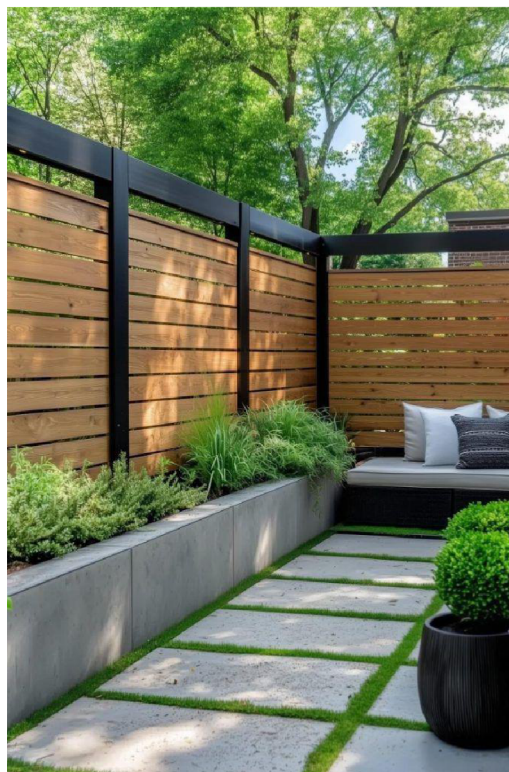
SCALE: 1/4" = 1'-0"



FAUX GREENWALL (SEE KEYNOTE 320000-3)



FESTOON LIGHTING
(SEE ELECTRICAL FOR MORE INFORMATION)

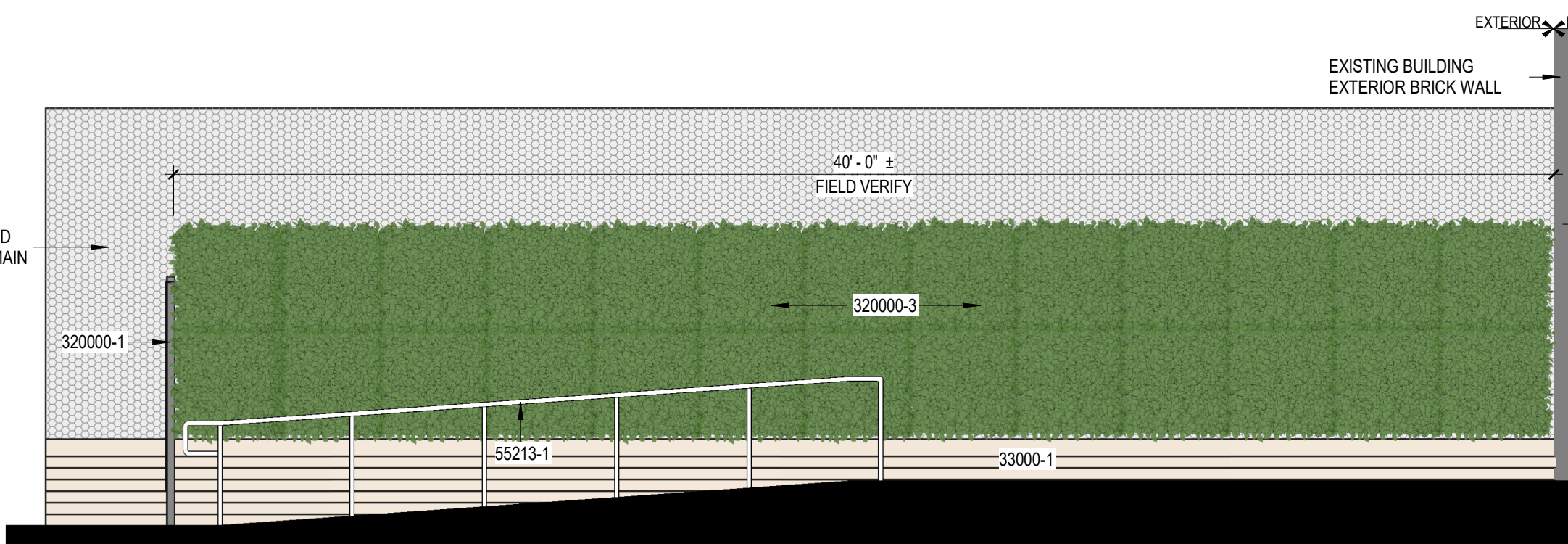


ALUMINUM/COMPOSITE FENCE
(SEE KEYNOTE 320000-2)



DECORATIVE METAL FENCE PATTERN
REFERENCE (SEE KEYNOTE 320000-1)

*REFERENCE DESIGN IMAGES



4 EXISTING METAL LOADING DOCK FENCE - GREEN WALL

SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES	
33000-1	EXISTING CONCRETE RETAINING WALL TO REMAIN. POWER WASH WALL TO REMOVE ANY DIRT, DEBRIS, AND STAINS. USE CONCRETE-SAFE CLEANER COMPATIBLE WITH EXISTING CONCRETE AS REQUIRED.
44313 16-1	EXISTING RETAINING WALL WITH LIMESTONE VENEER TO REMAIN. PROTECT DURING CONSTRUCTION.
55213-1	ALUMINUM FLOOR MOUNTED HANDRAIL. PROVIDE VERTICAL SUPPORT POST AT 4'-0" O.C. MAX. HANDRAIL TO CONFORM TO ADA REQUIREMENTS. SEE DETAIL FOR ADDITIONAL INFORMATION.
260000-1	POLES FOR STRINGING OF FESTOON LIGHTING. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
312000-1	EXISTING TREE TO REMAIN. PROTECT DURING CONSTRUCTION. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
320000-1	CUSTOM DECORATIVE METAL FENCE - BASIS OF DESIGN: CUSTOM FABRICATED FENCE BY METAL CITY FAB. 2 1/2" SQUARE TUBE. TOP, POSTS, AND BOTTOM WITH 1/4" THICK PANEL. IN 1"x1" ANGLE PERIMETER FRAME. INCLUDE BASE PLATES AND ENGINEERING CALCULATIONS. COLOR TO BE STANDARD DARK BRONZE. MOUNTING INTO EXISTING RETAINING WALL TO BE PER MANUFACTURER'S REQUIREMENTS. SEE FENCE ELEVATIONS FOR PATTERN AND BASIS OF DESIGN. TOP OF FENCE TO BE RUN LEVEL AND FLUSH THROUGHOUT. FENCE MANUFACTURER TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO FABRICATION OF PANELS.
320000-2	ALUMINUM FRAME AND POST FENCE WITH HORIZONTAL COMPOSITE DECK BOARDS. COLOR TO BE SELECTED BY ARCHITECT FROM FULL RANGE OF OPTIONS. MOUNTING INTO EXISTING RETAINING WALL TO BE PER MANUFACTURER'S REQUIREMENTS. SEE FENCE ELEVATIONS FOR ADDITIONAL INFORMATION.
320000-3	ARTIFICIAL GREENWALL - BASIS OF DESIGN: GROWUP GREENWALLS, ESSENTIAL SERIES - JASMINE. PANEL DIMENSIONS: 40"x40"x4". PANELS TO BE ATTACHED TO EXISTING PERFORATED METAL WALL PER MANUFACTURER'S REQUIREMENTS.
320000-4	CUSTOM DECORATIVE METAL GATE. 4'-0" WIDE. BASIS OF DESIGN: CUSTOM FABRICATED GATE BY METAL CITY FAB. GATE PANEL TO MATCH FENCE PATTERN. COLOR TO BE STANDARD DARK BRONZE. MOUNTING REQUIREMENTS TO BE PER MANUFACTURER'S REQUIREMENTS.
320000-5	CUSTOM DECORATIVE METAL GATE. 5'-0" WIDE. BASIS OF DESIGN: CUSTOM FABRICATED GATE BY METAL CITY FAB. GATE PANEL TO MATCH FENCE PATTERN. COLOR TO BE STANDARD DARK BRONZE. MOUNTING REQUIREMENTS TO BE PER MANUFACTURER'S REQUIREMENTS.
320000-6	ALUMINUM FRAME AND POST GATE WITH HORIZONTAL COMPOSITE DECK BOARDS. 4'-0" WIDE. COLOR TO MATCH ADJACENT FENCE. MOUNTING REQUIREMENTS TO BE PER MANUFACTURER'S REQUIREMENTS.

NOTE: ALL DIMENSIONS OF FENCES SHOWN ON DRAWINGS ARE FOR REFERENCE. FENCE MANUFACTURER TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING FABRICATION OF PANELS.

CONSTRUCTION DOCUMENTS

ISSUE DATE: 08.14.2026

REVISIONS

NO.	DATE	DESCRIPTION
1	09/11/2026	ADD-01